

2017.7038.P 23 Lambolle Road



This material has been reproduced from Ordnance Survey digital map data with the permission of the controller of Her Majesty's Stationery Office, © Crown Copyright.

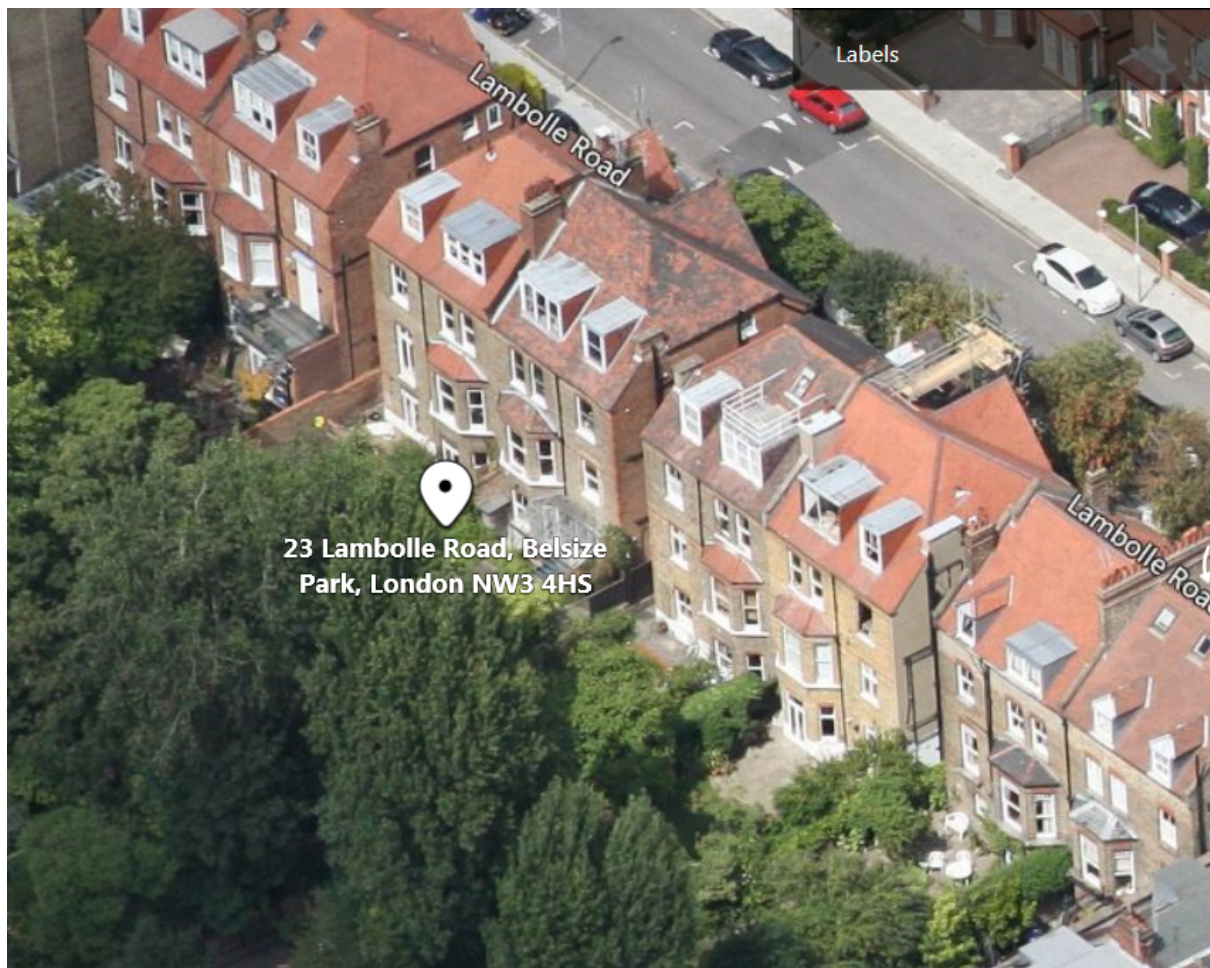


Image 1. Aerial view of the rear showing the existing rear green room



Image 2. Aerial view of the other extension at no.17 and 17a Lambolle Road



Image 3. Showing the rear and side elevations.

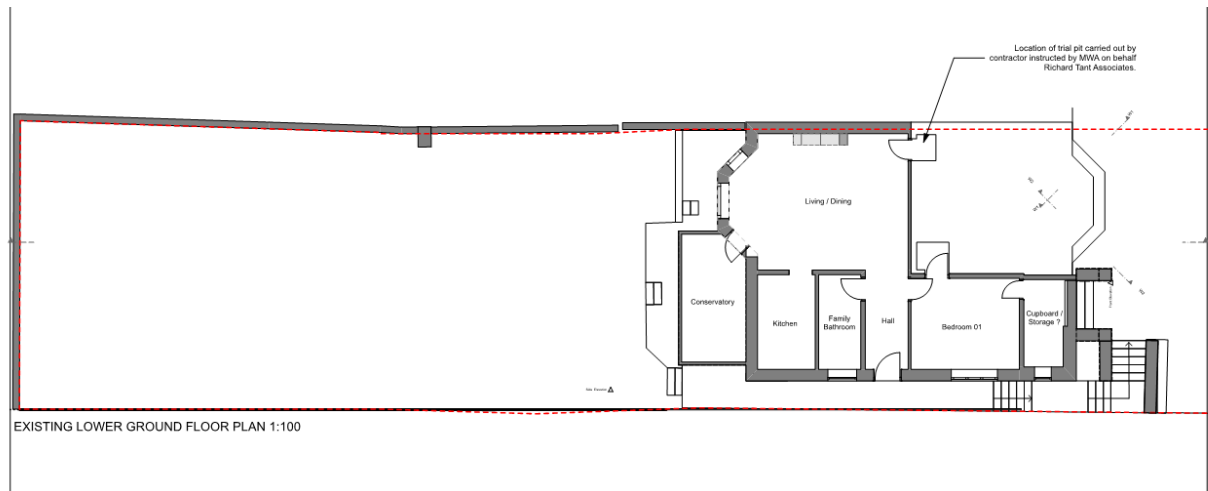


Image 4. Showing the existing lower-ground floor plan

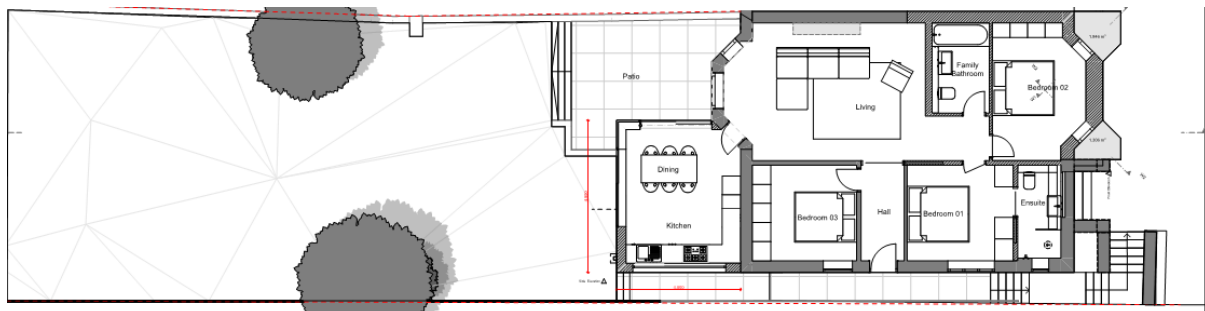


Image 5. Showing the proposed lower-ground floor plan



Image 6. Existing rear elevation



Image 7. Proposed rear elevation

Delegated Report		Analysis sheet		Expiry Date:	06/04/2018
(Members Briefing)		N/A		Consultation Expiry Date:	28/03/2019
Officer			Application Number(s)		
Obote Hope			2017/7038/P		
Application Address			Drawing Numbers		
23 Lambolle Road, Garden Flat London NW3 4HS			See draft decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Erection of single storey rear extension at lower ground floor level, including excavation of the building footprint to lower the floor level, and formation of two front light wells.					
Recommendation(s):		Grant conditional planning permission			
Application Type:		Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	Site notices Press notice	12/04/18-03/05/18 12/04/18-03/05/18	No. of responses	0	No. of objections	0
Summary of consultation responses:	No responses received.					
Belsize CAAC	<p>Objected to the proposed scheme on the following grounds:</p> <ol style="list-style-type: none">1. Excavation and increased size of the basement;2. Loss of the featured bay window;3. New full width first floor terrace and roof light, and;4. Increase in paved area and loss of green garden space, and;5. Object to the extension abutting the bay window. <p>Officer response:</p> <ol style="list-style-type: none">1. <i>The size and scale of the proposed basement is considered acceptable and would be constructed in accordance with A5 of the Local Plan 2017 for further details please see section 4 below.</i>2. <i>The proposal has been revised to keep the existing bay window and considering the extension replaces an existing one at lower ground floor level and would preserve its depth and scale, it is considered that an extension in this location is considered acceptable. The rear extension would result in a subordinate addition to the host building and giving the degree of various rear extension and alteration at basement level the rear extension proposed would differentiate itself from the architectural aesthetics of the host building. See section 5.</i>3. <i>Given the existing site topography and elevation details of the host building and neighbouring one at no. 129 Arlington Road, it is considered that the 0.7m of glazing visible above the existing boundary wall would not be considered to cause detrimental harm to the amenity of the neighbouring occupiers. See section 6.</i>4. <i>The rear garden measures approx. 200sqm in area. The proposed rear extension is not considered to be substantially larger than the existing conservatory in footprint and the new patio would occupy approx. an additional 13sqm of soft landscaped garden space. As a proportion of the entire rear garden, the amount of soft landscaped garden space lost would be minimal. Moreover, the design has been revised to include a green roof help compensate for this loss.</i>5. <i>The existing conservatory currently adjoins the rear bay window as described. The proposed extension would not further obscure the legibility of the rear bay beyond what has been established. It is also noted that similar extensions which adjoin rear bays exist within the surrounding area and as such would not be out of keeping.</i>					

--	--

Site Description

The application site is a three storey semi-detached building, located on the Southern side of Lambolle Road and divided into 3 self-contained flats, the proposal relates specifically to the garden flat.

The property is located within the Belsize Park Conservation Area and no's 13-31 Makes a positive contribution to the Belsize Conservation Area.

Relevant History

Relevant planning history at the application site:

TP/3645 - Conversion of 23, Lambolle Road, N.W.3 into two self-contained flats and a maisonette.
Granted 08/09/1961.

Relevant policies

NPPF 2019

The London Plan March 2021

Camden Local Plan 2017

Policy A1 Managing the impact of development

Policy A3 Biodiversity

Policy A5 Basements

Policy D1 Design

Policy D2 Heritage

Policy H2 Maximising the supply of self-contained housing from mixed use scheme

Policy T1 Prioritising walking, cycling and public transport

Policy T2 Parking and car-free development

Camden Planning Guidance (2018-2021)

Access for all (March 2019)

Home improvements (adopted March 2021)

Design (adopted March 2021)

Amenity (adopted March 2021)

Basements (adopted March 2021)

Biodiversity (March 2018)

Housing (January 2021)

Trees (March 2019)

Transport (adopted March 2021)

Water and flooding (March 2019)

Belsize Park Conservation Area Statement 2003

Assessment

1. Proposal

- 1.1 Planning permission is sought for excavation at lower ground floor level by approximately 3.2m in depth to create two lightwells to the front elevation for the provision of usable floor space for the existing 1Bed flat. The proposed a single storey construction formed by extending the lower ground floor to match the ground floor floorplan to the front and an extension to the rear of the property. The proposed development requires excavation and construction within the North West corner of the property, to approximately 3.8m below ground level, which is adjacent to the Party Wall with 21 Lambolle Road that includes existing underpinned foundations to the full depth of the proposed construction.
- 1.2 The proposed lower ground floor extension to the rear elevation would be constructed across the flank elevation of the existing bay window that would measure 4.0m in depth and 4.9m in width. The proposed bay window would be retained and new entrance would be created to access the proposed kitchen from the living room. The basement structure would retain the original proportion along the flank (east) elevation and would set in by 933mm e would be set in from the boundary with no. 25 Lambolle Road. The overall height of the extension would be 3.0m as measured from the lower ground floor level.
- 1.3 The extension would be constructed using stock brick to match the existing to a small scale of the front and along the flank (west) elevation with full length glazing surround for a large proportion of the extension along the flank (east) and the front elevation for views into the garden.
- 1.4 At the front of the building it's proposed to introduce front lightwells. The proposed lightwells would have stepped slop and extend approximately 1.5m from the front of the new bay windows and would be constructed using matching red brick and the proposed windows to the lightwell are the same width and height as the windows in the bay above.

1.5 Revisions

- 1.6 During the course of the application the applicant has submitted revised drawings omitting the demolition of the bay window and reducing the bulk and scale of the rear extension.

2. Considerations

- 2.1 The main issues for consideration are:

- Land use
- Basement Impact assessment
- Design
- Residential standards
- Impact on the neighbouring amenity
- Trees
- Transport

Assessment

3. Land use

- 3.1 The application building is current divided into flats at each level with a maisonette at first and second floor levels. The application site consist of 1x1no bedroom flat at basement level and

the proposal is to add additional bedrooms for the basement flat to be used as a 1 x 3Bed self-contained dwelling, this is considered acceptable. Restoring the property to for the use as a single larger dwelling is considered acceptable and would not harm the architectural integrity of the host building.

4. Basement Impact assessment

4.1 Policy A5 stipulates that basement excavations should not cause harm to the neighbouring properties, the structural, ground or water conditions and the architectural character and amenity of the area. In order to demonstrate compliance with the requirements of policy A5 and CPG Basements, a Basement Impact assessment has been submitted and assessed by third party auditors Campbell Reith. The documentation provided in support of the proposed excavation to of the existing basement existing basement to the full footprint of the ground floor plan to the front of the property, plus a lightwell, and extending beyond the rear of the property was considered acceptable an in line with CPG Basements and lightwell and policy A5.

4.2 A site investigation has been completed that confirms the proposed basement will be founded within London Clay, It is accepted that there will be no impact to the wider hydrological and hydrogeological environments. A construction methodology is presented, including outline sequencing and propping arrangements. In the revised submissions, an outline construction programme of approximately 5 months is stated for the structural works. In the revised BIA, it is assessed that the scheme will have no adverse impact upon surface water flooding to the surrounding environment. Flood risk mitigation measures are proposed to minimise potential impacts to the subject property.

4.3 As requested by the audit, clarifications in relation to the stability of the neighbouring building were provided. These confirm that the stability to the neighbouring buildings will be maintained within Burland Category 1 (Very Slight). In the revised submissions, the impact to other properties within the subject building are confirmed to be within Category 1 with no adverse movements and impact to the highway or underlying utilities. Non-technical summaries are presented in the revised BIA. The queries and requests for information are summarised in Appendix 2. Considering the revised submissions, the BIA meets the requirements of Camden Planning Guidance. The auditors considered this scenario within their assessment as confirmed by the audit and therefore this element of the proposal would be considered acceptable.

4.4 As such, the final audit confirms that the proposed basement excavation would comply with the requirements of policy A5 and CPG Basements subject to a pre-commencement condition to ensure that a suitably qualified engineer with a membership of the appropriate body would be appointed to inspect, approve and monitor the critical elements of both permanent and temporary basement construction works throughout their duration. Additionally, this condition would also secure the provision of a construction programme, as requested by the audit.

5. Design

5.1 In considering developments affecting a conservation area, Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) requires that local authorities shall pay special attention to the desirability of preserving or enhancing the character or appearance of that area. In this case the site forms part of Belsize Park Conservation area. In line with the above statutory duties and recent case law, considerable importance and weight has to be attached to the impact on the heritage assets and their setting.

5.2 The Council's design policies are aimed at achieving the highest standard of design in all developments. The following consideration contained within policy D1 are relevant to the application: development should consider the character, setting, context and the form and scale of neighbouring buildings, and the quality of materials to be used. Policy D2 states that

within conservation areas, the Council will only grant permission for development that preserves or enhances its established character and appearance.

- 5.3 The Conservation Area Statement identifies the terraced row the application site is Nos. 17a-31 are of a similar design to the properties on the other side with common bays and gables but have narrower frontages. The original red brick front boundary walls and gate piers generally retained to these properties are an important element of the street.
- 5.4 Within the local area many properties consist of basement rooms, set below garden level and lit by various different kind of lightwells, some which are visible from the public domain. What is being proposed here is the construction of small lightwells and bay windows to the front elevation. Whilst it is acknowledge that the design is not original the proposal would not be uncharacteristic, given the local context. Thus, given that the original front elevation has been altered. However, along the terraced row, the principle of the front lightwell is considered acceptable.
- 5.5 In relation to the rear elevation, it is noted that there are an assortment of rear extensions to the properties within the terraced group. Historically the predominant character consist of the occasional modest rear extension; however this has changed thorough time with various extensions and some overly dominant and incongruous ones within the group, such as no. 17 Lambolle Road.
- 5.6 The property has an existing lower ground rear extension which would be demolished, with a depth and a width of 2.2m, and a height of 2.6m measured from the lower ground floor level. The existing conservatory is in disrepair and considered unsympathetic addition and the proposed single storey extension would be designed to respect the existing architectural features of the host building, most importantly retain the bay window to the rear, which would be retained internally at lower ground floor level, and would be visible externally on the upper floors of the rear elevation. Due to the proposed size and dimensions, the proposed single storey extension would appear subordinate to the host building, and respect its character and appearance.
- 5.7 The extension would have a modern appearance, with simple forms consisting of full length glazed window along the west elevation. The extension would be condition to be constructed using London Stock Brick, which would be sympathetic to the host building's rear elevation. Moreover, the proposed extension would be constructed with a green roof. The proposed green roof would increase biodiversity, provides a habitat for invertebrates and ground nesting birds. Whilst, reducing the risk of flooding.
- 5.8 The proposal includes a new patio area covering approximately 16sqm to the west of the neighbouring site with no. 23 Lambolle Road This alteration is common within buildings of this age and status. In the current context, given the existing nature of the host building and its architectural features, it is considered that the proposed extensions and alterations to the front and rear garden would not detract from the architectural aesthetics of the building, its setting and any features of special architectural or historic interest.

6.0 Residential standards

- 6.1 The proposed building would provide a 3-bedroom flat at basement level adding an additional 2 Bedrooms with a gross internal floor space of approximately 95sqm which meets the Council's residential floor space standards for a 1 x 3Bed flat. Bedrooms 1 and 2 would be adequately sized and both bedrooms would be approximately well over the 11.5sqm advised for double bedrooms in the DCLG space standards measuring 15sqm (Bedroom 1) and 12.9sqm (Bedroom 2). However, Bedroom 3 would have an internal floor area of 9.0sqm.
- 6.2 Two of the rooms would be double aspect, and would have acceptable outlook, access to sunlight and daylight and natural ventilation due to the large windows. The bedroom towards the rear elevation (Bedroom 3) would face a thick wall, and there is no evidence that the

proposal would meeting the minimum ADF level. However, adequate storage is proposed, Overall the proposal would provide a good standard of residential accommodation.

7. Impact on neighbouring amenity

7.1 Policy A1 seeks to protect the quality of life of occupiers by only granting permission for development that would not harm their amenity. The main factors which are considered the impact the amenity of neighbouring residents are overlooking, loss of outlook and sense of enclosure, implications on daylight, sunlight, light pollution and noise.

7.2 The proposed rear extension would be constructed along the boundary wall with no. 25 Lambolle Road which have a bay window to the rear elevation consisting of three windows and given that the is a distance of 3.4m between the neighbouring property window/door and the finishing height of the extension at 3.00m it is not anticipated that the proposal would have any amenity impact on the neighbouring property.

7.3 In light of the above, it is considered that due to the small scale, and location of the proposal there would be no harm caused to the neighbouring amenity in terms of loss of light, outlook, overlooking or light pollution.

8. Trees

8.1 The site has tree/s in the rear garden and the neighbouring properties which hold some level of amenity value. No trees would be felled as part of the development. The proposal identifies the root protection areas for these trees and denotes the position of the tree protection barriers for the Construction Exclusion Zone. The tree protection measures would be secured via condition.

9. Transport

9.1 The proposed scheme would include a small amount of excavation and is located in a an area where, if necessary, parking for construction vehicles can be accommodated in the parking spaces in front of the property, subject to approved licence from Council's Street works Authorisations & Compliance Team. As such, transport officers consider that a Construction Management Plan would not be necessary in this instance. Also, given the nature and location of the proposed development, it is not considered that highways contribution would be necessary in this instance either.

9.2 In relation to car-free, the proposal would still be 1 x residential dwelling, it considered that there is no need for this to be secured as car-free.

10. Recommendation

10.1 Grant conditional planning permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 8th March 2021, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2017/7038/P
Contact: Obote Hope
Tel: 020 7974 2555
Email: Obote.Hope@camden.gov.uk
Date: 4 March 2021

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Matthew Wood Architects
4th & 5th Floor - Magdalen House
136-148 Tooley Street
London
SE1 2TU

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Garden Flat
23 Lambolle Road
London
NW3 4HS

DECISION

Proposal:

Erection of single storey rear extension at lower ground floor level, including excavation of the building footprint to lower the floor level, and formation of two front light wells.

Drawing Nos: P2.0 REV F; P2.1 REV B; P3.0 REB V B; P3.1 REV B; SM01; SM02; Basement Audit commissioned by Campbell Reith Consulting Engineers REV: F2 dated October 2020 and Revised Basement Impact Assessment commissioned by LBHGEO dated August 2020.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: P2.0 REV F; P2.1 REV B; P3.0 REV B; P3.1 REV B; SM01; SM02; Basement Audit commissioned by Campbell Reith Consulting Engineers REV: F2 dated October 2020 and Revised Basement Impact Assessment commissioned by LBHGEO dated August 2020.

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 4 The development hereby approved shall not commence until such time as a suitably qualified chartered engineer with membership of the appropriate professional body has been appointed to inspect, approve and monitor the critical elements of both permanent and temporary basement construction works throughout their duration to ensure compliance with the design which has been checked and approved by a building control body. Details of the appointment and the appointee's responsibilities shall be submitted to and approved in writing by the local planning authority prior to the commencement of development. Any subsequent change or reappointment shall be confirmed forthwith for the duration of the construction works.

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of policies D1, D2(if in CA) and A5 of the London Borough of Camden Local Plan 2017.

- 5 Prior to the commencement of any works on site, details demonstrating how trees to be retained shall be protected during construction work shall be submitted to and approved by the local planning authority in writing. Such details shall follow guidelines and standards set out in BS5837:2012 "Trees in Relation to Construction". All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017.

- 6 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include-
- i. a detailed scheme of maintenance;
 - ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used;

iii. full details of planting species and density.

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies CC1, CC2, CC3, D1, and A3 of the London Borough of Camden Local Plan 2017.

- 7 The development hereby approved shall be carried out strictly in accordance with the methodologies and recommendations of the Basement Impact Assessment LBH4481bia and other supporting documents hereby approved.

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of policy A5 of the Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444) . Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 4 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website at <https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319> or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer

DRAFT

DECISION