
Date:

November 2023

On behalf of:

Mr and Mrs Leslau

23 Prince Albert Road

Primrose Hill, London NW1

Design Update Ref: 2023/1709/PRE

Statement of Intent

This document has been prepared by the project team to present minor design updates to their proposals 23 Prince Albert Road, London, in response to feedback from the Planning Authority provided on the 22nd of August 2023.

The design updates include:

- The two existing balconies on Level 06 are proposed to have their brick balustrades replaced with solid corten steel balustrades, as opposed to the previously proposed open metal railings.
- The two existing, outer-most balconies at Level 07 are proposed to have their solid brick balustrades replaced with solid corten steel balustrades, as opposed to the previously proposed open metal railings.
- A new, small balcony is proposed to slot centrally, between the existing building massing at Level 07 (as per the previous proposals). This is now proposed to have a solid, corten steel balustrade, as opposed to the previously proposed open metal railings.

The design proposals continue to include:

- The two existing, inner-most balconies at Level 07 are to be enclosed with sympathetically designed glazing, in order to create a more usable interior space.
- Improved access to the roof terrace with a small extension to the existing glass-enclosed landing.

Project Team

Client
Mr. and Mrs. Leslau

Architect
Alistair Downie

Planning Consultant
Planning Resolution

Daylight / Sunlight Consultants
EB7

23 Prince Albert Road

Existing Building Summary

The existing residential building is 8 storeys tall, with a roof terrace on top. It is a 1960s, modernist building with a red-brick facade.

The red brick massing is separated into two elements by a vertical recess centred on the front and rear façades. Horizontal bands of glazing wrap the building at each level where it faces Prince Albert Road.

The facade is more solid to the rear and side elevations, with smaller windows punched into the red brick walls that wrap around the corners.

There is an existing glazed structure situated toward the rear of the building that covers the access stair to the roof terrace and extends downward between the two red brick massing elements on Level 06 and Level 07.

23 Prince Albert Road, Primrose Hill



Location of existing rooftop stair access



Location of existing rooftop stair access



Location of existing rooftop stair access

PREVIOUSLY SUBMITTED PROPOSALS | August 2023 (Ref. 2023/1709/PRE)

Proposed development - Level 08 / Roof

- The proposed rooftop structure has been carefully designed with a slim profile.
- The proposed glazing will not exceed the height of the existing rooftop structure.
- The new structure will be slightly wider than the existing structure, in order to safely accommodate the changes in level for rooftop access and provide interior circulation space.

Proposed balcony alterations- Levels 06 -07

New Balcony - Level 07

- Balcony to be discretely positioned within the existing building massing recess at Level 07.
- Glazed windows will be replaced by glazed doors to allow access out onto the terrace.
- The proposed balcony will be recessed behind the line of the red brick building massing to ensure it is subservient.

New Glazed extensions- Level 07

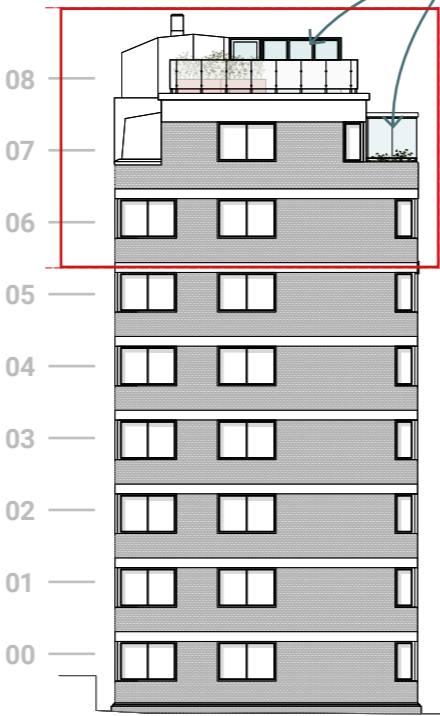
- Adding glazing above the existing, inner brick balconies will create more usable space.
- The proposed glazing will be simply detailed to match the existing glazing around the rest of the building.

New Metal railings - Levels 06 - 07

- Existing solid brick balustrades will be replaced by metal railings to allow more light and air into balcony and interior spaces.



Existing West Elevation (Albert Terrace)

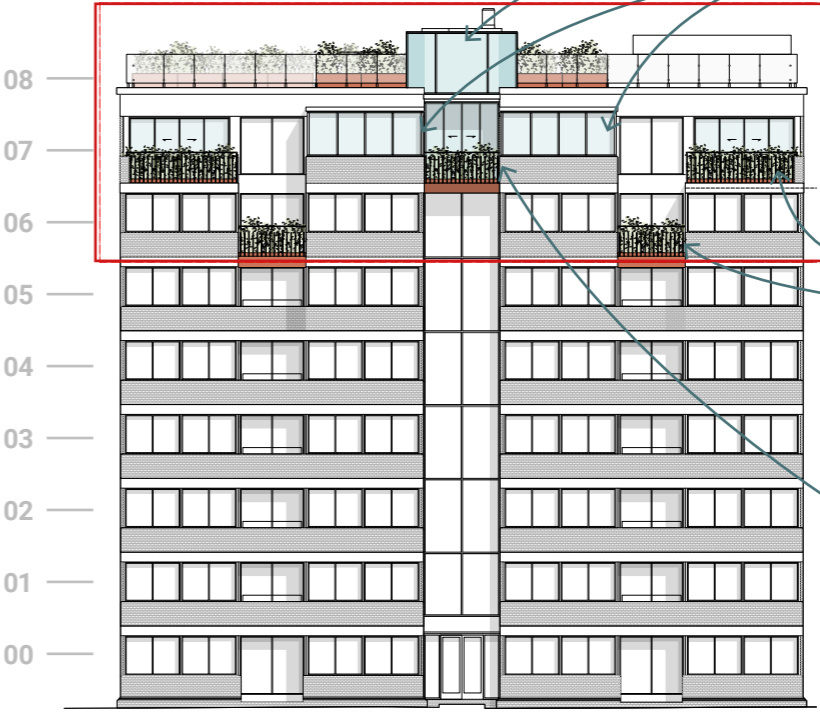


Proposed West Elevation (Albert Terrace)

Proposed additional rooftop conservatory area and glazed extension highlighted for clarity



Existing South Elevation (Prince Albert Road)



Proposed South Elevation (Prince Albert Road)

Levels 6, 7 8 under single ownership.

Levels 0 - 5, no changes proposed.

Proposed additional rooftop conservatory area and glazed extensions highlighted for clarity

Existing brick balustrades replaced by metal railings to improve access for light and air.

Proposed new balcony is discretely positioned within the existing building massing.

Proposed development - Level 08 / Roof
(No change from previous proposal)

- The proposed rooftop structure has been carefully designed with a slim profile.
- The proposed glazing will not exceed the height of the existing rooftop structure.
- The new structure will be slightly wider than the existing structure, in order to safely accommodate the changes in level for rooftop access and provide interior circulation space.

Proposed balcony alterations- Levels 06 -07
(Balustrade material updated)

New Balcony - Level 07

- Balcony to be discretely positioned within the existing building massing recess at Level 07.
- Glazed windows will be replaced by glazed doors to allow access out onto the terrace.
- The proposed balcony will be recessed behind the line of the red brick building massing to ensure it is subservient. **It will have a solid, corten steel panel balustrade.**

New Glazed extensions- Level 07

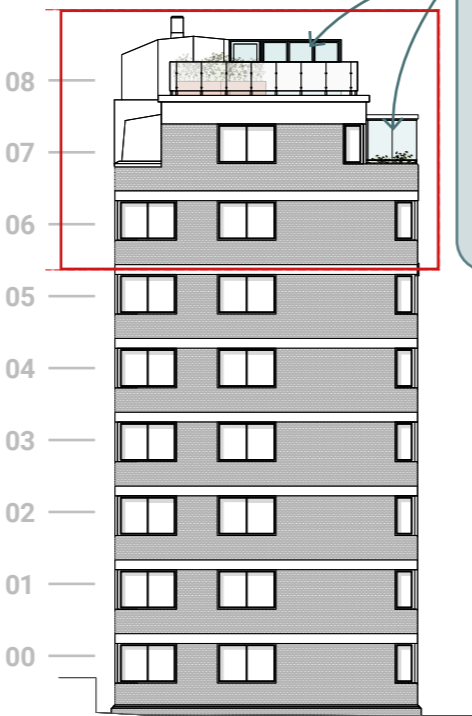
- Adding glazing above the existing, inner brick balconies will create more usable space.
- The proposed glazing will be simply detailed to match the existing glazing around the rest of the building.

New solid corten railings - Levels 06 - 07

- Existing solid brick balustrades will be replaced by solid, corten steel panels to be in keeping with the character of the existing facade.



Existing West Elevation (Albert Terrace)



Proposed West Elevation (Albert Terrace)

Proposed additional rooftop conservatory area and glazed extension highlighted for clarity



Existing South Elevation (Prince Albert Road)



Proposed South Elevation (Prince Albert Road)

Levels 6, 7 8 under single ownership.

Levels 0 - 5, no changes proposed.

Proposed additional rooftop conservatory area and glazed extensions highlighted for clarity

Existing brick balustrades replaced by solid, corten steel panels.

Proposed new balcony is discretely positioned within the existing building massing.



Existing 3D view



Proposed 3D view



Existing 3D view



Proposed 3D view



Existing 3D view



Proposed 3D view



Existing 3D view



Proposed 3D view



Proposed 3D view



Existing 3D view



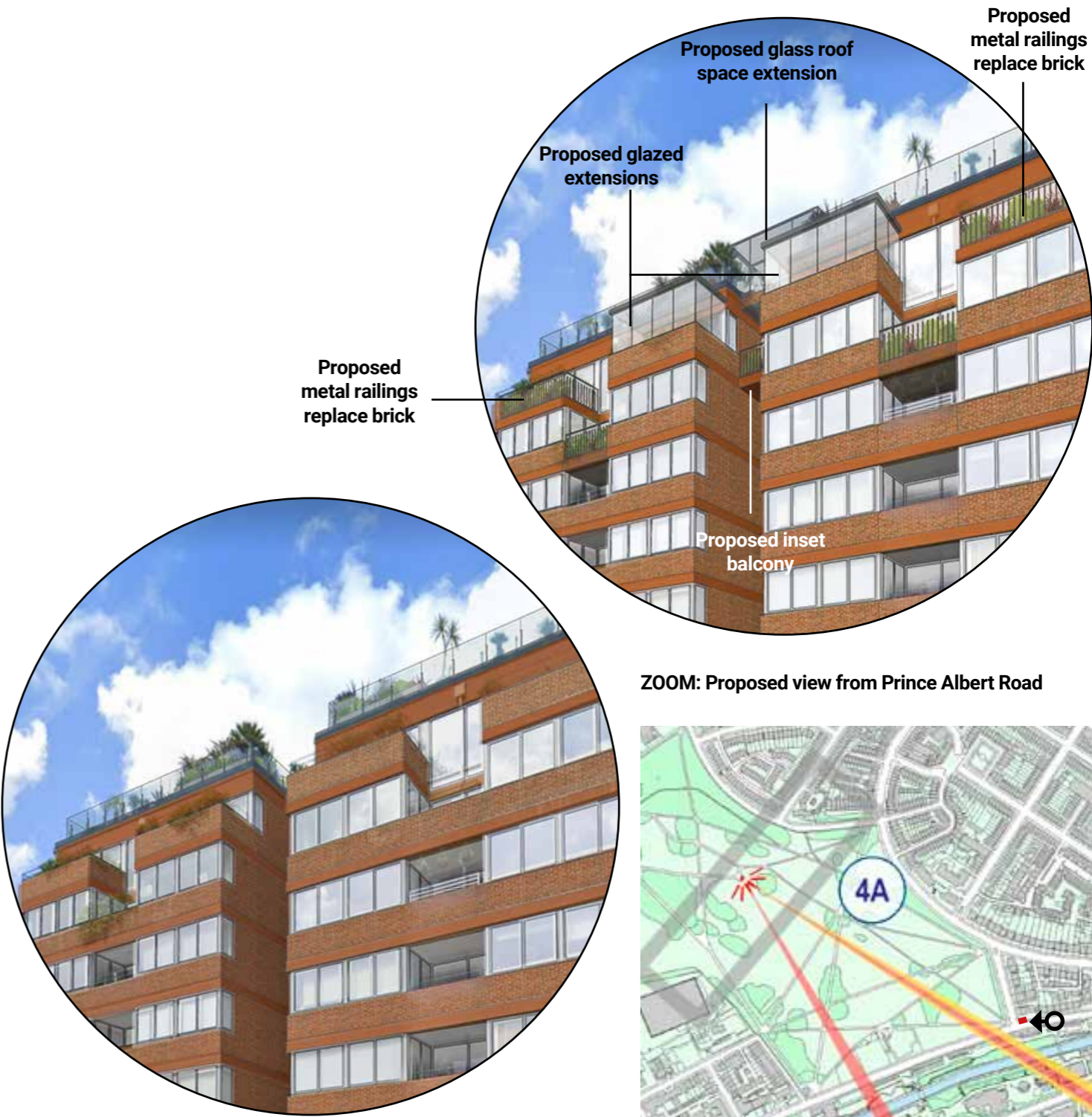
Proposed 3D view



Existing 3D view



Proposed view from Prince Albert Road



ZOOM: Existing view from Prince Albert Road

ZOOM: Proposed view from Prince Albert Road

Viewpoint taken from Prince Albert Road



Proposed view from Prince Albert Road

Proposed corten steel panels replace brick

Proposed glass roof space extension

Proposed glazed extensions

Proposed inset balcony

Proposed corten steel panels replace brick

ZOOM: Existing view from Prince Albert Road

ZOOM: Proposed view from Prince Albert Road

Viewpoint taken from Prince Albert Road



Viewpoint taken from Prince Albert Road

Proposed view from Prince Albert Road



Proposed view from Prince Albert Road



Current proposed 3D view from Prince Albert Road



Previously proposed 3D view from Prince Albert Road



Existing 3D view from Prince Albert Road

Proposal summary

The project team have updated their proposals for Levels 06 - 08 (Roof) at 23 Prince Albert Road following feedback from the Planning Authority on August 22, 2023/1709/PRE.

- **Level 06** - The two existing balconies are proposed to have their brick balustrades replaced with solid corten steel balustrades, as opposed to the previously proposed open metal railings.
- **Level 07** - Outer balconies are to have their solid brick balustrades replaced with solid corten steel balustrades, as opposed to the previously proposed open metal railings.

Inner balconies are proposed to be enclosed with glazing (as per the August proposals) - to brighten and improve the interior spaces at that level.

A new balcony is proposed to be inserted centrally, within the existing building recess. It is now shown with a solid, corten steel balustrade, as opposed to the previously proposed metal railings.
- **Level 08** - The roof terrace access is proposed to be improved with a small extension to the existing glass-enclosed landing, as per the previous proposals.

The proposals have been thoughtfully and holistically designed to enhance connections with nature and the outside environment. Biophilic interventions, including glazed spaces to provide better views, planters for herbs and flowers, and a revitalised roof terrace space, will create a healthier, more vibrant living space throughout all seasons.

Key points to note:

- The proposals are all within the demise of a single dwelling / single ownership area which includes Level 06, 07, and 08 (Roof).
- Our design team have completed a careful review of the Daylight / Sunlight impacts of our proposals. Please refer to the accompanying information provided by our Daylight / Sunlight consultants.

Date:

November 2023

On behalf of:

Mr and Mrs Leslau

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