

Design and Access Statement

The rear of 8-9 Murray Street, Camden

November 2023

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November 2023

Contents Page

Site description

Location	1
Area and Property History	2
Front of Murray Street	3
Rear of Murray Street	4
Local Modern Buildings	5
Existing Building	6

Planning

Camden Square Character Area Appraisal	7
Planning History	8
Relevant Planning Policy	9

The Proposal

Use / Access and Brief Outline of Proposed Development.	10
Scale / Footprint / Building Height	11
Scale / Massing	12
Impact on Neighbours Amenity	13
Appearance	14
Appearance and Materials	15
Environmental benefits and Sustainability	16
Fire Safety Strategy	17

Practice Profile	18
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8-9 Murray Street, Camden

Site description - Location

The property on Murray St, is situated in the Camden Square conservation area.
Murray street is a no-through road between Camden Square and Agar Grove.
Opposite the property is the London Irish Centre.



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8-9 Murray Street, Camden

Site description - Area history

Camden New Town is an extensive area of mid-19th Century London development started around 1845. The first to be built were large houses built around Camden Square and Camden Road. The houses are a mix of stylish double villas, with long south-facing back gardens and residential terraces with ground floor shopfronts.

There is a history of mews, out-buildings and extensions to the rear of the dwellings and commercial premises on Murray Street.

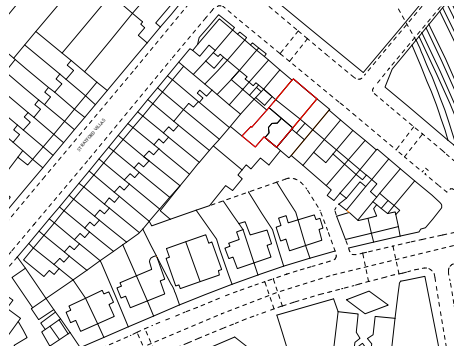
Property history

The property occupies the ground floor of two adjoining terraces which were united into offices for a Conservatory Company in 1988. At this time, a rear extension and Victorian style conservatory were built as a show room for the business.

In 2007 the property was converted to Live-work sui generis accommodation with an associated planning permission. Works were carried out to provide basement accommodation. A new rear extension containing a kitchen at ground level and a bedroom at basement level was constructed. The previous occupant was an artist who used the space as a live-work painting studio.



8-9 Murray Street, OS map c. 1950



8-9 Murray Street, 2023



8-9 Murray Street, OS map c. 1890



WWII Bomb damage map c. 1945

All Site plans 1:2500 scale @ A4

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Site description - Front of Murray Street

8-9 Murray Street is within a designated Neighbourhood shopping and service centre. There is an existing parade of shop fronts, many of which have been converted to residential use (8-9 Murray St. included) at ground level with residential flats in the upper floors.

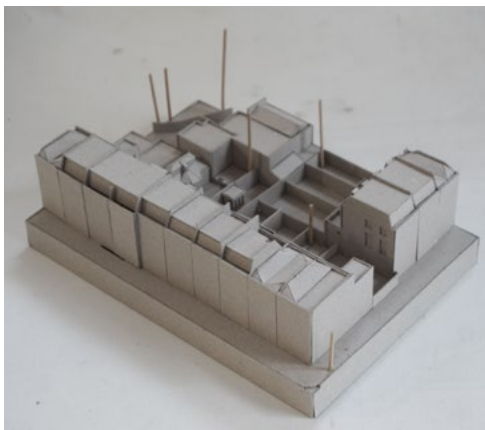
The streetscape of Murray St has a unified appearance due to the architectural language of shopfronts at ground level, with filigree metalwork at first floor level - above the fascia signs. There is a varied roofline along Murray Street, where mansard and dormer roof developments have taken place.



Double shopfront facade of 8-9 Murray Street,



Front facade of 8-9 Murray Street.



1:200 scale site model photograph showing the front of Murray Street.



Street view of Murray Street and Stratford Villas.

The converted shop front of 8-9 Murray Street seen from the highway with business premises occupying 5 and 7 Murray Street.

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Site description - Rear of Murray Street

The rear of Murray Street contains a mix of domestic extensions, outbuildings and commercial mews premises. The scale, footprint and massing of the developments to the rear of Murray street also varies, with a range of building heights between one and three stories.

The land to the rear of Murray St faces South-West, receiving evening light. The land is a patchwork of development and amenity space with some mature trees in places. The development is a mix of single and two storey high extensions, a few outbuildings and a larger mews development.

The neighbouring back garden of no. 7 Murray Street, has been entirely developed by a single storey extension and flat roof to accommodate a restaurant (Class E building use). 10 Murray Street garden is separated by a boundary wall. Alongside the boundary is a low outbuilding that is approximately of equal height.

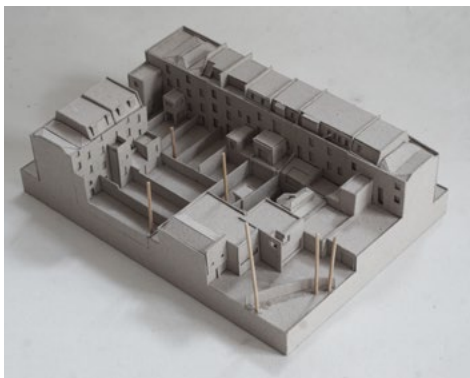
The site is screened by a row of trees to the West limiting overlooking onto the project site from dwellings at Stratford Villas. The site is screened from view to the rear of villas on Agar Grove to the South East by one and two storey rear extensions to no. 10 Murray Street and no. 1 Cobham Mews.



View of Cobham Mews



Southerly aerial view of site (with red boundary).



1:200 scale site model photograph showing the rear of Murray Street.



Site photo from the garden of the project site showing the heterogeneous developments to the rear of Murray Street.

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Site description - Local Modern Buildings

There are a number of modern buildings noted for their architectural quality in the local environs.

The various projects make use of high quality material treatment which are sympathetic to the local urban fabric. The designs take the opportunity of the mews setting to employ creative use of glazing and inventive building forms.

The buildings often make use of large spans of glazing in facades and pitched roofs. Sheltered or inset timber windows and cladding are complemented by brick.



15-19 Camden Mews, Camden by Team 4 1963-66



62 Camden Mews, Camden by Edward Cullinan 1964



66 Camden Square, Camden by Peter Bell and Rodger Davis 1986



1 Cobham Mews by David Chipperfield Architects

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Site description - Existing building

The garden of 8-9 Murray Street contains a number of differing styles of development that partially occupy the garden land. These are:

- A contemporary extension at Ground and basement level Clad in Douglas fir with Mill finish aluminium fenestration (constructed in 2009).
- A rear basement-area light well (constructed in 2009)
- A single storey extension with flat roof and pyramidal timber skylight (constructed in 1988).
- Victorian style painted-timber conservatory adjoining the single story extensions which features: a bay window, hipped roof and lantern (constructed in 1988).

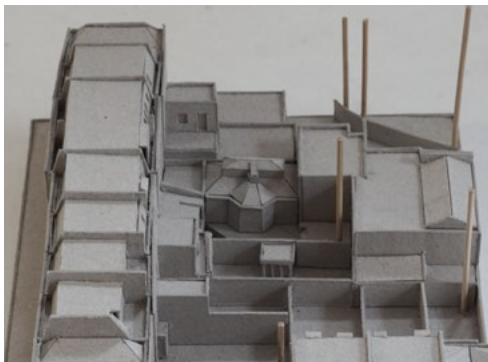
The existing conservatory is in poor condition and requires a full replacement in the near future. Some glazing bars and low level timbers are rotting. Double and single glazing panels have blown or is broken in a number of places.



Internal view of existing conservatory



Conservatory and single-storey extension on the site with the entirely developed garden land of No. 7 Murray street behind.



1:200 model detail view of conservatory and garden of 8-9 Murray Street



Site photo of 1980's period conservatory and kitchen extension constructed in 2009.

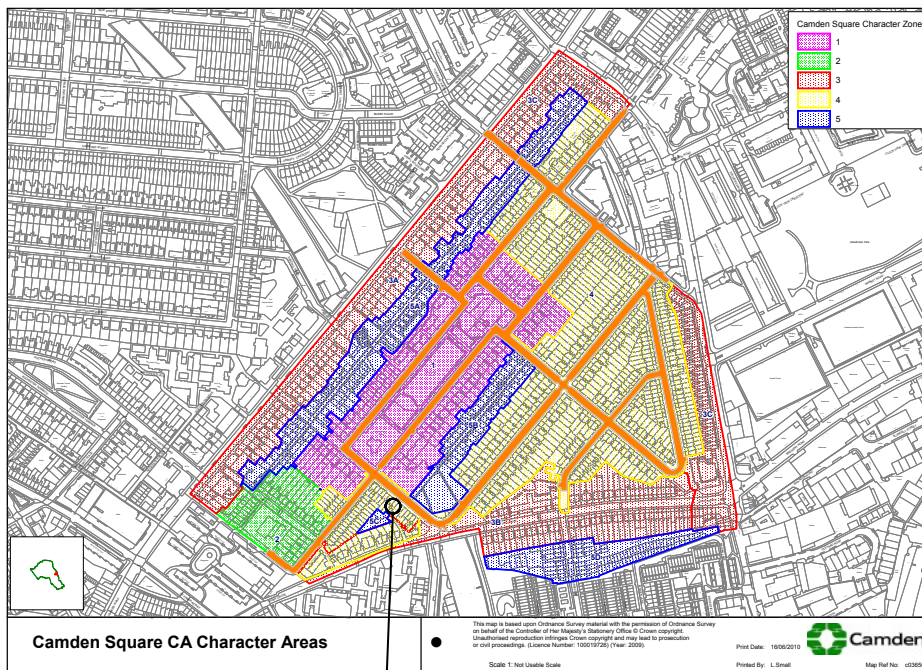
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Planning - Camden Square Conservation Area Appraisal

Located within a residential area, the site sits within the Camden Square Conservation Area and Murray Street Neighbourhood Centre.

The project site is within the “Grid of Streets” character zone of the Camden Square Conservation Area.



Location of 8-9 Murray street in
Camden Square Conservation
Area.

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8-9 Murray Street, Camden

Planning - Planning History

Planning history for 8-9 Murray Street:

1. **Application 2019/3995/P:** External alterations to 3rd floor flat at 8 Murray St including enlargement of existing rear dormer window and installation of Juliet balcony.
Application Registered: 10/09/2019
Decision: Granted 14/11/2019
2. **Application 2018/2938/T:** Notification of Intended Works to Tree(s) in a Conservation Area at 9 Murray St. REAR GARDEN: 1 x Ash - Fell to ground level 1 x Ash - Crown reduction by 30%.
Application Registered: 25/06/18
Decision: No objection/Granted 01/08/18
3. **Application 2008/2297/P:** External alterations including the installation of new timber framed doors to the front elevation at basement level and the replacement of rear windows at ground floor level of 8-9 Murray St, with sliding windows and the replacement of rear doors at basement level with glazed sliding doors.
Application Registered: 02/06/2008
Decision: Granted 23/07/2008
4. **Application 2007/2988/P:** Alterations to ground floor and basement to include creation of a new basement below No 8 Murray St, new lightwells to both 8 & 9, extension of existing basement below no 9 Murray St, creation of a courtyard at basement level at rear of No 9 and erection of a ground floor rear extension at No 9 to replace the existing conservatory, in association with the change of use plus extension of the basement and ground floor from Class B1 business use to Sui Generis live/work unit.
Application Registered: 04/07/2007
Decision: Granted 09/11/2007
5. **Application 8802579:** The installation of a new shopfront at no.8 Murray Street the formation of an opening between 8 and 9 Murray Street at ground floor level and the erection of a roof extension at 3rd floor level to provide additional residential accommodation for the existing maisonette on the first and second floors at no.9 as shown on plan nos MSD/01-04 007-12 MR01 as amended by letter dated 13.01.89 and MR02.
Application Registered: 26/10/1988
Decision: Granted with conditions 30/03/1989

Map of Conservation Areas and Listed Buildings by Camden Council

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Planning - Relevant Planning Policy

It is considered that the proposals have been developed in accordance with the following relevant planning policies:

National and local policies

Camden Planning and Design Guidance

Camden Planning Guidance 2021

Camden Square Conservation Area Statement

Camden's Environmental and Sustainability Plan/ Green Action for Change (2011-2020)

North London Waste Plan

Camden Local Plan 2017

Policy D1 - Design

Policy D2 - Heritage

Policy D3 - Shopfronts

Policy CC1 - Climate Change Mitigation

Policy CC2 - Adapting to Climate Change

Policy CC3 - Water and flooding

Policy A1 - Managing the Impact of Development

The London Plan

Policy D4 - Delivering good design

Policy D6 - Housing quality and standards

Policy HC1 - Heritage conservation and growth

Policy HC3 - Strategic and local views

National Planning Policy Framework (NPPF)

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8-9 Murray Street, Camden

The Proposal - Use and Access

The current Use class of the building - Sui Generis Live-work shall remain unchanged.

The existing access to the property: via the front door at street level shall remain unchanged. The spiral stair access to the basement level habitable rooms shall be retained.

The existing conservatory extension is accessed by a single step down from the main ground floor flat level. The proposal shall remove the step, providing level access to the new extension.

The Proposal - Outline of the development.

See the associated Proposal drawings numbered HSA_63_100 to HSA_63_109 inclusive for details of the proposed works to 8-9 Murray Street.

A brief description of the proposed works are:

- Demolish the existing fully glazed conservatory and single storey hall extension.
- In the same location and on an equivalent foot print - Construct a new insulated timber framed living room back extension with gable ended roof form.
- Replace the existing roof and wall cladding to the existing kitchen extension.

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The Proposal - Scale / Footprint / Building Height

The proposal has been carefully designed so that the footprint of the new extension is equivalent to that of the existing conservatory and single storey hall extension. The roof of the proposed extension is close to the existing pitch of the lower hipped section of the conservatory roof, but has a lower ridge height and smaller profile than the existing conservatory roof line - see section drawings below.

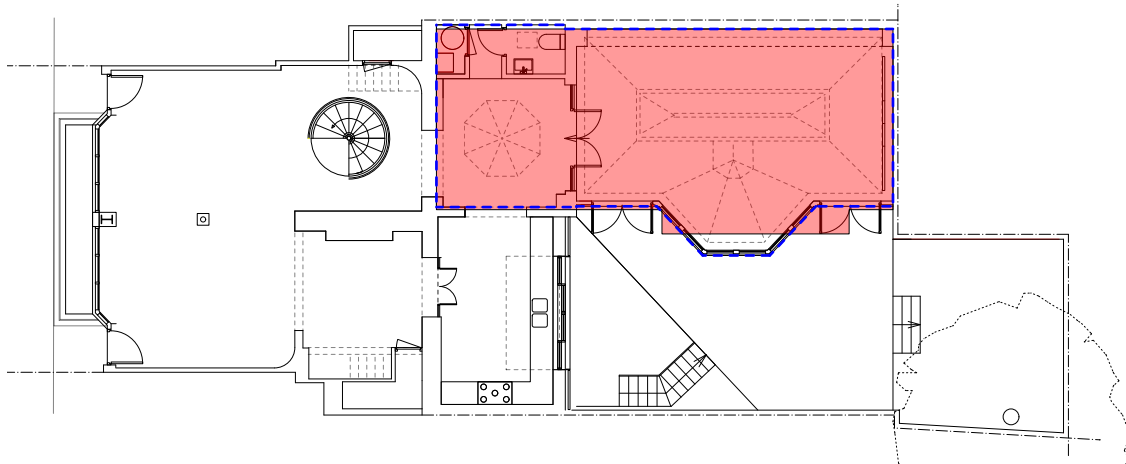


Image Above: The 1980's period single storey extension and conservatory (outline with dotted blue line (61 Sq m) shall be demolished. A new extension with reduced glazing and increased thermal insulation shall be constructed in it's place, on an equivalent footprint (61 Sq m). There will be no net loss of garden amenity space.



Image Above: 1:200 scale section through existing conservatory

The ridge of the conservatory is +5.14 metres over existing floor level.



Image above: 1:200 scale section through proposed extension.

The ridge of the proposed extension is +4.43 metres over existing floor level - equal height or below the window cills to the dwelling above .

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8-9 Murray Street, Camden

The Proposal - Scale / Massing

The proposed massing of the new rear extension is similar to the existing massing of the conservatory and hall extension. The proposed simple roof form follows the same pitch of the conservatory. The overall height of the proposed roof is made lower than the existing conservatory roof line by omitting the existing roof lantern configuration. The bay window of the proposed extension is shallower than the existing conservatory bay.



*1:200 model photo of site
as existing.*



*1:200 model photo of
proposed works to rear of
8-9 Murray Street*

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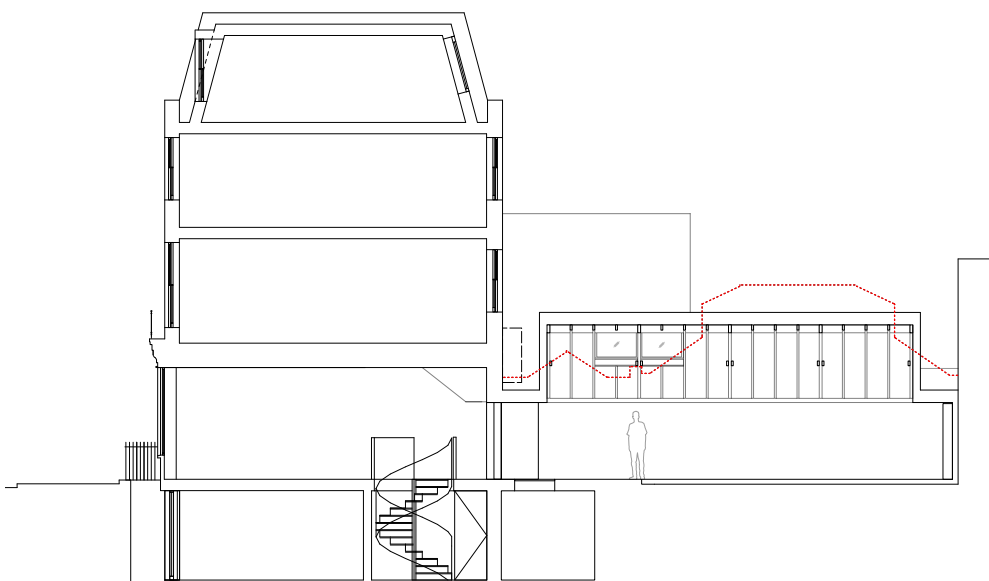
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8-9 Murray Street, Camden

The Proposal - Impact On Neighbouring Residential Amenity

Impact on neighbour's amenity has been carefully considered during the design development of the proposed extension which provides the following benefits:

- The light spill and sound pollution impact on neighbours is mitigated by significantly reducing the overall surface area of roof glazing.
- Overlooking into and from neighbouring windows is reduced by omitting roof glazing facing onto the neighbouring flats above.
- The overall height of the proposed ridge line is 725mm lower than the existing conservatory. The proposed ridge height is equal to or lower than the window cills of the neighbouring flats above.
- The proposed roof envelope shall reduce any glare currently arising from the excessive glazing of the existing conservatory.

An existing tree to the south west screens the existing and proposed extension from the view of properties at the rear of Stratford Villas



1:200 scale As proposed section showing the profile and height of the existing conservatory (red dotted line) in relation to the proposed extension



Including the Kitchen, conservatory and existing pyramid skylight, the roof glazing of 8-9 Murray street is approx 68 sq m

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Existing shading with scaffold

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8-9 Murray Street, Camden

The Proposal - Appearance of the Front of Murray Street

The proposed change of appearance to the front elevation is minor. The works shall retain the colour of the existing painted timber glazing frames, painted blank fascia sign and stall riser.

The existing glazing is to be replaced with higher thermal performance glazing, and the extent of obscured glass shall be altered to include a zone of high level clear glazing.

Proposed materials to Front elevation of 8-9 Murray Street:

- Existing Grey painted timber window frames
- Existing clear glazed metal framed windows.
- Proposed high level clear glass section



Existing Front Elevation



Proposed Front Elevation

Proposed alteration to the front elevation is minor: replacing the existing glazing panels to upgrade the thermal performance, and provide high level clear glazing (shown in grey tone).

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8-9 Murray Street, Camden

The Proposal - Appearance and Materials of the Rear of Murray Street

The proposed rear extension shall deliver a unified appearance to the back garden development of 8-9 Murray Street. See Drawing numbers HSA_63_12, 14, 16, 17, 102, 104, 106, 107 for a schedule of existing and proposed materials.

The proposed materials are:

- Existing Mill finish aluminium windows and flashing to kitchen extension retained
- Proposed Natural zinc roof finish.
- Proposed Zinc gutter and timber-roll canopy
- Proposed Zinc downpipe
- Proposed treated timber windows
- Proposed Low profile metal framed skylights
- Proposed untreated timber cladding
- Proposed reclaimed London stock brick plinth



Treated timber windows
Strange House by Hugh Strange Architects



Treated timber windows and timber cladding.
Clapton House by Hugh Strange Architects



Zinc cladding and treated timber windows
Garden Room by Hugh Strange Architects



Large art studio style skylights.
Harewood Studio by Hugh Strange Architects

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Design & Access Statement **8-9 Murray Street, Camden**

The Proposal - Environmental benefits and sustainability

The proposal will deliver the following environmental benefits:

- Reducing the overall amount of roof glazing will minimise light pollution and noise pollution.
- The overall footprint of the proposed is unchanged, resulting in no net loss to the garden amenity space.
- Impact on the roots of the existing ash tree to the rear of the garden shall be mitigated by the proposed extension occupying the footprint of the existing conservatory - and the use of the existing conservatory footings where possible.
- There is no net gain in drainage of rainwater into the existing below ground drainage/sewer system.

8-9 Murray Street has a high risk of surface water flooding but considered to have a very low risk/unlikelihood of rivers and sea flooding, reservoir flooding and ground water flooding.

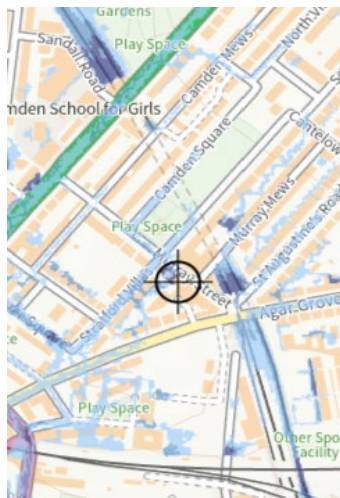
The Carbon footprint of the proposal shall be reduced by sustainable construction practices. The structure is intended to be a lightweight timber frame assembled with dry construction techniques. The lightweight construction will enable the re-use of the existing footings of the conservatory, significantly reducing the amount of concrete used, and thus the amount of CO2 released into the atmosphere.

The new envelope of the proposed extensions shall replace existing sub-standard insulation and/or glazing. A fabric first construction approach shall incorporate thermal insulation that meets or exceeds minimum requirements described in Approved document L of the UK building regulations. The energy use of the existing property shall be reduced by this development.

The proposed fabric of the building will utilise renewable materials, such as sustainably sourced (FSC certified) timber, and recycled materials such as reclaimed London stock brick and recycled zinc where possible.



Existing Ash tree on site



*Flood map excerpt
from UK Gov.*

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8-9 Murray Street, Camden

The Proposal - Fire Safety Strategy

The proposed development does not changed the principle of the existing means of escape from the property. Escape from basement level shall be via existing metal spiral stairs to the final exit / front door onto Murray Street; as is the existing condition.

The external materials of the proposed extension shall reduce the spread of flame across their surface. The fire period of the proposed structure shall meet the minimum periods of fire resistance as required in Approved document B of the UK building regulations.

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Practice profile

Hugh Strange Architects was formed in 2011 and is an award-winning practice based in London with a reputation for well-crafted buildings that marry innovative construction with a sensitive approach to site conditions.

The practice's first project, The Strange House, has been internationally published and has won awards from the RIBA, AIA and the Wood Awards. The house is sited in Deptford, South-East London in an old pub yard, largely concealed from the street outside by an existing brick perimeter wall. It is small, low budget and inhabits an unpromising site yet carefully uses the materials and existing site conditions to create a generous and beautiful new home.

The practice completed in 2014 an architectural drawing archive for Drawing Matter in a working Somerset farmyard. Inside the remaining walls of an old barn, two timber structures have been inserted with a single new over-sailing roof. The Architecture Archive has won regional and national RIBA awards and has been nominated for the prestigious bi-annual European Union prize for Contemporary Architecture – Mies van der Rohe Award 2015.

A simple cabin providing seasonal space for visitors, staff and school groups for the Avon Wildlife Trust won the AJ Small Projects Award 2016.

Hugh Strange is a member of the Lewisham Design Review Panel and the Convoys Wharf Design Review Panel.



The Strange House, London



The Drawing Matter Archive, Somerset



Avon Wildlife Trust Cabin, Bristol

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