

15th August 2023

Design & Access Statement- 57 Goldhurst Terrace, London NW6 3HB

Introduction

The following statement has been prepared in support of a full planning application for the single storey rear extension, rear dormer extension, 3no. roof lights to front roof slope, front garden basement entrance demolition and window alteration to side and rear elevations of the site known as 57 Goldhurst Terrace.

This statement sets out in detail the relevant policy to the proposal. This policy is outlined in a range of documents as follows:

Camden Local Plan

Camden CPG1 Design 2015

South Hampstead Conservation Area Appraisal

Article 4 Direction Schedule and List of Properties Affected in the Swiss Cottage Conservation Area

Swiss Cottage Conservation Area Design Guide

Site Location

The property sits within the conservation area of South Hampstead Conservation Area in Camden Council. The area is of a homogeneous character, consisting of Victorian residential terraces and villas upon a high regular subdivision. The property itself is a terraced Victorian houses with existing basement. The property in question is not listed but is located in a conversation area, therefore any works conducted on the building need conservation area consent.

Proposal Summary

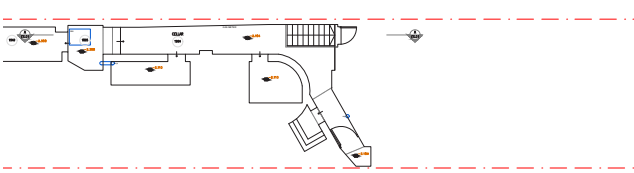
- Construct rear dormer extension
- Add 3no. new roof lights on front roof slope
- Alteration to the existing basement entrance in front and rear garden
- A new door to rear facade of main building
- Construct juliet balcony windows to rear elevation of outrigger to replace existing windows; one new door and new window to side elevation.

Design

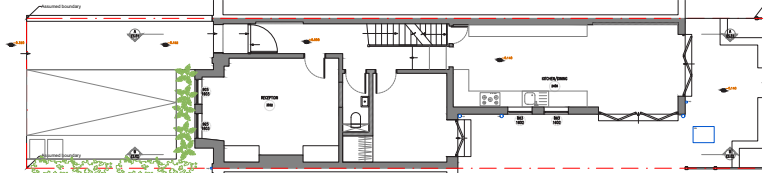
The proposals aims to create more high quality residential space to accommodate growing housing need within the council. By developing within the existing building footprint the quantity of the proposed habitable room on this site will be optimised.

Throughout the design process, London Borough of Camden's **Camden Local Plan** and **CPG1 Design** were consulted and a full appraisal of existing dwellings within nearby area was undertaken.

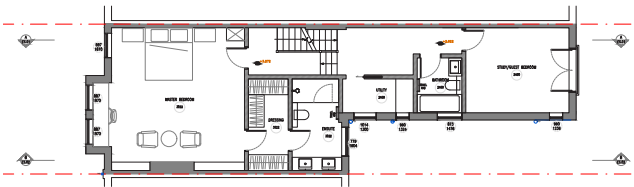
Proposed Floor Plans, Elevations and Sections



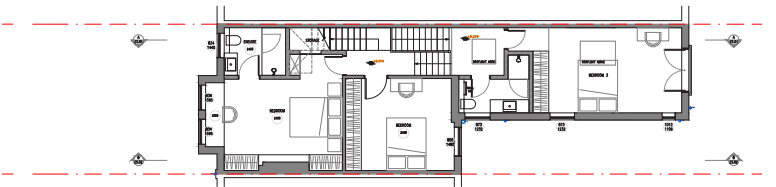
Basement Plan



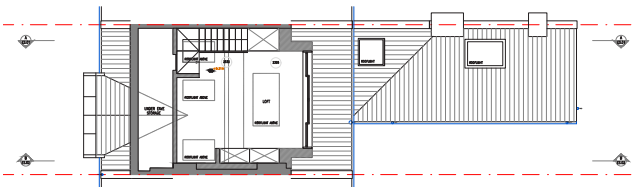
Ground Floor Plan



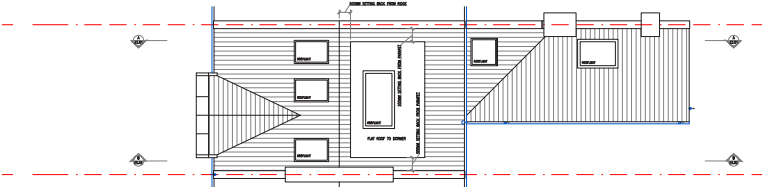
First Floor Plan



Second Floor Plan



Loft Plan



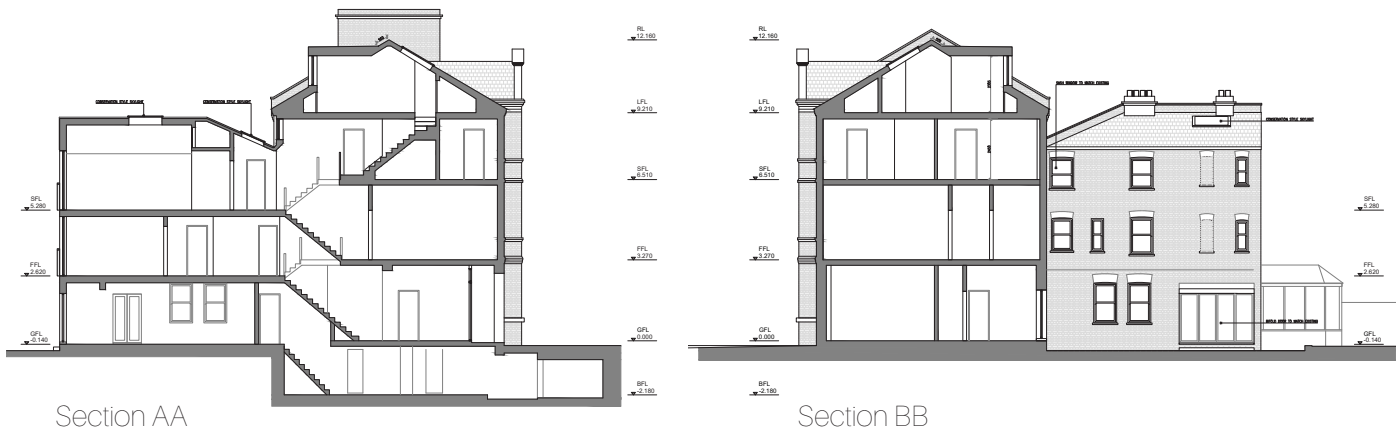
Roof Plan



Front Elevation



Rear Elevation



Rear Dormer

The guidance states that Rear Dormer Windows, "should also be sufficiently below the ridge of the roof in order to avoid projecting into the roofline when viewed from a distance. Usually a 500mm gap is required between the dormer and the ridge or hip to maintain this separation".

The scheme follows this guidance as illustrated above. The roof and dormer cheeks set back 500mm from the ridge and existing parapets. The external finish will be tiles to match existing roof.

Rear dormer extension is quite common on the same road. Similar size dormers can be found at **49, 61, 65 and 73 Goldhurst Terrace**. The proposed extensions are situated on the rear elevation so they will not be seen by public on Goldhurst Terrace.

Roof Lights to Front Roof Slope

Three roof lights will be installed on the front roof slope. Due to the height and roof slope angle, they can hardly be seen from the street.

Front roof lights can be easily found on this street. At 61, 71 and 79 Goldhurst Terrace, same quantity of roof lights with similar size are installed on their roofs.



View from the street



Front Garden Basement Entrance



Front Garden Basement Entrance

Basement Entrance in Front and Rear Garden

The steel balustrade and upstand will be removed.

The opening will be covered and paved with existing paver to match surrounding.

Accessibility and street view can be benefit from the alteration.

New Doors and Window to Side and Rear Elevations

The new doors and sash window will be white framed and look to match existing.

Precedents - Case Study

There are a number of precedents in the area where extensions to an existing house are similar to what has been proposed to 57 Goldhurst Terrace.

We have found precedents on Goldhurst Terrace, where very similar schemes were submitted to Camden Council and granted:



- 57 Goldhurst Terrace, London
- 49 Goldhurst Terrace, London
- 61 Goldhurst Terrace, London

Please note when reviewing the precedent that the drawings taken from Camden Council's planning website only represent a part of the entire application. Reference number have been included for the precedent so that the entire submission, including all drawings, can be looked at when assessing.

49 Goldhurst Terrace, London, NW6 3HB

Planning Application reference: 2009/1545/P

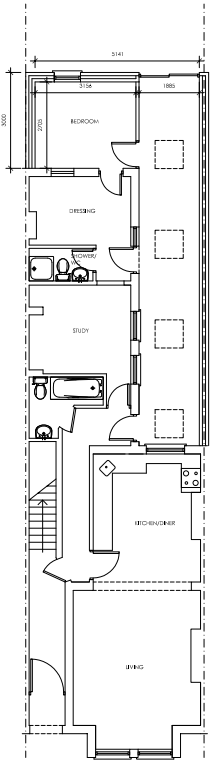
Granted on 14/04/2009

Description of proposal:

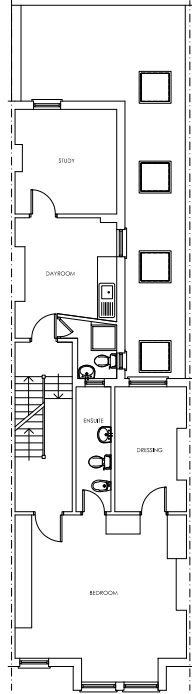
"Erection of a single storey rear extension, rear dormer extension and rear roof light, and two roof lights to front of dwelling house (Class C3)."

In this case, rear dormer, and roof lights to front roof similar to our scheme have been granted.

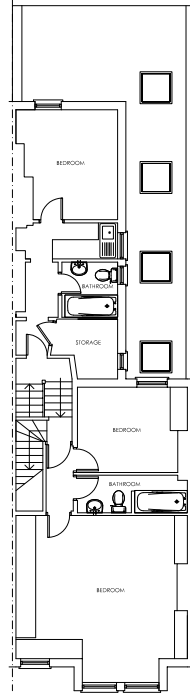
The rear dormer in both schemes have similar setting back on both sides, however, the height of dormer in our scheme is lower which also means smaller visual impact.



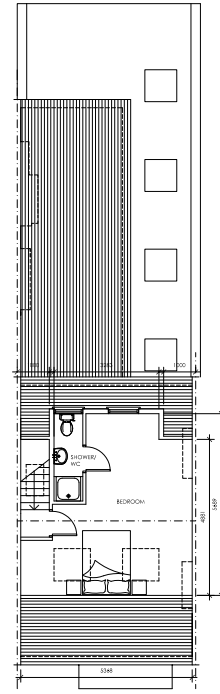
Proposed GF Plan



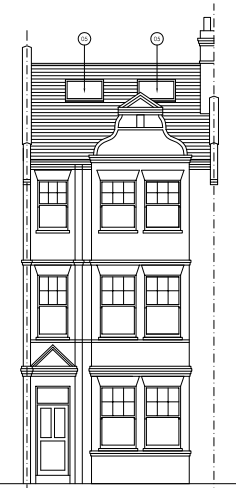
Proposed FF Plan



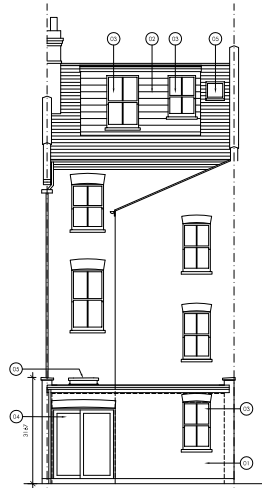
Proposed SF Plan



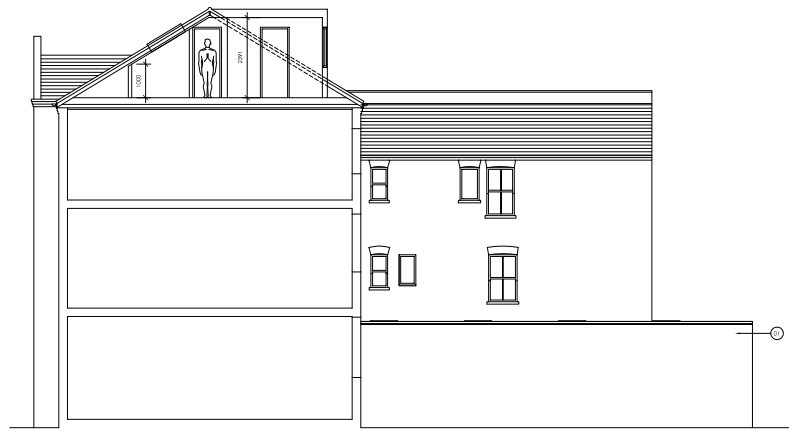
Proposed Loft Plan



Proposed Front Elevation



Proposed Rear Elevation



Proposed Section

61 Goldhurst Terrace, London, NW6 3HB

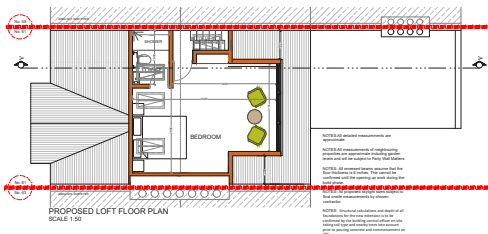
Planning Application reference: 2019/2352/P

Granted on 30-07-2019

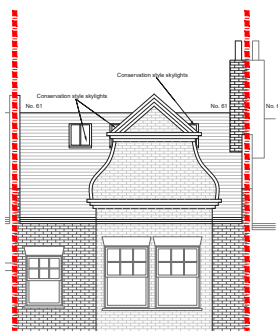
Description of proposal:

"Installation of a dormer window and rooflight to rear roofslope and three rooflights to front roofslope."

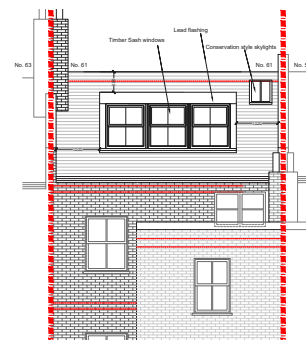
In this case, rear dormer, and roof lights to front roof, similar to our scheme has been granted.



Proposed Loft Plan



Proposed Front Elevation



Proposed Rear Elevation

Access

Access to the property will remain unaltered.

Please contact us if any further information or clarification is required.