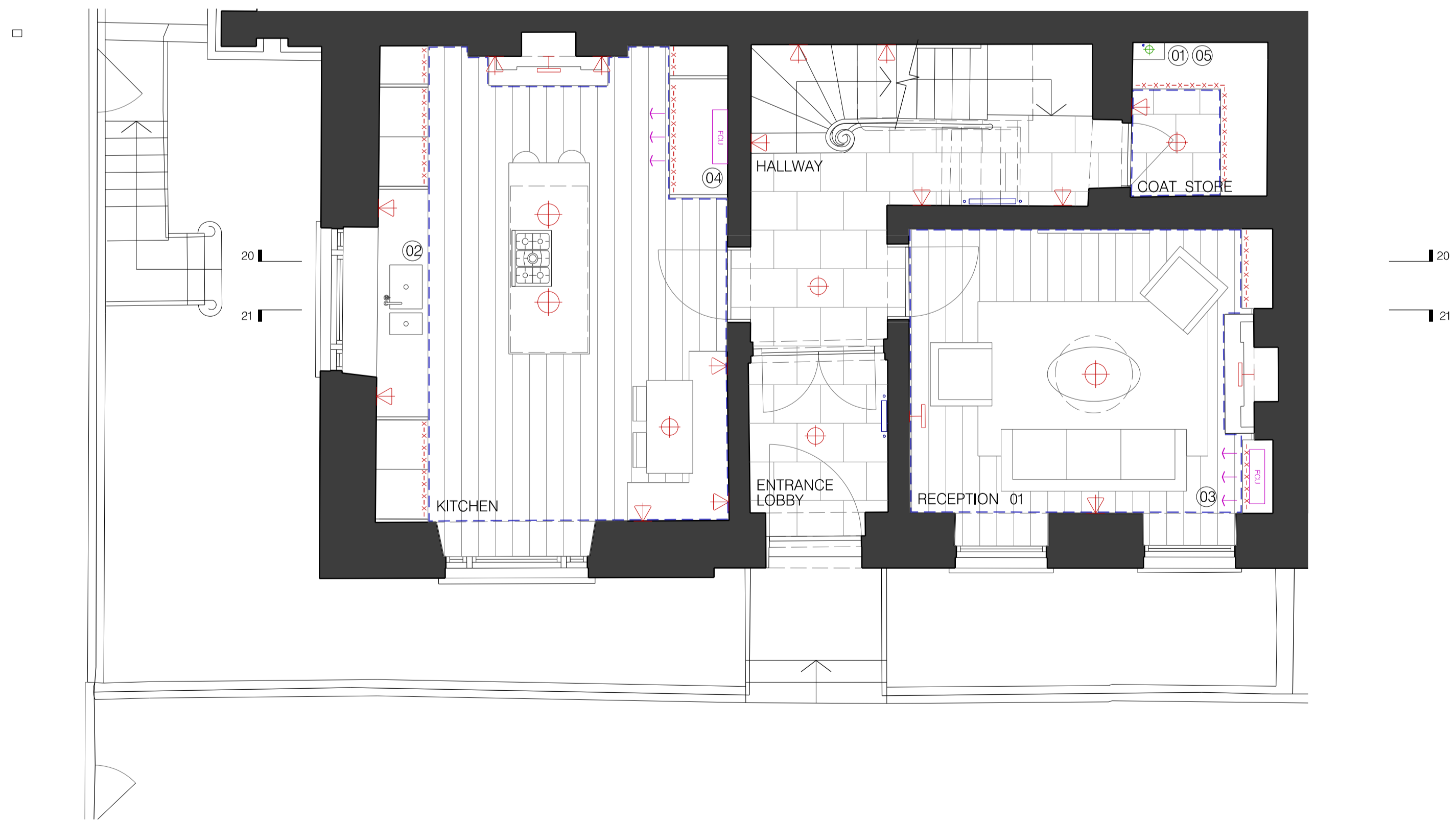


EXISTING GROUND FLOOR  
SERVICES  
1:50@A1



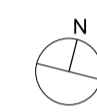
PROPOSED GROUND FLOOR  
SERVICES  
1:50@A1

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- DENOTES LINE OF EXISTING
- DENOTES EXTENT OF NEW WALLS

**NOTES**

- 01 EXISTING SERVICE RISER WITH SVP STACK RETAINED
- 02 KITCHEN DRAINAGE marginally modified to suit new reconfigured layout
- 03 RECEPTION 01 AC DUCTS TO BE FULLY CONCEALED WITHIN JOINERY. AC PIPES TO BE marginally EXTENDED TO SUIT NEW LOCATION. OTHERWISE NEW PIPE ROUTES TO FOLLOW EXISTING ROUTES
- 04 KITCHEN AC DUCTS TO BE FULLY CONCEALED WITHIN JOINERY. AC PIPES TO DROP TO NEW SUSPENDED STUDIO CEILING, ALONG TO NEW BOXING TO CHIMNEY BREAST ALCOVES, TO FOLLOW EXISTING ASSUMED PIPE ROUTES BELOW FLOORING
- 05 GENERAL: RE-PLUMBING AND RE-WIRING WORKS THROUGHOUT TO UPGRADE CURRENT SERVICES. EXISTING SERVICE ROUTES TO BE MAINTAINED TO AVOID IMPACT ON EXISTING FABRIC



**Proposed Lighting Key:**

- New Pendant
- New Decorative Wall Light
- New Picture Light
- New Fixed / Directional Recessed Downlight
- New Surface-mounted Spotlight
- New Undercabinet Light
- New Shower IP Rated Light
- New LED Recessed Lower Level Wall Light
- New Joinery LED Lighting
- Existing Recessed Downlight
- Existing Pendant
- Existing Decorative Wall Light
- Existing LED Recessed Lower Level Wall Light
- Existing Speakers, Recessed into Ceiling
- Existing New Ceiling Extractor Fan: Ducting to follow existing routes and termination points

**Proposed Services Key**

- Denotes below ground drainage (Rainwater)
- Denotes below ground drainage (Foul Water)
- Denotes Wet Underfloor Heating Via Low Profile Boards over Joists/Slab, or between Joists. See Floor Build up Drawings for further information
- Denotes Electrical Underfloor Heating Via electric cabling within decoupling matt. See Floor Build up Drawings for further information
- Existing / New radiator position
- Existing / New AC Fan Coil Unit

Revision	Date	Description

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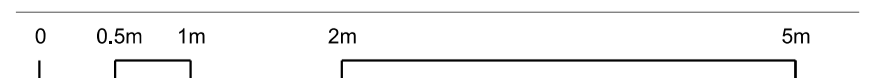
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**Project** 1 Albany Terrace, Park Square East, London, NW1 4DS  
**Title** Existing and Proposed Ground Floor Services  
**Number** 296\_32\_10.2

**Status** Planning **Scale** 1:100 A3/1:50 A1





EXISTING LOWER GROUND FLOOR  
SERVICES  
1:50@A1



PROPOSED LOWER GROUND FLOOR  
SERVICES  
1:50@A1

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- DENOTES LINE OF EXISTING
- DENOTES EXTENT OF NEW WALLS

NOTES

- 01 DRAINAGE RUNS FROM SHOWER ROOM AND UTILITY RUN TO REMAIN UNCHANGED
- 02 GUEST BEDROOM AC DUCTWORK CONCEALED FULLY WITHIN JOINERY AC PIPES TO RUN WITHIN JOINERY AND PUMPED UP INTO NEW PROPOSED HALLWAY CEILING, OVER TO NEWLY PROPOSED STUDIO CEILING, DOWN WITHIN WALL BOXING, AND THROUGH WITHIN EXISTING ROUTES BELOW FLOORING TO EXTERNAL AC CONDENSER
- 03 STUDIO AC PIPES TO BE MARGINALLY EXTENDED BELOW FLOOR FINISH, TO CONNECT INTO ASSUMED EXISTING ROUTES BELOW FLOORING
- 04 EXISTING AC CONDENSOR UNIT LOCATION TO BE REPLACED WITH NEW AC CONDENSOR UNIT
- 05 DRAINAGE SHOE, CURRENTLY TERMINATING WATER ABOVE LOWER GROUND LEVEL, TO BE CONNECTED TO BELOW GROUND DRAINAGE VIA CONNECTION FROM EXISTING GUILLEY INTO NEW GUILLEY OR INTO EXISTING MANHOLE, TO AVOID SPILLAGE ONTO EXISTING YORKSTONE SLABS TO BEST PRESERVE THE MATERIAL.  
SEE GENERAL ARRANGEMENT DRAWING FOR PHOTO SEE DEMOLITION DRAWING FOR IMPACT ON SLABS AND PROPOSED REMEDIALS
- 06 SPECIALIST SURFACE MOUNTED CEILING TRACKS WITH LIGHTING SYSTEM ON RAILS
- 07 GENERAL: RE-PLUMBING AND RE-WIRING WORKS THROUGHOUT TO UPGRADE CURRENT SERVICES. EXISTING SERVICE ROUTES TO BE MAINTAINED TO AVOID IMPACT ON EXISTING FABRIC

Proposed Lighting Key:

- New Pendant
- New Decorative Wall Light
- New Picture Light
- New Fixed / Directional Recessed Downlight
- New Surface-mounted Spotlight
- New Undercabinet Light
- New Shower IP Rated Light
- New LED Recessed Lower Level Wall Light
- New Joinery LED Lighting
- Existing Recessed Downlight
- Existing Pendant
- Existing Decorative Wall Light
- Existing LED Recessed Lower Level Wall Light
- Existing Speakers, Recessed into Ceiling
- Existing New Ceiling Extractor Fan: Ducting to follow existing routes and termination points

Proposed Services Key

- Denotes below ground drainage (Rainwater)
- Denotes below ground drainage (Foul Water)
- Denotes Wet Underfloor Heating Via Low Profile Boards over Joists/Slab, or between Joists. See Floor Build up Drawings for further information
- Denotes Electrical Underfloor Heating Via electric cabling within decoupling matt. See Floor Build up Drawings for further information
- Existing / New radiator position
- Existing / New AC Fan Coil Unit

Revision	Date	Description

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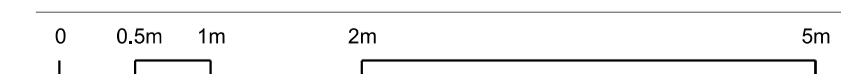


Project 1 Albany Terrace, Park Square East, London, NW1 4DS

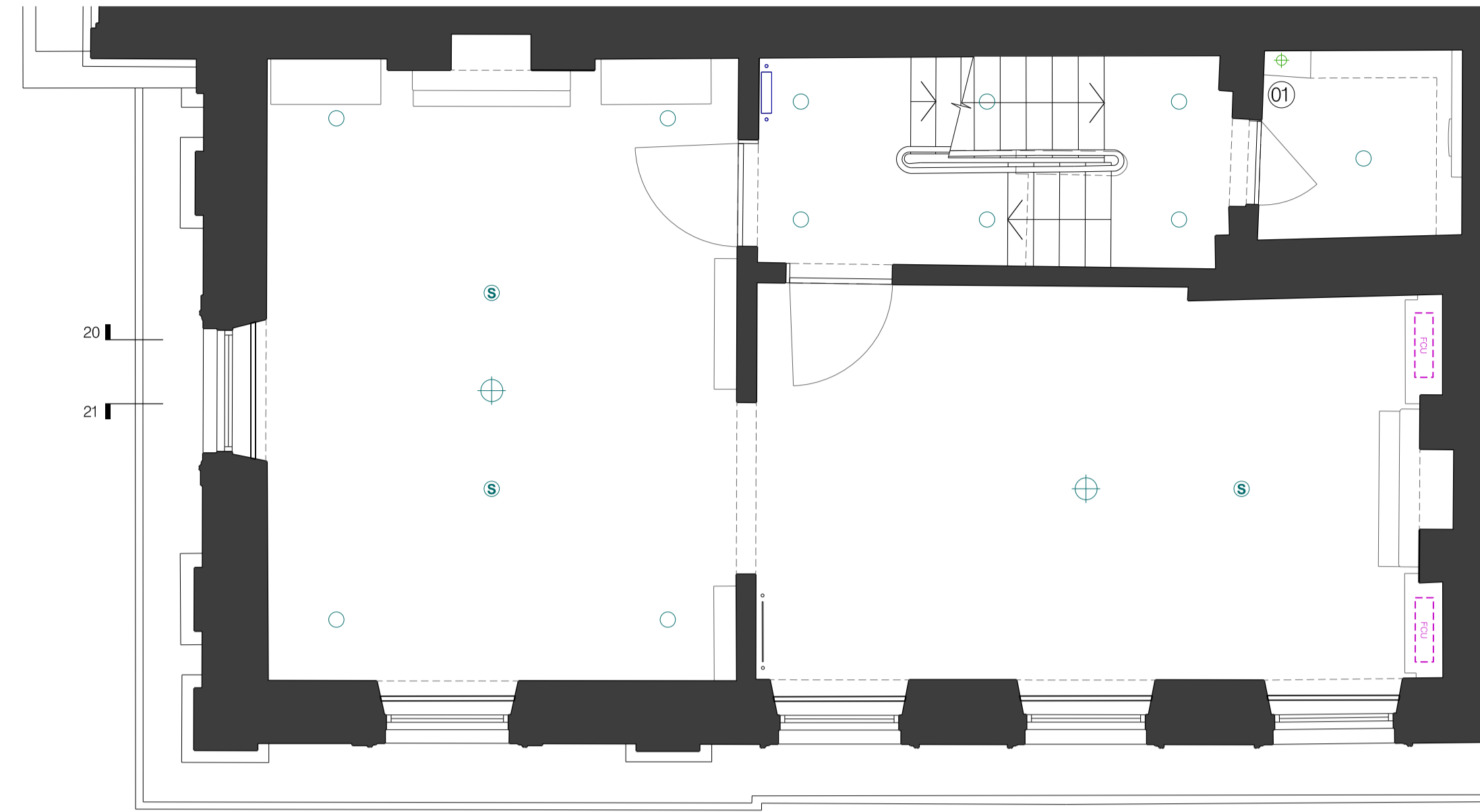
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Number 296\_32\_09.2

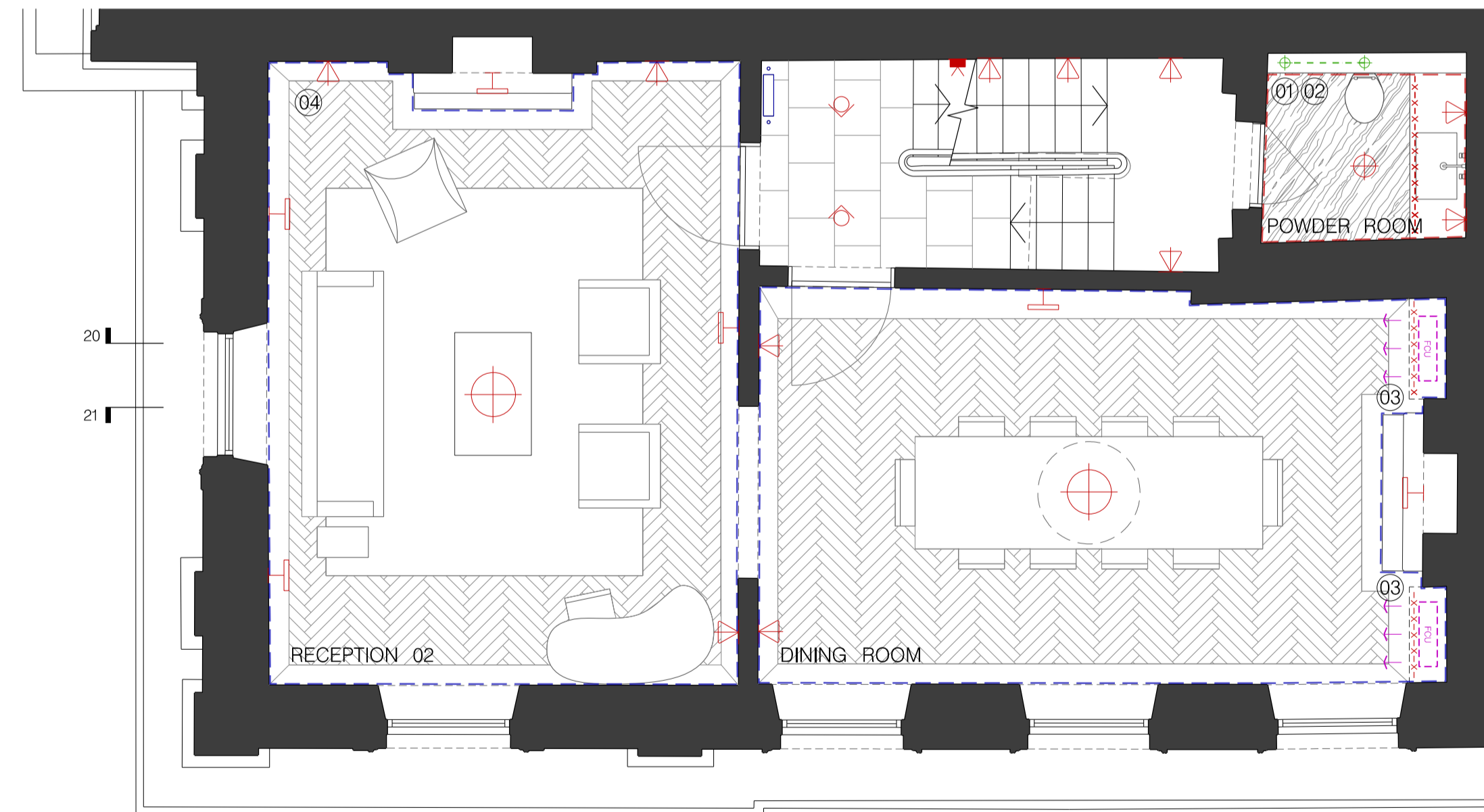
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


EXISTING FIRST FLOOR  
SERVICES  
1:50@A1



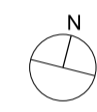
PROPOSED FIRST FLOOR  
SERVICES  
1:50@A1

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- DENOTES LINE OF EXISTING
-  DENOTES EXTENT OF NEW WALLS

**NOTES**



- 01 EXISTING SERVICE RISER WITH SVP STACK RETAINED
- 02 NEW WC CONNECTED INTO EXISTING SERVICE STACK ADJACENT TO BELOW
- 03 NEW AC UNITS TO FOLLOW EXISTING AC PIPEWORK ROUTES
- 04 GENERAL RE-PLUMBING AND RE-WIRING WORKS THROUGHOUT TO UPGRADE CURRENT SERVICES. EXISTING SERVICE ROUTES TO BE MAINTAINED TO AVOID IMPACT ON EXISTING FABRIC



**Proposed Lighting Key:**

-  New Pendant
-  New Decorative Wall Light
-  New Picture Light
-  New Fixed / Directional Recessed Downlight
-  New Surface-mounted Spotlight
-  New Undercabinet Light
-  New Shower IP Rated Light
-  New LED Recessed Lower Level Wall Light
- x-x- New Joinery LED Lighting
-  Existing Recessed Downlight
-  Existing Pendant
-  Existing Decorative Wall Light
-  Existing LED Recessed Lower Level Wall Light
-  Existing Speakers, Recessed into Ceiling
-  Existing New Ceiling Extractor Fan: Ducting to follow existing routes and termination points

**Proposed Services Key**

- Denotes below ground drainage (Rainwater)
- Denotes below ground drainage (Foul Water)
- Denotes Wet Underfloor Heating Via Low Profile Boards over Joists/Slab, or between joists. See Floor Build up Drawings for further information
- Denotes Electrical Underfloor Heating Via electric cabling within decoupling matt. See Floor Build up Drawings for further information
-  Existing / New radiator position
-  Existing / New AC Fan Coil Unit

Revision	Date	Description

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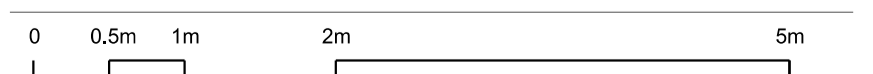


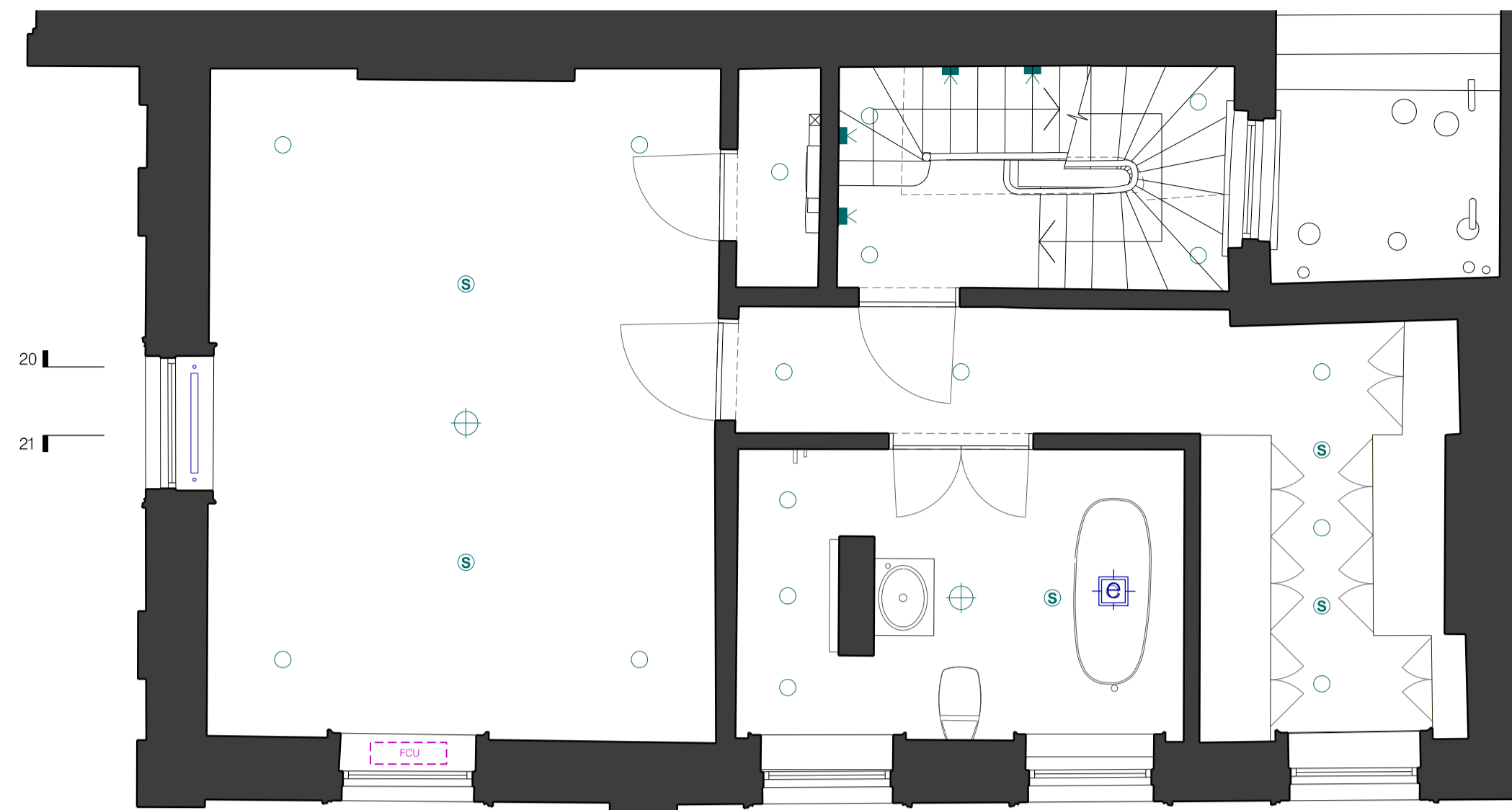
**Project** 1 Albany Terrace, Park Square East, London, NW1 4DS

**Title** Existing and Proposed First Floor Services

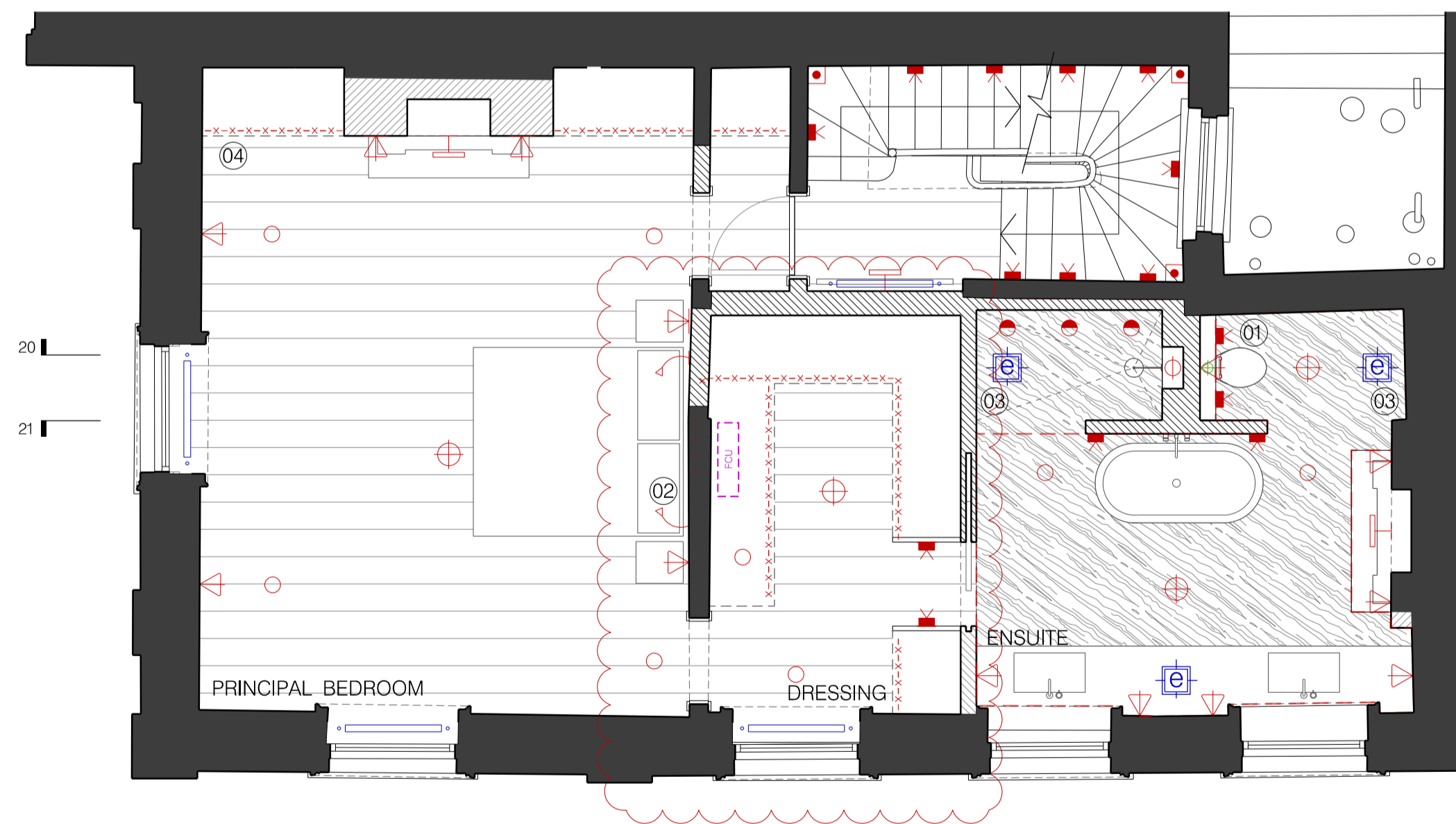
**Number** 296\_32\_11.2

**Status** Planning **Scale** 1:100 A3/1:50 A1





EXISTING SECOND FLOOR  
SERVICES  
1:50@A1

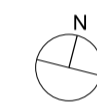


PROPOSED SECOND FLOOR  
SERVICES  
1:50@A1

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- DENOTES LINE OF EXISTING
- DENOTES EXTENT OF NEW WALLS

- NOTES**
- 01 DRAINAGE RUNS IN PRINCIPAL ENSUITE MOVED CLOSER TO EXISTING RISER, ASSOCIATED PIPEWORK REDUCED IN LENGTH, SUBSEQUENTLY REDUCING FALLS, ASSUME NEGLIGIBLE IMPACT
  - 02 PRINCIPAL BEDROOM AC DUCTS FULLY CONCEALED IN JOINERY, SUBJECT TO JOIST DIRECTION, NEW AC PIPES EITHER EXTENDED TO EXISTING AC LOCATION, TO FOLLOW EXISTING PIPE ROUTES, OR TO TRACK TOWARDS PRINCIPAL BATHROOM TO EXISTING RISER
  - 03 NEW REPLACEMENT MODERN PLASTERBOARD CEILING TO SHOWER AND WC AREA ONLY, INSTALLED ONCE ALL NEW SERVICES AND PIPEWORK INSTALLED TO ALLOW FOR PIPEWORK TO PASS FROM THIRD FLOOR BATHROOMS TOWARDS EXISTING SVP AND RISER
  - 04 GENERAL RE-PLUMBING AND RE-WIRING WORKS THROUGHOUT TO UPGRADE CURRENT SERVICES, EXISTING SERVICE ROUTES TO BE MAINTAINED TO AVOID IMPACT ON EXISTING FABRIC



- Proposed Lighting Key:**
- New Pendant
  - New Decorative Wall Light
  - New Picture Light
  - New Fixed / Directional Recessed Downlight
  - New Surface-mounted Spotlight
  - New Undercabinet Light
  - New Shower IP Rated Light
  - New LED Recessed Lower Level Wall Light
  - x-x- New Joinery LED Lighting
  - Existing Recessed Downlight
  - Existing Pendant
  - Existing Decorative Wall Light
  - Existing LED Recessed Lower Level Wall Light
  - Existing Speakers, Recessed into Ceiling
  - Existing New Ceiling Extractor Fan: Ducting to follow existing routes and termination points

- Proposed Services Key**
- Denotes below ground drainage (Rainwater)
  - Denotes below ground drainage (Foul Water)
  - Denotes Wet Underfloor Heating Via Low Profile Boards over Joists/Slab, or between joists. See Floor Build up Drawings for further information
  - Denotes Electrical Underfloor Heating Via electric cabling within decoupling matt. See Floor Build up Drawings for further information
  - Existing / New radiator position
  - Existing / New AC Fan Coil Unit

Revision	Date	Description
A	12.09.23	Floor plan revised
B	24.10.23	Floor plan revised

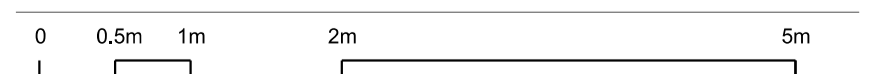
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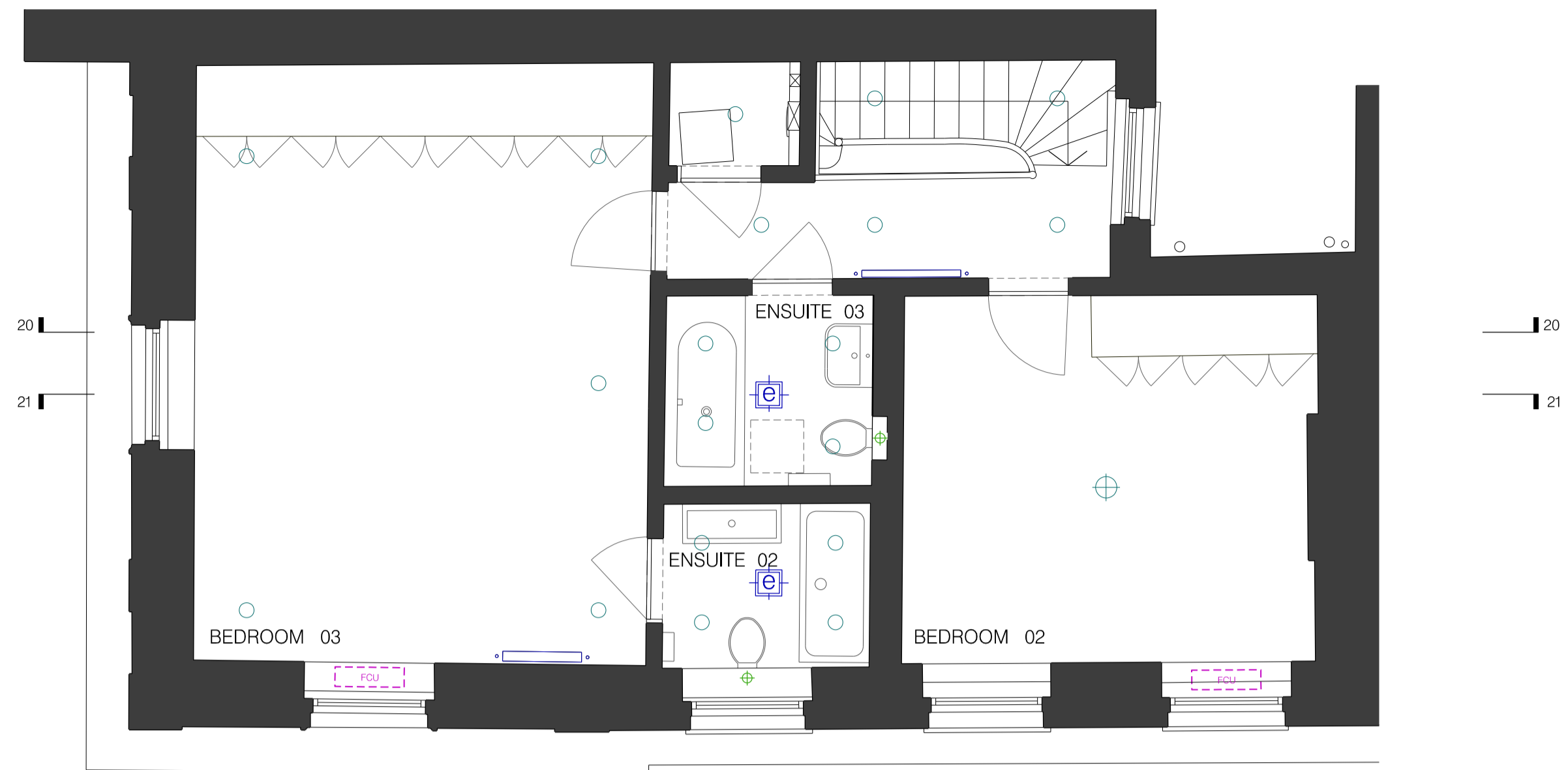
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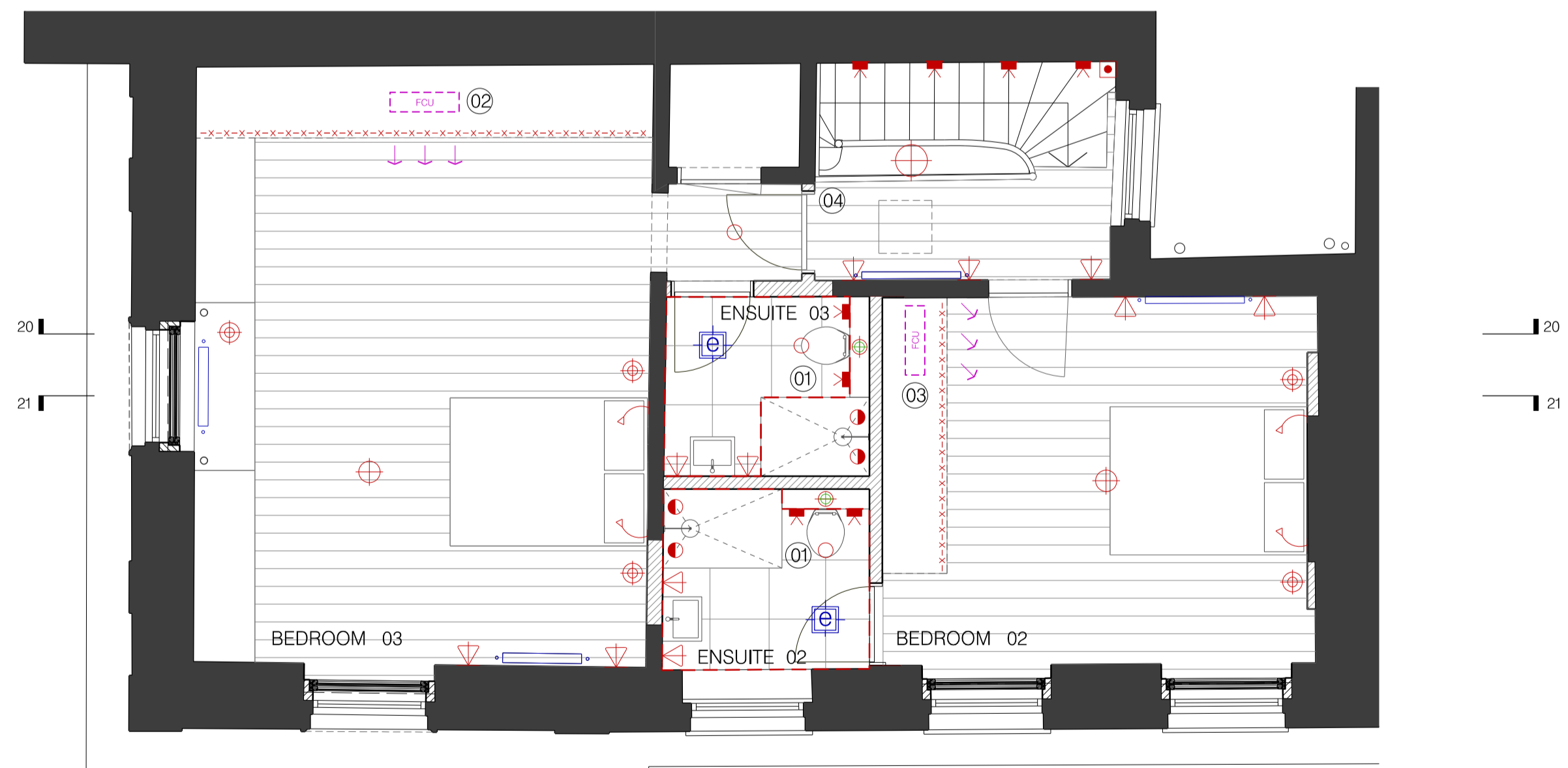
<b>Project</b>	1 Albany Terrace, Park Square East, London, NW1 4DS
<b>Title</b>	Existing and Proposed Second Floor Services
<b>Number</b>	296_32_12.2 <span style="float: right;">B</span>
<b>Status</b>	Planning <span style="float: right;">Scale 1:100 A3/1:50 A1</span>







EXISTING THIRD FLOOR  
SERVICES  
1:50@A1



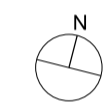
PROPOSED THIRD FLOOR  
SERVICES  
1:50@A1

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 DENOTES EXTENT OF NEW WALLS

**NOTES**







- 01 DRAINAGE RUNS FROM BOTH THIRD FLOOR SHOWER ROOMS MARGINALLY EXTENDED TO RETAIN EXISTING DRAINAGE ROUTES AND RISERS, CEILING TO PRINCIPAL SHOWER ROOM AND WC PROPOSED TO BE REMOVED AND REPLACED WITH NEW SUSPENDED CEILING TO ENSURE SUFFICIENT SPACE FOR FALLS (ONLY IF REQUIRED)
- 02 BEDROOM 03 AC DUCTS FULLY CONCEALED IN JOINERY, SUBJECT TO JOIST DIRECTION NEW AC PIPES EITHER EXTENDED TO EXISTING AC LOCATION AND THEN TO FOLLOW EXISTING PIPE ROUTES, OR TO TRACK ALONG JOISTS TO EXISTING RISES
- 03 BEDROOM 02 AC DUCTS FULLY CONCEALED IN JOINERY, AC PIPES TO TRACK ALONG JOISTS WITHIN NEW SUSPENDED CEILING TO PRINCIPAL SHOWERWC SPACES, TO EXISTING SERVICE RISER BELOW
- 04 GENERAL RE-PLUMBING AND RE-WIRING WORKS THROUGHOUT TO UPGRADE CURRENT SERVICES, EXISTING SERVICE ROUTES TO BE MAINTAINED TO AVOID IMPACT ON EXISTING FABRIC



**Proposed Lighting Key:**

-  New Pendant
-  New Decorative Wall Light
-  New Picture Light
-  New Fixed / Directional Recessed Downlight
-  New Surface-mounted Spotlight
-  New Undercabinet Light
-  New Shower IP Rated Light
-  New LED Recessed Lower Level Wall Light
-  New Joinery LED Lighting
-  Existing Recessed Downlight
-  Existing Pendant
-  Existing Decorative Wall Light
-  Existing LED Recessed Lower Level Wall Light
-  Existing Speakers, Recessed into Ceiling
-  Existing New Ceiling Extractor Fan: Ducting to follow existing routes and termination points

**Proposed Services Key**

-  Denotes below ground drainage (Rainwater)
-  Denotes below ground drainage (Foul Water)
-  Denotes Wet Underfloor Heating Via Low Profile Boards over Joists/Slab, or between Joists. See Floor Build up Drawings for further information
-  Denotes Electrical Underfloor Heating Via electric cabling within decoupling matt. See Floor Build up Drawings for further information
-  Existing / New radiator position
-  Existing / New AC Fan Coil Unit

Revision	Date	Description

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**Project** 1 Albany Terrace, Park Square East, London, NW1 4DS  
**Title** Existing and Proposed Third Floor Services  
**Number** 296\_32\_13.2

**Status** Planning **Scale** 1:100 A3/1:50 A1

