

General Notes

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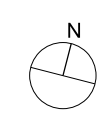
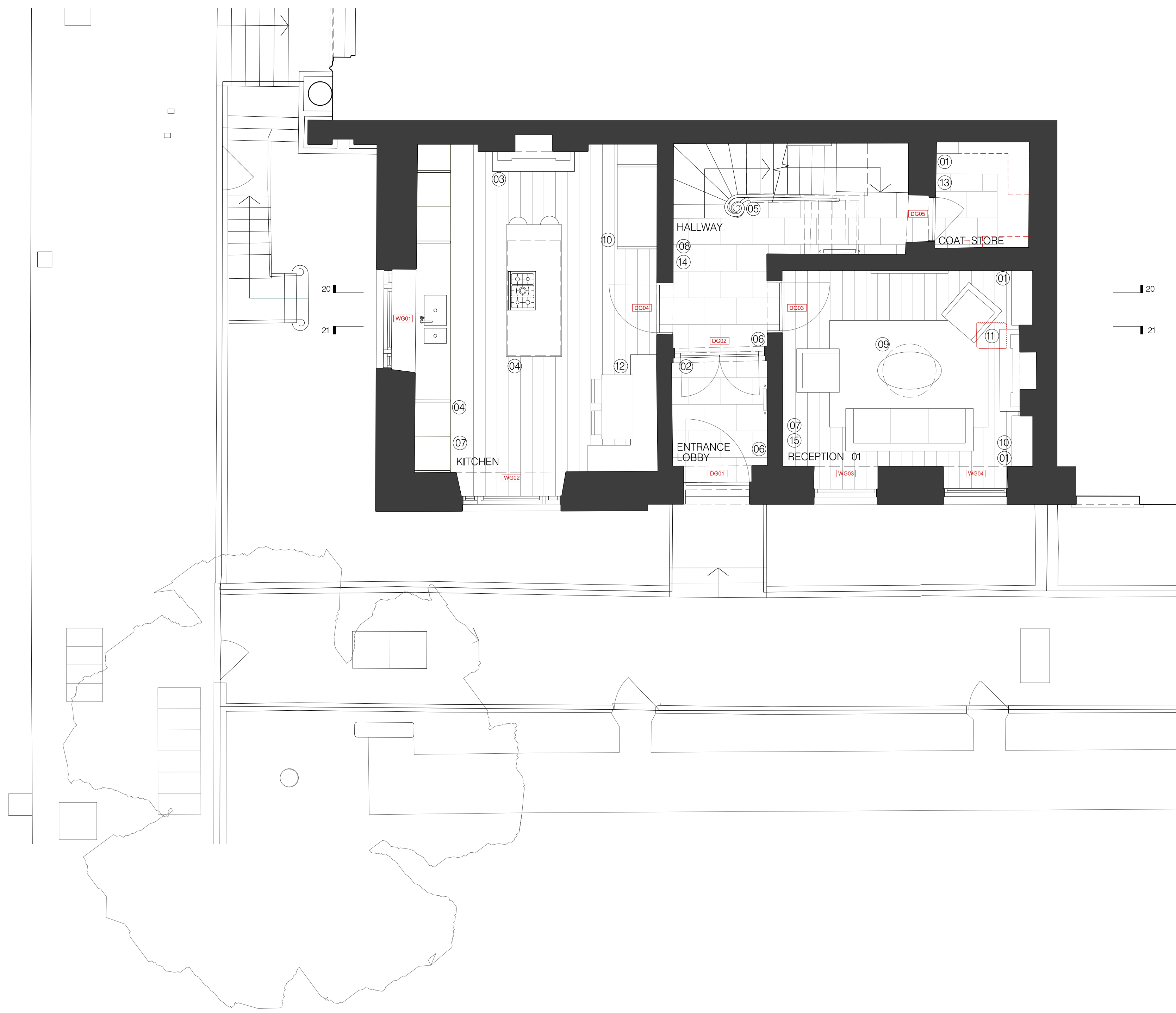
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--- DENOTES LINE OF EXISTING

 DENOTES EXTENT OF NEW WALLS

NOTES

- 01 NEW FITTED JOINERY, NOT FULL HEIGHT.
- 02 NEW GLAZED DOUBLE TIMBER DOORS TO REPLACE EXISTING NON-ORIGINAL DOORS. EXISTING FANLIGHT OVER TO BE RETAINED AND REFURBISHED. SEE DRAWING 296_32_90 AND CORNICE, SKIRTING, ARCHITRAVE, AND DOOR SCHEDULE FOR FULL DETAILS
- 03 NEW FIREPLACE SURROUND, HEARTH AND SLIPS. FIREPLACE INTERIOR AND BASKET. SEE FIREPLACE SCHEDULE ON DRAWING 296_32_70
- 04 NEW FITTED KITCHEN JOINERY, RECONFIGURED TO EXPOSE CHIMNEY BREAST JOINERY SET BELOW CEILING AND CORNICE LEVEL. RELATIONSHIP BETWEEN WINDOW CILL AND WORKTOP TO MATCH EXISTING.
- 05 EXISTING TIMBER HANDRAIL RETAINED, REPAIRS WHERE REQUIRED TO REFURBISH CONDITION OF EXISTING HANDRAIL
- 06 EXISTING STONE FLOOR TO BE RETAINED, CLEANED, CAREFULLY REFURBISHED AND RE-GROUTED
- 07 NEW UNDERFLOOR HEATING INTRODUCED BETWEEN JOISTS TO KITCHEN AND RECEPTION 01. SEE FLOOR BUILD UP DRAWINGS FOR FURTHER INFORMATION
- 08 GENERAL: PARTIAL REPLACEMENT OF CORNICE, SKIRTING, ARCHITRAVES, AND DOORS. SEE CORNICE, SKIRTING, ARCHITRAVE, AND DOOR SCHEDULE FOR FULL DETAILS
- 09 CEILING PATTERNS / REINFORCEMENT TO SUPPORT PENDANT LIGHT. EXISTING CEILING ROSE TO BE CAREFULLY REMOVED, RETAINED, AND REINSTALLED
- 10 AIR CONDITIONING TO KITCHEN AND RECEPTION 01 TO BE CONCEALED WITHIN JOINERY. SEE SERVICES DRAWINGS FOR INDICATIVE ROUTES
- 11 EXISTING FIREPLACE
- 12 BENCH TO BE STAND ALONE, AND SCRIBED AROUND SKIRTING, TO APPEAR AS FIXED AND FITTED
- 13 FLOOR JOISTS REINFORCED TO SUPPORT MARBLE FLOOR. SEE FLOOR BUILD UP DETAILS FOR FURTHER INFORMATION
- 14 NEW PLANTED DADO RAIL TO WALLS. SEE DRAWING 296_32_90 AND CORNICE, SKIRTING, ARCHITRAVE, AND DOOR SCHEDULE FOR FULL DETAILS
- 15 NEW PLANTED DADO AND PICTURE RAIL TO WALLS TO RECEPTION ROOM. SEE DRAWING 296_32_91 AND CORNICE, SKIRTING, ARCHITRAVE, AND DOOR SCHEDULE FOR FULL DETAILS



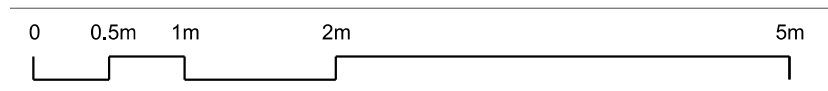
Revision	Date	Description
A	12.09.23	Response to Camden comments
B	24.10.23	Response to Camden comments

FLOWER MICHELIN

+44(0)20 7751 0444
 studio@flowermichelin.com
 Unit 7-8, 27 Ackmar Road, London, SW6 4UR
 flowermichelin.com



Project	1 Albany Terrace, Park Square East, London, NW1 4DS
Title	Proposed Ground Floor
Number	296_32_10
Rev	B
Status	Planning
Scale	1:100 A3/1:50 A1



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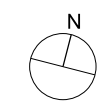
--- DENOTES LINE OF EXISTING

 DENOTES EXTENT OF NEW WALLS

NOTES

- 01 NEW SANITARYWARE TO EXISTING BATHROOM
- 02 NEW FITTED JOINERY, FULL HEIGHT NOTING NO EXISTING CORNICE
- 03 UTILITY ROOM RECONFIGURATION WITH NEW FITTINGS AND SANITARYWARE
- 04 NEW TIMBER SECONDARY GLAZING (IN PART TO REPLACE EXISTING METAL FRAMED SECONDARY GLAZING) TO MITIGATE NOISE. SEE DRAWING 296_32_71 AND 296_32_75 FOR DETAILS
- 05 NEW WALL LINING TO BOX OUT FIREPLACE ALCOVES, WITH CONCEALED AIR CONDITIONING UNIT WITHIN. SEE SERVICES DRAWING FOR INDICATIVE ROUTES
- 06 NEW L TRACK LIGHTING SURFACE FIXED TO CEILING.
- 07 EXISTING STONE FLOOR TO BE RETAINED, CLEANED CAREFULLY REFURBISHED AND RE-GROUTED. LIGHTWELL STONE TO BE CLEANED, ALL MOSS REMOVED, AND RE-GROUTED.
- 08 NEW UNDERFLOOR HEATING (LOW PROFILE) INTRODUCED TO STUDIO AND GUEST BEDROOM
- 09 CONTEMPORARY FIREPLACE REMOVED AND INFILLED, PASSIVE VENT TO BE INSTALLED TO PROVIDE VENTILATION AND MITIGATE DAMP
- 10 GENERAL: PARTIAL REPLACEMENT OR REINSTATEMENT OF CORNICE AND SKIRTING. SEE CORNICE, SKIRTING, ARCHITRAVE AND DOOR SCHEDULE FOR FULL DETAILS
- 11 NEW MODERN BOXING OUT INTRODUCED TO EXTEND WIDTH OF CHIMNEY BREAST, PASSIVE VENT TO BE INSTALLED TO CHIMNEY BREAST TO PROVIDE VENTILATION AND MITIGATE DAMP
- 12 DRAINAGE SHOE, CURRENTLY TERMINATING WATER ABOVE LOWER GROUND LEVEL, TO BE CONNECTED TO BELOW GROUND DRAINAGE VIA CONNECTION FROM EXISTING GULLEY INTO NEW GULLEY, OR INTO EXISTING MANHOLE, TO AVOID SPILLAGE ONTO EXISTING YORKSTONE SLABS TO BEST PRESERVE THE MATERIAL PHOTO SHOWN ADJACENT FOR REFERENCE
- 13 NEW MODERN PLASTERBOARD CEILING, TO REPLACE NON-ORIGINAL CEILING, INSTALLED ONCE ALL NEW SERVICES AND PIPEWORK INSTALLED, TO ALLOW FOR PIPEWORK TO PASS FROM KITCHEN TOWARD UTILITY ROOM /BOILER AND INCOMING WATER
- 14 NEW FIBRE OPTIC INTERNET CONNECTION FROM VAULT TRACKING THROUGH EXISTING SERVICE ROUTES FROM VAULT TO LOWER GROUND FLOOR, TO BE AS UNOBTRUSIVE AS POSSIBLE. SHOULD A PENETRATION BE REQUIRED TO FRONT ELEVATION, STOPPING UP UP AROUND PENETRATION TO LOWER GROUND FLOOR ELEVATION TO BE IN MORTAR TO MATCH ELEVATION COLOUR, NO RESINS OR ADHESIVES TO BE USED

12 DRAINAGE SHOE



Revision	Date	Description

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+44(0)20 7751 0444
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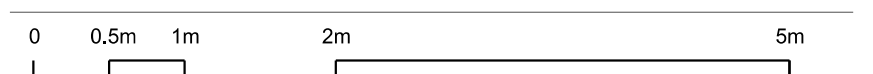


Project 1 Albany Terrace, Park Square East, London, NW1 4DS

Title Proposed Lower Ground Floor

Number 296_32_09

Status Planning Scale 1:100 A3/1:50 A1



General Notes

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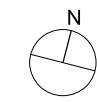
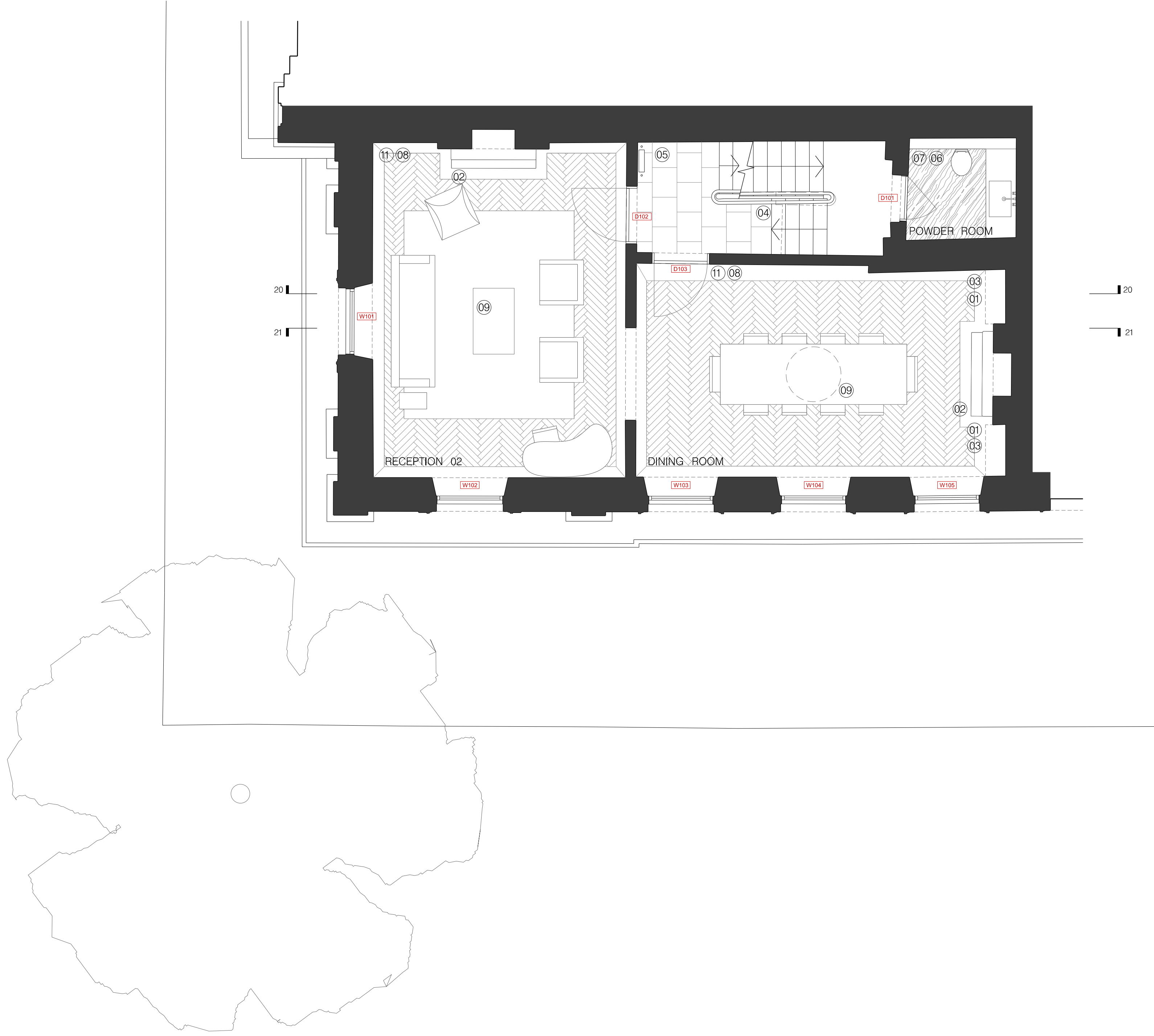
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--- DENOTES LINE OF EXISTING

 DENOTES EXTENT OF NEW WALLS

NOTES

- 01 NEW FITTED JOINERY, SET BELOW LEVEL OF CEILING AND CORNICE
- 02 NEW REPLACEMENT FIREPLACE SURROUND, HEARTH AND SLIPS, INTERIORS AND BASKET. SEE FIREPLACE SCHEDULE DRAWING ON 296_32_70
- 03 AIR CONDITIONING FAN COIL UNIT CONCEALED WITHIN JOINERY. SEE SERVICE DRAWINGS FOR INDICATIVE ROUTES
- 04 EXISTING TIMBER HANDRAIL RETAINED, REPAIRS WHERE REQUIRED TO REFURBISH CONDITION OF EXISTING HANDRAIL.
- 05 EXISTING STONE FLOOR TO BE RETAINED, CLEANED, CAREFULLY REFURBISHED AND RE-GROUTED
- 06 FLOOR JOISTS REINFORCED TO SUPPORT MARBLE FLOOR. SEE FLOOR BUILD UP DETAILS FOR FURTHER INFORMATION
- 07 NEW POWDER ROOM WITH WC AND WASH HAND BASIN INTRODUCED AT FIRST FLOOR LEVEL. SERVICES TO CONNECT AND STACK TO EXISTING BELOW.
- 08 NEW UNDERFLOOR HEATING BETWEEN JOISTS INTRODUCED TO RECEPTION 02 AND DINING ROOM. SEE FLOOR BUILD UP DETAILS FOR FURTHER INFORMATION
- 09 CEILING REINFORCEMENT / PATRESS TO SUPPORT PENDANT, ONLY IF REQUIRED, WHERE APPLICABLE, EXISTING CEILING ROSE TO BE CAREFULLY REMOVED, RETAINED, AND REINSTATED
- 10 GENERAL: PARTIAL REPLACEMENT OF CORNICES, SKIRTINGS, ARCHITRAVES, AND DOORS. SEE SCHEDULE FOR MORE INFORMATION
- 11 NEW PLANTED BEADING TO RECEPTION AND DINING ROOM, TO PERIMETER MASONRY WALLS AND INTERNAL GYPSUM LINED WALL. SEE DRAWINGS 296_32_92 AND 296_32_93



Revision	Date	Description
A	12.09.23	Response to Camden Comments
B	24.10.23	Response to Camden Comments

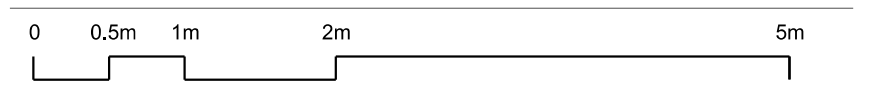
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+44(0)20 7751 0444
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Project	1 Albany Terrace, Park Square East, London, NW1 4DS
Title	First Floor
Number	296_32_11
Status	Planning
Rev	B
Scale	1:100 A3/1:50 A1



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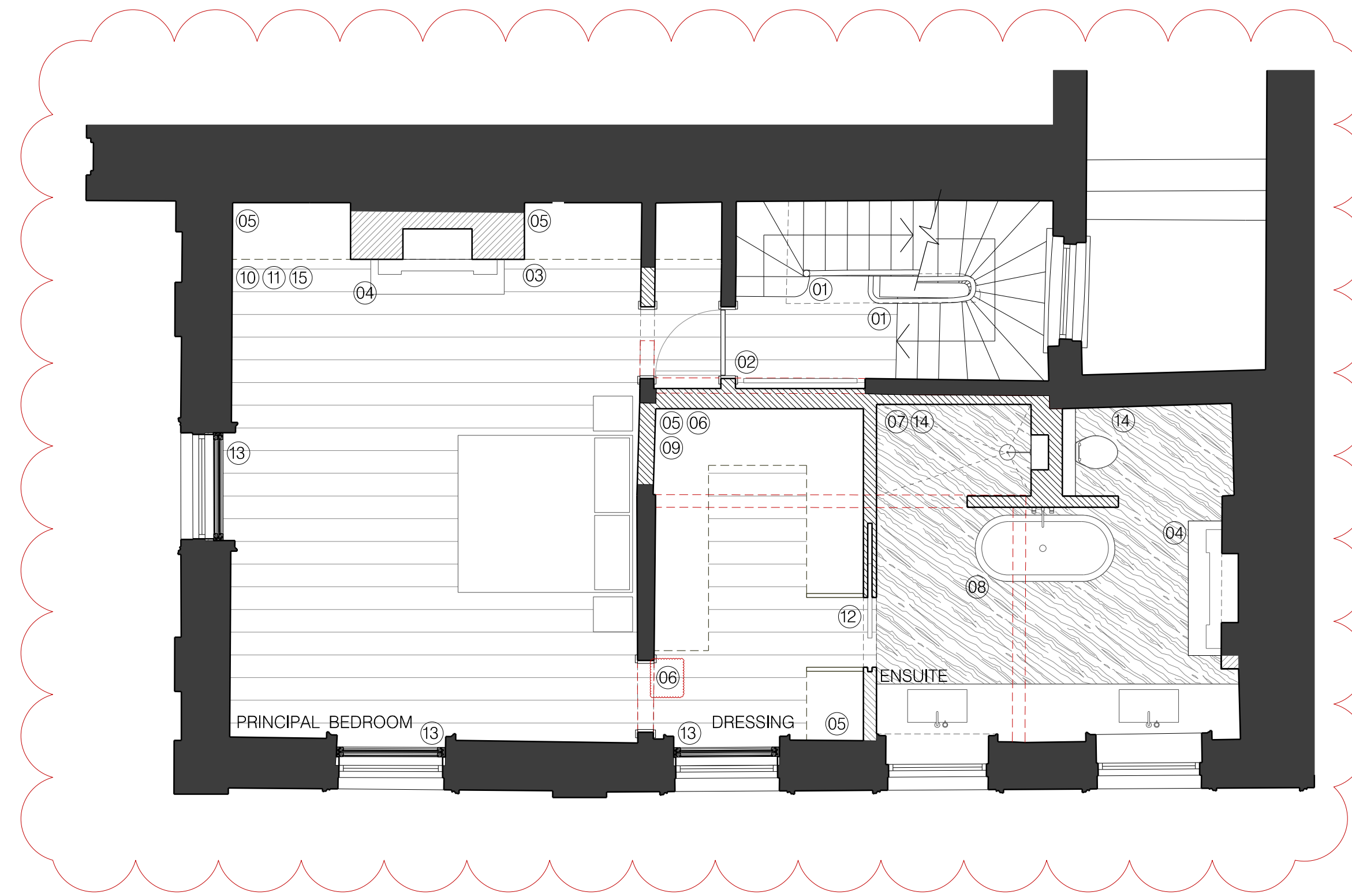
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--- DENOTES LINE OF EXISTING

 DENOTES EXTENT OF NEW WALLS

NOTES

- 01 EXISTING TIMBER HANDRAIL RETAINED, REPAIRS WHERE REQUIRED TO REFURBISH CONDITION OF EXISTING HANDRAIL.
- 02 NEW OPENING FORMED TO CREATE NEW DOOR AND ENTRANCE TO PRINCIPAL BEDROOM. EXISTING DOOR TO PRINCIPAL SUITE TO BE RETAINED AND REINSTATED WITHIN NEW OPENING; ARCHITRAVES TO BE SALVAGED IF POSSIBLE, OR REPLICATED TO MATCH EXISTING IF UNABLE TO REMOVE INTACT
- 03 NEW BOXING TO FRONT OF CHIMNEY BREAST TO EXTEND FIREPLACE INTO THE ROOM.
- 04 FIREPLACE REINSTATED WITH NEW FIREPLACE SURROUND, HEARTH, SLIPS AND INTERIORS. SEE FIREPLACE SCHEDULE ON DRAWING 296_32_70
- 05 NEW FITTED JOINERY
- 06 NEW PARTITIONS INTRODUCED TO RECONFIGURE PRINCIPAL BEDROOM, DRESSING AND ENSUITE; NEW OPENING FORMED ACCORDINGLY TO ACCESS NEW DRESSING ROOM
- 07 ENSUITE RELOCATED AND RECONFIGURED WITH NEW SANITARYWARE. SERVICES TO DROP AND CONNECT TO EXISTING BELOW.
- 08 FLOOR JOISTS REINFORCED TO SUPPORT BATH AND MARBLE FLOOR.
- 09 AIR CONDITIONING FAN COIL UNIT CONCEALED WITHIN JOINERY. SEE SERVICES DRAWINGS FOR INDICATIVE ROUTES
- 10 GENERAL: PARTIAL REPLACEMENT OF CORNICES, SKIRTINGS, ARCHITRAVES, AND DOORS. SEE SCHEDULE FOR FULL DETAILS
- 11 NEW TIMBER FLOOR COVERING. ALLOW FOR FLOOR LEVELLING WORKS. FLOOR LEVEL DATUMS CAN BE PROVIDED ON REQUEST
- 12 NEW POCKET SLIDING DOOR BETWEEN DRESSING ROOM AND PRINCIPAL BATHROOM. SEE CORNICE, SKIRTING, ARCHITRAVE AND DOOR SCHEDULE
- 13 NEW TIMBER FRAMED SECONDARY GLAZING (IN PART TO REPLACE METAL SECONDARY GLAZING). SEE DRAWING 296_32_75 FOR DETAILS
- 14 NEW MODERN PLASTERBOARD CEILING, TO REPLACE NON-ORIGINAL CEILING, TO SMALL SHOWER AND WC AREAS ONLY. INSTALLED ONCE ALL NEW SERVICES AND PIPEWORK INSTALLED, TO ALLOW FOR PIPEWORK TO PASS FROM THIRD FLOOR BATHROOMS TOWARDS EXISTING SVP AND RISER
- 15 NEW DADO RAIL INTRODUCED AT APPROX WINDOW CILL HEIGHT AROUND PRINCIPAL BEDROOM. SEE CORNICE, SKIRTING AND ARCHITRAVE SCHEDULE FOR DETAILS



Revision	Date	Description
A	24.07.23	Response to Camden
B	12.09.23	Reduced openings to spine wall
C	19.10.23	Wardrobe pop-out omitted
D	24.10.23	Notes amended for consistency

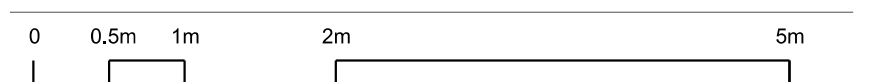
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Project	1 Albany Terrace, Park Square East, London, NW1 4DS
Title	Second Floor
Number	296_32_12
Rev	D
Status	Planning
Scale	1:100 A3/1:50 A1



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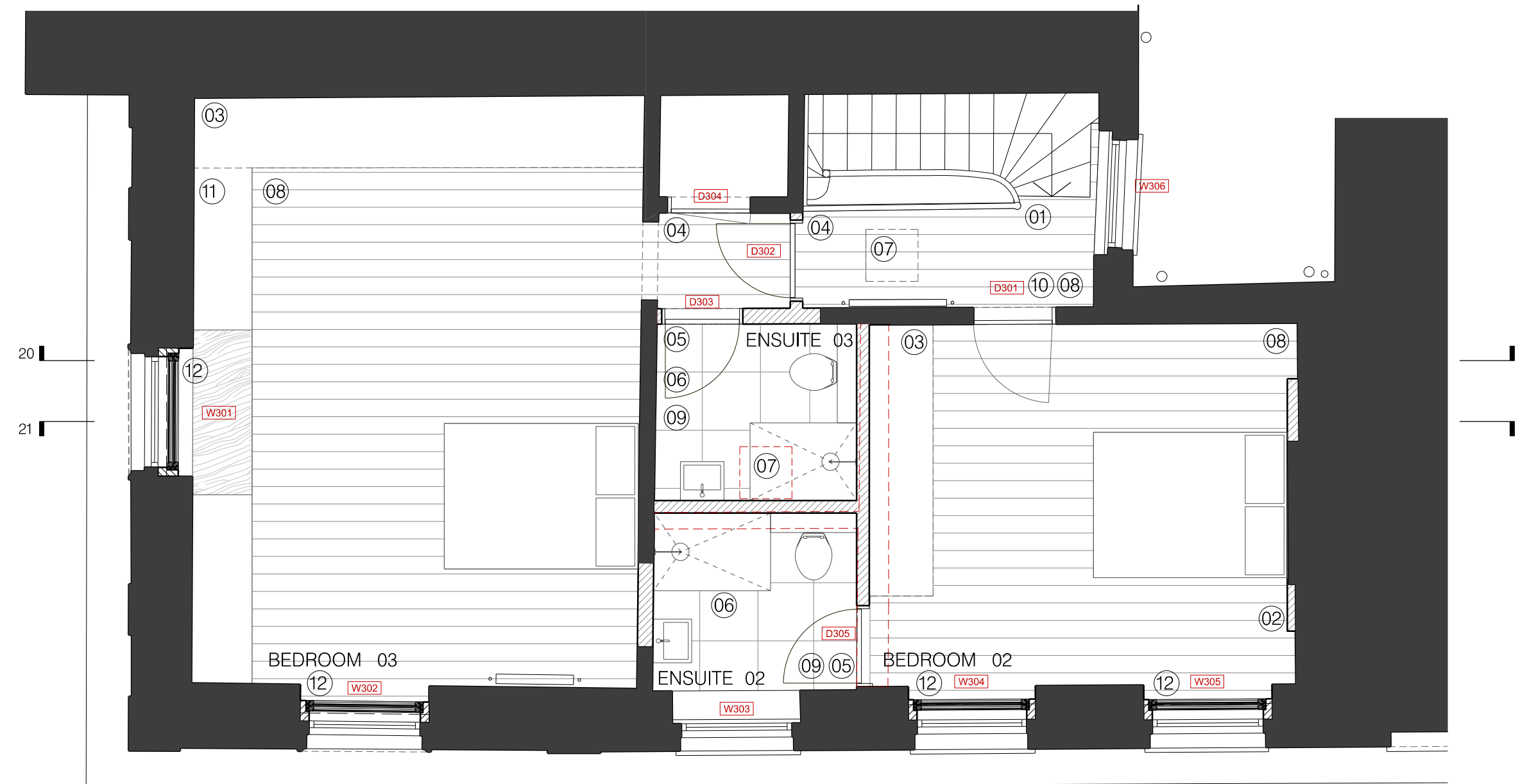
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 DENOTES EXTENT OF NEW WALLS

NOTES

- 01 EXISTING TIMBER HANDRAIL RETAINED, REPAIRS WHERE REQUIRED TO REFURBISH CONDITION OF EXISTING HANDRAIL.
- 02 NEW MODERN BOXING OUT INTRODUCED TO EXTEND WIDTH OF CHIMNEY BREAST. PASSIVE VENT INSTALLED TO PROVIDE VENTILATION AND MITIGATE DAMP
- 03 NEW FITTED JOINERY, FULL HEIGHT NOTING NO EXISTING CORNICE.
- 04 NEW DOOR POSITION TO BEDROOM 02, TO PROVIDE ACCESS TO ENSUITE ADJACENT. EXISTING NIBS BULKHEAD OVER, AND ARCHITRAVES RETAINED TO DENOTE HISTORIC PLAN FORM
- 05 NEW OPENING FORMED TO EXISTING SHOWER ROOM.
- 06 EXISTING SHOWER ROOM RECONFIGURED AND NEW SANITARYWARE INSTALLED.
- 07 EXISTING ACCESS HATCH TO LOFT RELOCATED. NEW LOFT HATCH TO BE INSULATED
- 08 NEW TIMBER FLOOR COVERING. ALLOW FOR FLOOR LEVELLING WORKS. FLOOR LEVEL DATUMS CAN BE PROVIDED ON REQUEST
- 09. FLOOR JOISTS REINFORCED TO SUPPORT MARBLE FLOOR.
- 10 GENERAL: PARTIAL REPLACEMENT OF CORNICES, SKIRTINGS, ARCHITRAVES, AND DOORS. SEE SCHEDULE FOR FULL DETAILS
- 11 NEW LOW LEVEL JOINERY
- 12 NEW TIMBER SECONDARY GLAZING TO REPLACE EXISTING METAL FRAMED SECONDARY GLAZING. SEE DRAWING 296_32_75 FOR DETAILS



Revision	Date	Description
A	12.09.23	Response to Camden

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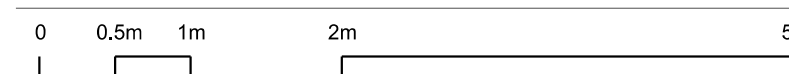
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Project 1 Albany Terrace, Park Square East, London, NW1 4DS
Title Third Floor

Number 296_32_13 **Rev** A

Status Planning **Scale** 1:100 A3/1:50 A1



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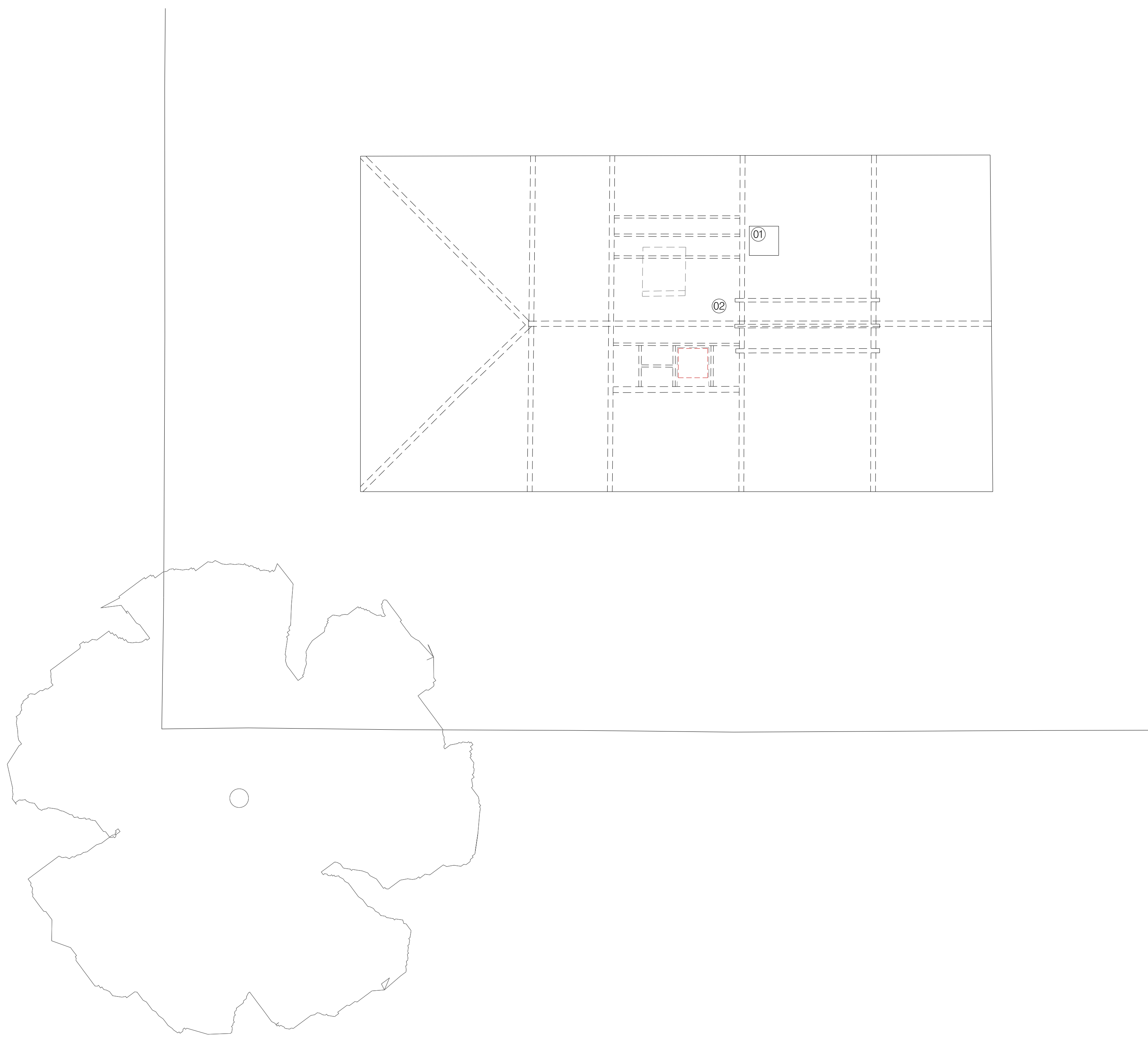
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--- DENOTES LINE OF EXISTING

 DENOTES EXTENT OF NEW WALLS

NOTES

- 01 NEW INSULATED LOFT ACCESS HATCH IN NEW LOCATION, TO SUIT RECONFIGURED ENSUITE ARRANGEMENT. EXISTING JOISTS TRIMMED TO SUIT.
- 02 PLYWOOD DECK SCREWED ABOVE EXISTING JOISTS, TO PROVIDE STORAGE AT LOFT LEVEL.



Revision	Date	Description
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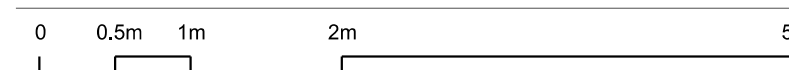
Project 1 Albany Terrace, Park Square East, London, NW1 4DS

Title Loft

Number 296_32_14

Status Planning

Scale 1:100 A3/1:50 A1



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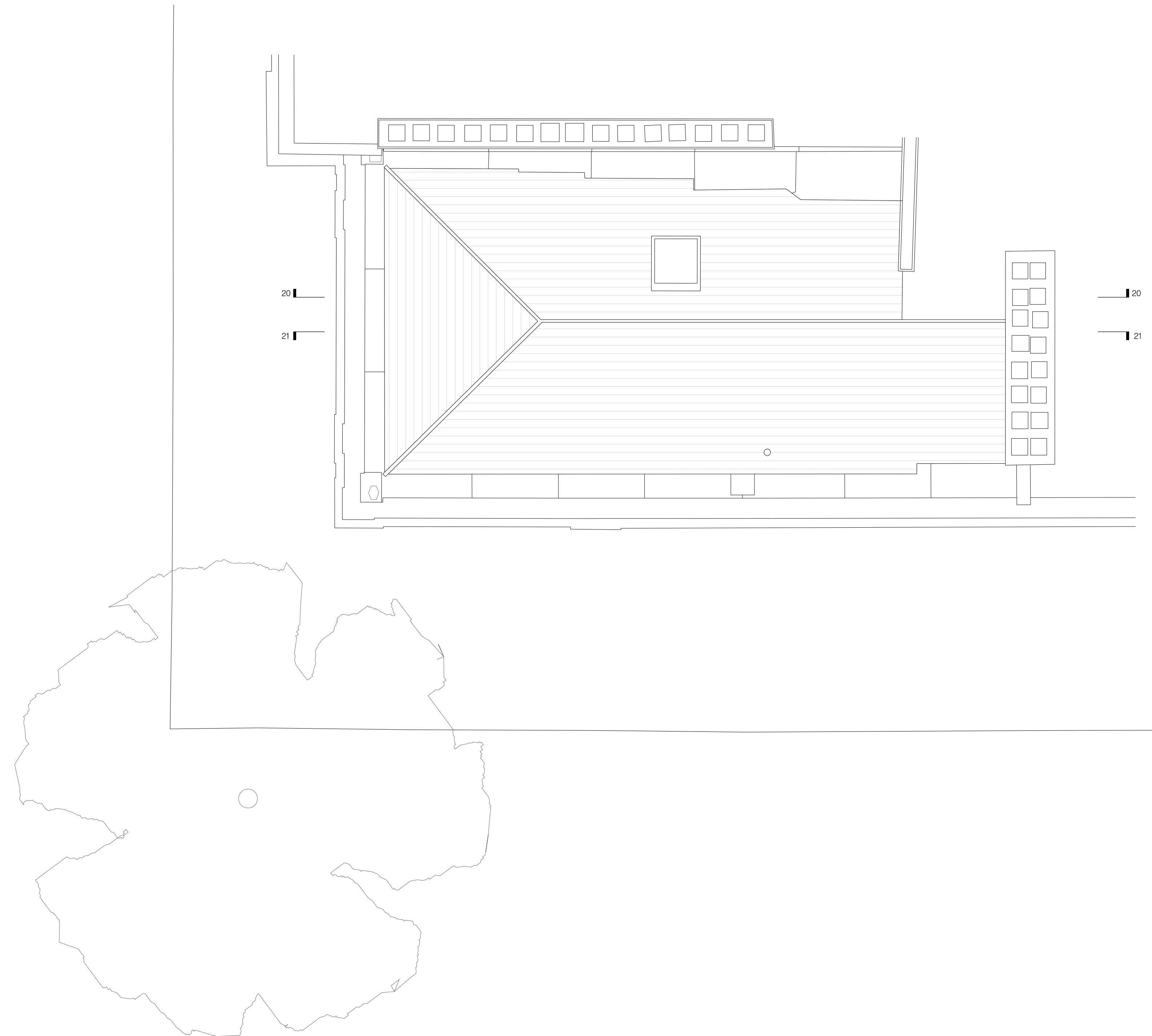
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 DENOTES EXTENT OF NEW WALLS

NOTES

NO WORKS PROPOSED



Revision	Date	Description
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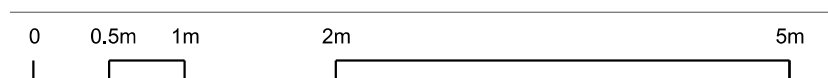


Project 1 Albany Terrace, Park Square East, London, NW1 4DS

Title Roof

Number 296_32_15

Status Planning **Scale** 1:100 A3/1:50 A1



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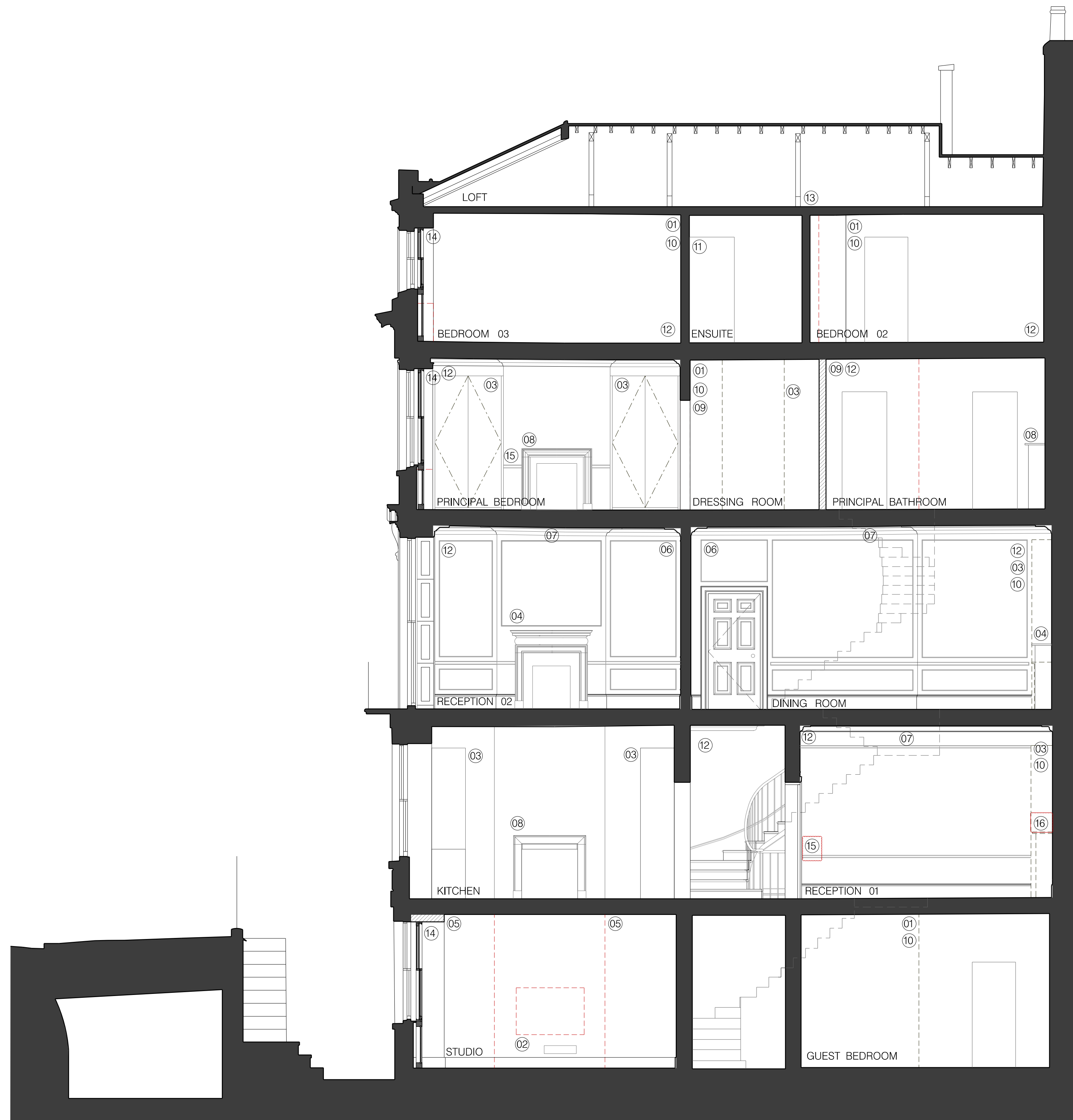
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--- DENOTES LINE OF EXISTING

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NOTES

- 01 NEW FITTED JOINERY, FULL HEIGHT NOTING NO EXISTING CORNICE.
- 02 CONTEMPORARY FIREPLACE REMOVED AND INFILLED. PASSIVE VENT TO BE ADDED TO PROVIDE VENTILATION AND MITIGATE DAMP
- 03 NEW FITTED JOINERY, NOT FULL HEIGHT
- 04 NEW FIREPLACE SURROUND, HEARTH AND SLIPS, INTERIOR AND BASKET. SEE FIREPLACE SCHEDULE, 296_32_70 FOR FURTHER INFORMATION
- 05 NEW WALL LINING WITH AIR CONDITIONING UNITS CONCEALED WITHIN. SEE SERVICE DRAWINGS FOR INDICATIVE ROUTES
- 06 NEW PLANTED BEADING TO RECEPTION AND DINING ROOM AT FIRST FLOOR ONLY, TO PERIMETER MASONRY WALLS AND INTERNAL GYPSUM LINED WALLS. SEE DRAWINGS 296_32_92 AND 296_32_93
- 07 CEILING REINFORCEMENT /PATTRESS TO SUPPORT PENDANT. EXISTING CEILING ROSE TO BE CAREFULLY REMOVED AND REINSTATED
- 08 FIREPLACE REINSTATED WITH NEW FIREPLACE SURROUND, HEARTH, SLIPS AND INTERIORS. SEE FIREPLACE SCHEDULE ON DRAWING 296_31_70
- 09 NEW PARTITIONS INTRODUCED TO RECONFIGURE PRINCIPAL BEDROOM, DRESSING AND ENSUITE; NEW OPENING FORMED ACCORDINGLY TO ACCESS NEW DRESSING ROOM
- 10 AIR CONDITIONING FAN COIL UNIT CONCEALED WITHIN JOINERY. SEE SERVICE DRAWINGS FOR INDICATIVE ROUTES
- 11 NEW OPENING FORMED TO EXISTING SHOWER ROOM
- 12 GENERAL: PARTIAL REPLACEMENT OF CORNICES, SKIRTING, ARCHITRAVES, AND DOORS. SEE CORNICE, SKIRTING, ARCHITRAVE, AND DOOR SCHEDULE FOR FULL DETAILS
- 13 PLYWOOD DECK SCREWED ABOVE EXISTING JOISTS TO PROVIDE STORAGE AT LOFT LEVEL.
- 14 NEW TIMBER SECONDARY GLAZING (IN PART TO REPLACE EXISTING METAL FRAMED SECONDARY GLAZING) TO MITIGATE NOISE. SEE DRAWING 296_32_71 AND 296_32_75 FOR DETAILS
- 15 NEW DADO RAIL (AND PICTURE RAIL TO RECEPTION 01) INTRODUCED AT APPROX WINDOW CILLHEAD HEIGHT ON GROUND FLOOR AND WINDOW CILL HEIGHT TO SECOND FLOOR. SEE CORNICE, SKIRTING, ARCHITRAVE, AND DOOR SCHEDULE FOR FULL DETAILS
- 16 EXISTING FIREPLACE



Revision	Date	Description
A	12.09.23	Response to Camden
B	24.10.23	Response to Camden Comments

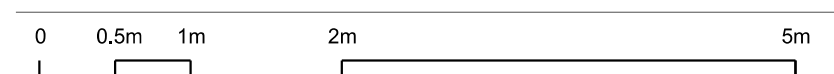
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Project	1 Albany Terrace, Park Square East, London, NW1 4DS
Title	Section 20
Number	296_32_20 B
Status	Planning Scale 1:100 A3/1:50 A1



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--- DENOTES LINE OF EXISTING

 DENOTES EXTENT OF NEW WALLS

NOTES

- 01 NEW FITTED JOINERY, NOT FULL HEIGHT
- 02 NEW FIREPLACE SURROUND, HEARTH AND SLIPS, INTERIOR AND BASKET. SEE FIREPLACE SCHEDULE, 296_32_70 FOR FURTHER INFORMATION
- 03 NEW PLANTED BEADING TO RECEPTION AND DINING ROOM AT FIRST FLOOR ONLY, TO PERIMETER MASONRY WALLS AND INTERNAL GYPSUM LINED WALLS. SEE DRAWINGS 296_32_92 AND 296_32_93
- 04 CEILING REINFORCEMENT /PATRESS TO SUPPORT PENDANT, EXISTING ROSE TO BE CAREFULLY REMOVED AND REINSTATED
- 05 FIREPLACE REINSTATED WITH NEW FIREPLACE SURROUND, HEARTH, SLIPS AND INTERIORS. SEE FIREPLACE SCHEDULE, 296_32_70 FOR FURTHER INFORMATION
- 06 NEW PARTITIONS INTRODUCED TO RECONFIGURE PRINCIPAL BEDROOM, DRESSING AND ENSUITE; NEW OPENING FORMED ACCORDINGLY TO ACCESS NEW DRESSING ROOM
- 07 AIR CONDITIONING FAN COIL UNIT CONCEALED WITHIN JOINERY. SEE SERVICES DRAWINGS FOR INDICATIVE ROUTES
- 08 NEW FITTED FULL HEIGHT JOINERY NOTING NO EXISTING CORNICE.
- 09 GENERAL: PARTIAL REPLACEMENT OF CORNICES, SKIRTING, ARCHITRAVES, AND DOORS. SEE CORNICE, SKIRTING, ARCHITRAVE, AND DOOR SCHEDULE FOR FULL DETAILS
- 10 PLYWOOD DECK SCREWED ABOVE EXISTING JOISTS TO PROVIDE STORAGE AT LOFT LEVEL.
- 11 NEW, TIMBER SECONDARY GLAZING (IN PART TO REPLACE EXISTING METAL FRAMED SECONDARY GLAZING) TO MITIGATE NOISE. SEE DRAWING 296_32_71 AND 296_32_75 FOR DETAILS
- 12 NEW DADO RAIL (AND PICTURE RAIL TO RECEPTION 01) INTRODUCED AT APPROX WINDOW CILL-HEAD HEIGHT ON GROUND FLOOR AND WINDOW CILL HEIGHT TO SECOND FLOOR. SEE CORNICE, SKIRTING, ARCHITRAVE, AND DOOR SCHEDULE FOR FULL DETAILS
- 13 NEW, GLAZED DOUBLE TIMBER DOORS TO REPLACE EXISTING NON-ORIGINAL DOORS. EXISTING FANLIGHT OVER TO BE RETAINED AND REFURBISHED. SEE DRAWING 296_32_90 AND CORNICE, SKIRTING, ARCHITRAVE, AND DOOR SCHEDULE FOR FULL DETAILS
- 14 EXISTING FIREPLACE



Revision	Date	Description
A	12.09.23	Response to Camden
B	24.10.23	Response to Camden

FLOWER MICHELIN

+44(0)20 7751 0444
 studio@flowermichelin.com

Unit 7-8, 27 Ackmar Road, London, SW6 4UR
 flowermichelin.com



Project 1 Albany Terrace, Park Square East, London, NW1 4DS

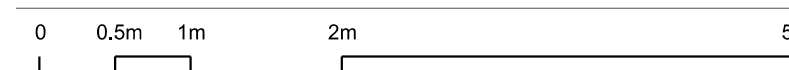
Title Section 21

Number 296_32_21

B

Status Planning

Scale 1:100 A3/1:50 A1



General Notes

Do not scale from this drawing. Drawings are for the purpose of the stage stated at the base of the drawing and therefore not for construction unless specifically stated. All dimensions to be verified on site prior to construction.

For information only unless indicated in status.
 All services to be Contractor's design.
 All works to be in accordance with current Building Regulation requirements an current construction legislation.
 It is the contractor's responsibility to cross-reference all design documents and notify the architect of any inadequacy, discrepancy or divergence in or between the full drawing package/design information.
 Drawings to be read in conjunction with full drawing package issued by Architect and other consultants information.
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--- DENOTES LINE OF EXISTING

 DENOTES EXTENT OF NEW WALLS

NOTES

- 01 ALL WINDOWS TO RECEIVE DRAFT SEAL AND OVERHAUL BY SPECIALIST WINDOW CARPENTER, TO IMPROVE THERMAL PERFORMANCE AND MINIMISE HEAT LOSS
- 02 FRONT DOORS TO BE RETAINED, REFURBISHED AND PAINTED. EXISTING IRONMONGERY TO BE PIECED IN AND NEW IRONMONGERY INSTALLED. SEE DRAWING 296_32_72 FOR FULL DETAILS
- 03 NEW FIBRE OPTIC INTERNET CONNECTION FROM VAULT, TRACKING THROUGH EXISTING SERVICE ROUTES FROM VAULT TO LOWER GROUND FLOOR TO BE AS UNOBTUSIVE AS POSSIBLE. SHOULD A PENETRATION BE REQUIRED TO FRONT ELEVATION, STOPPING UP FRONT FLOOR ELEVATION TO BE IN MORTAR TO MATCH ELEVATION COLOUR. NO RESINS OR ADHESIVES TO BE USED



Revision	Date	Description
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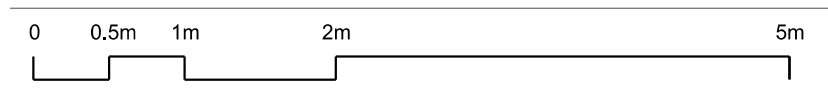
FLOWER MICHELIN

+44(0)20 7751 0444
 studio@flowermichelin.com
 Unit 7-8, 27 Ackmar Road, London, SW6 4UR
 flowermichelin.com



Project 1 Albany Terrace, Park Square East, London, NW1 4DS
Title Front Elevation (Albany Terrace)
Number 296_32_30

Status Planning **Scale** 1:100 A3/1:50 A1



General Notes

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--- DENOTES LINE OF EXISTING

 DENOTES EXTENT OF NEW WALLS

NOTES

- 01 ALL WINDOWS TO RECEIVE DRAFT SEAL AND OVERHAUL BY SPECIALIST WINDOW CARPENTER, TO IMPROVE THERMAL PERFORMANCE AND MINIMISE HEAT LOSS



Revision	Date	Description
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FLOWER MICHELIN

+44(0)20 7751 0444
studio@flowermichelin.com

Unit 7-8, 27 Ackmar Road, London, SW6 4UR
flowermichelin.com



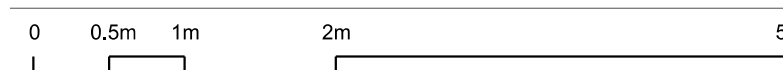
Project 1 Albany Terrace, Park Square East, London, NW1 4DS

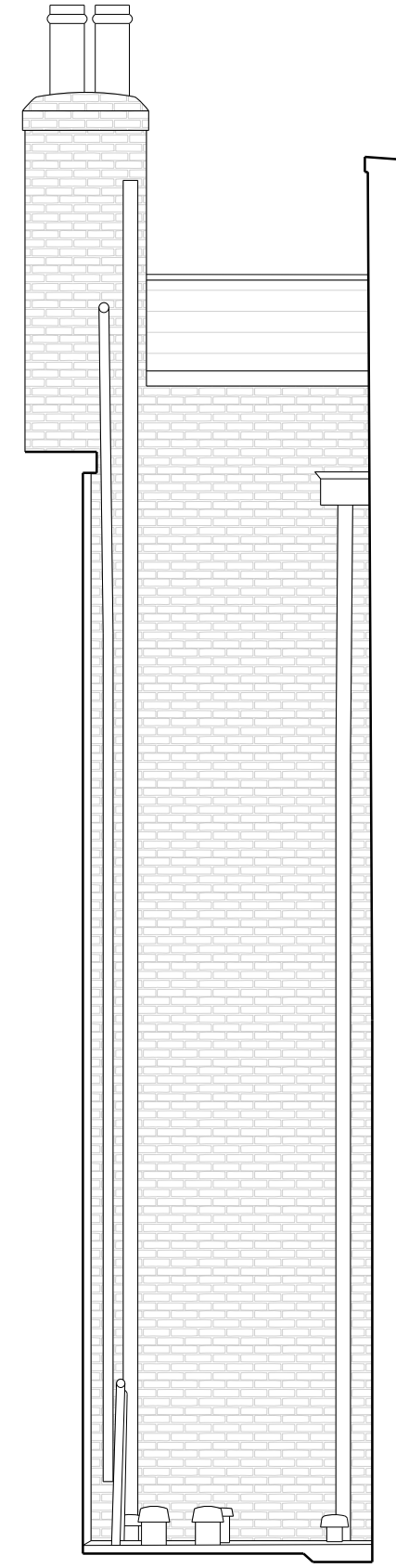
Title Side Elevation (Park Square East)

Number 296_32_31

Status Planning

Scale 1:100 A3/1:50 A1





Elevation 32



Elevation 33

General Notes

Do not scale from this drawing. Drawings are for the purpose of the stage stated at the base of the drawing and therefore not for construction unless specifically stated. All dimensions to be verified on site prior to construction.

For information only unless indicated in status. All services to be Contractor's design.

All works to be in accordance with current Building Regulation requirements an current construction legislation.

It is the contractor's responsibility to cross-reference all design documents and notify the architect of any inadequacy, discrepancy or divergence in or between the full drawing package/design information.

Drawings to be read in conjunction with full drawing package issued by Architect and other consultants information.

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--- DENOTES LINE OF EXISTING

 DENOTES EXTENT OF NEW WALLS

NOTES

- 01 ALL WINDOWS TO RECEIVE DRAFT SEAL AND OVERHAUL BY SPECIALIST WINDOW CARPENTER, TO IMPROVE THERMAL PERFORMANCE AND MINIMISE HEAT LOSS
- 02 SINGLE PANE OF GLASS TO BE REPLACED DUE TO ACCIDENTAL DAMAGE. GLASS THICKNESS AND STYLE TO MATCH EXISTING ADJACENT

Revision	Date	Description
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FLOWER MICHELIN

+44(0)20 7751 0444
studio@flowermichelin.com

Unit 7-8, 27 Ackmar Road, London, SW6 4UR
flowermichelin.com



Project 1 Albany Terrace, Park Square East, London, NW1 4DS

Title Rear Elevations

Number 296_32_32

Status Planning

Scale 1:100 A3/1:50 A1

