

General Notes

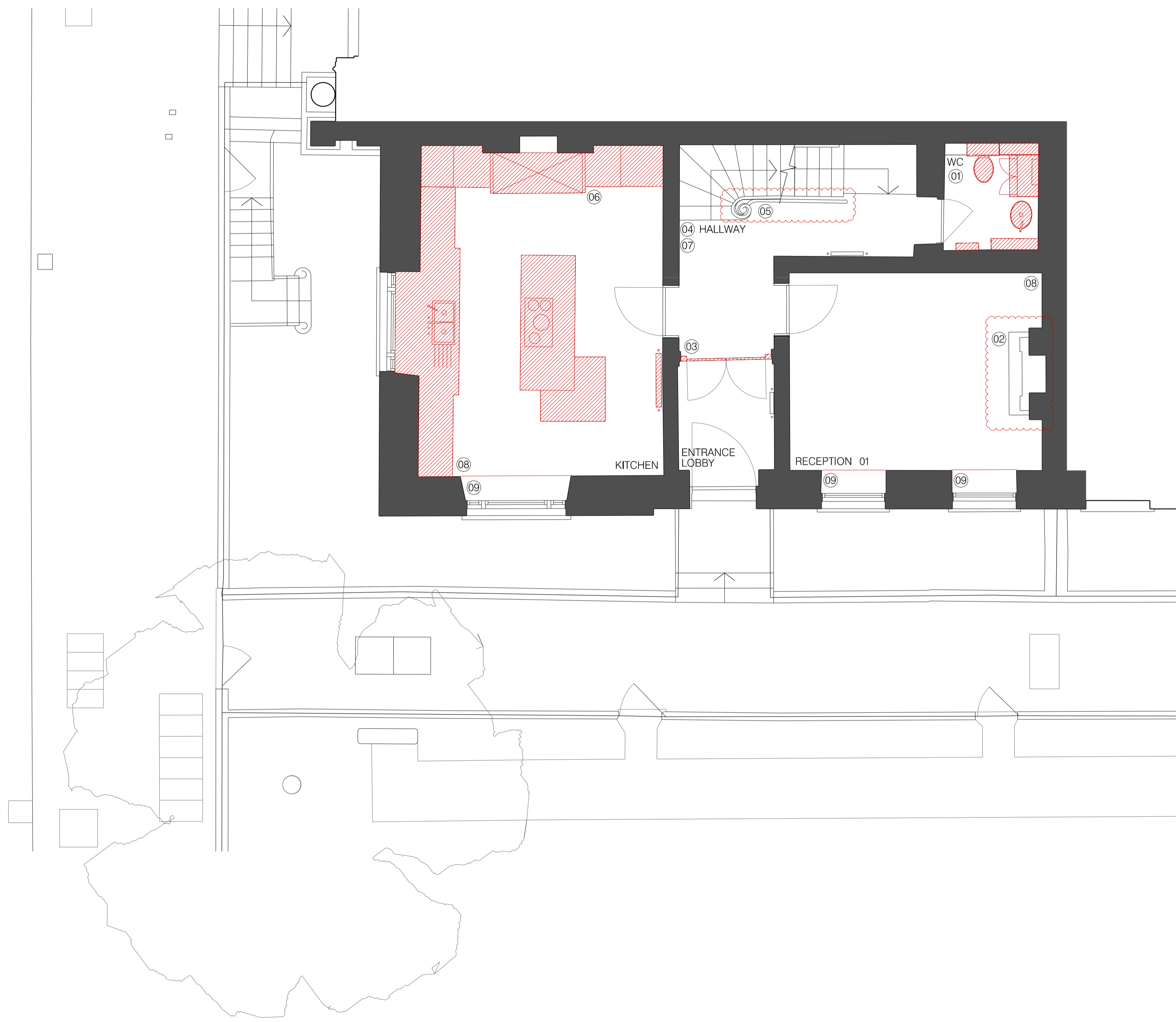
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■ DENOTES EXTENT OF DEMOLITION

NOTES

- 01 EXISTING SANITARYWARE, JOINERY AND NON ORIGINAL BOXING TO BE REMOVED, SERVICES TO BE CAPPED OFF AND MADE REDUNDANT.
- 02 EXISTING FIREPLACE
- 03 EXISTING NON-ORIGINAL DOUBLE GLAZED TIMBER DOORS TO BE REMOVED AND REPLACED WITH NEW DOUBLE GLAZED TIMBER DOORS. EXISTING FANLIGHT OVER TO BE RETAINED. SEE DRAWING 296_32_90 AND CORNICE, SKIRTINGS, ARCHITRAVES, AND DOOR SCHEDULE
- 04 EXISTING STONE FLOOR TO BE RETAINED. CLEANED, CAREFULLY REFURBISHED AND RE-GROUTED
- 05 EXISTING TIMBER HANDRAIL RETAINED, REPAIRS WHERE REQUIRED TO REFURBISH CONDITION OF EXISTING HANDRAIL.
- 06 EXISTING KITCHEN JOINERY REMOVED AND JOINERY RECONFIGURED TO EXPOSE CHIMNEY BREAST. JOINERY SET BELOW CORNICE LEVEL
- 07 GENERAL: PARTIAL REPLACEMENT OF CORNICE, SKIRTINGS, ARCHITRAVES, AND DOORS. SEE SCHEDULE FOR FULL DETAILS
- 08 GENERAL: EXISTING TIMBER/TILED FLOOR FINISHES IN KITCHEN, RECEPTION 01 AND EXISTING WC REMOVED AND REPLACED WITH NEW TIMBER FLOOR COVERINGS. EXISTING FLOORBOARDS BELOW TO BE RETAINED (WHERE PRESENT) EXTENT OF FLOOR LEVELLING SUBJECT TO STRUCTURE BELOW EXISTING LEVELS.
- 09 EXISTING NON-ORIGINAL RADIATOR AND AC BOXING/JOINERY REMOVED AND WINDOW REVEALS MADE GOOD.



Revision	Date	Description
A	12.09.23	Response to Camden Comments
B	24.10.23	Response to Camden Comments

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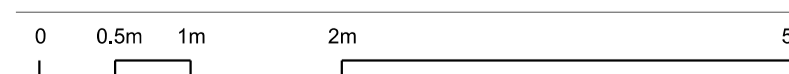
Unit 7-8, 27 Ackmar Road, London, SW6 4UR
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Project 1 Albany Terrace, Park Square East, London, NW1 4DS
Title Ground Floor Demolition

Number 296_32_10.1 Rev B

Status Planning Scale 1:100 A3/1:50 A1



General Notes

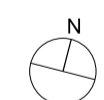
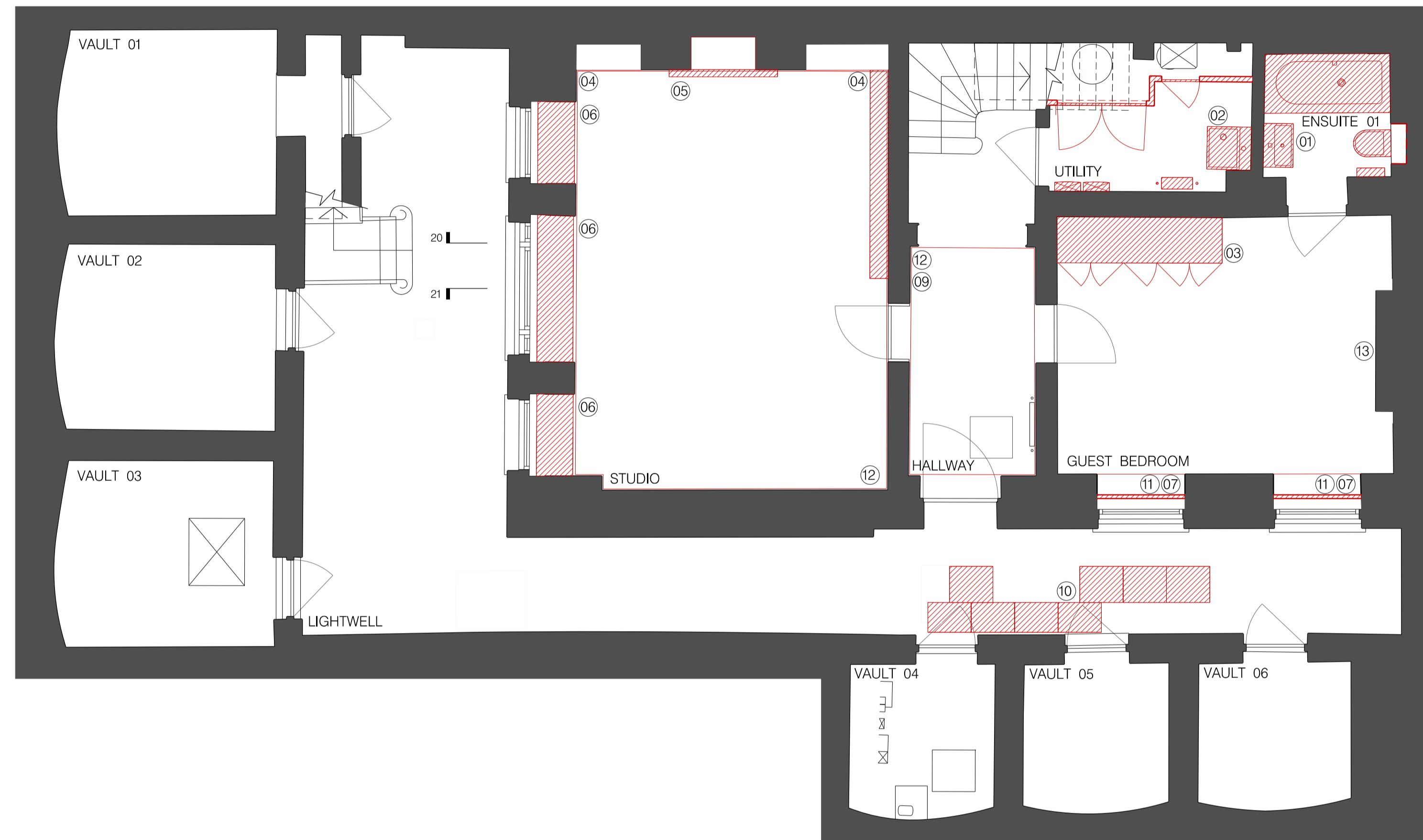
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■ DENOTES EXTENT OF DEMOLITION

NOTES

- 01 EXISTING SANITARYWARE REMOVED AND BATHROOM REFURBISHED.
- 02 FITTINGS, SANITARYWARE AND NON – ORIGINAL PARTITIONS REMOVED AND UTILITY ROOM RECONFIGURED
- 03 JOINERY REMOVED AND REPLACED WITH NEW
- 04 JOINERY REMOVED
- 05 CONTEMPORARY FIREPLACE REMOVED AND INFILLED, OPENING FORMED IN WALL TO ACCOMODATE A PASSIVE VENT TO CHIMNEY BREAST TO PROVIDE VENTILATION AND MITIGATE DAMP.
- 06 MODERN BOXING BELOW WINDOW AND RADIATOR TO BE REMOVED, WINDOW REVEALS TO BE MADE GOOD FOLLOWING REMOVAL
- 07 EXISTING METAL FRAME SECONDARY GLAZING REMOVED AND REPLACED WITH NEW TIMBER FRAMED SECONDARY GLAZING. SEE DRAWING 296_32_75 FOR DETAILS. WINDOW REVEALS AND CILL TO BE MADE GOOD FOLLOWING REMOVAL
- 08 GENERAL: EXISTING CARPET FLOORING COVERINGS REMOVED AND REPLACED WITH NEW DIFFERING FLOOR COVERINGS. EXTENT OF FLOOR LEVELLING SUBJECT TO STRUCTURE BELOW/EXISTING LEVELS. SEE DESIGN AND ACCESS STATEMENT FOR FURTHER INFORMATION ON EXISTING LEVELS
- 09 GENERAL: PARTIAL REPLACEMENT OF SKIRTINGS, SEE CORNICE, SKIRTINGS, ARCHITRAVE AND DOOR SCHEDULE FOR REPLACEMENTS
- 10 MINOR ALTERATIONS TO BELOW GROUND DRAINAGE WORKS, TO MITIGATE WATER FROM DRAINAGE SHOE SPILLING ONTO YORKSTONE SLABS FOR LONG-TERM PRESERVATION OF THE SLABS. SEVERAL YORKSTONE SLABS TO LOWER GROUND FLOOR LIGHTWELL TO BE REMOVED TO ALLOW THE WORKS TO BE CARRIED OUT. SLABS TO BE RETAINED AND REINSTATED (OR PIECED IN WITH NEW TO MATCH EXISTING WHERE BROKEN).
- 11 EXISTING NON-ORIGINAL RADIATOR AND AC BOXING/JOINERY REMOVED AND WINDOW REVEALS MADE GOOD.
- 12 EXISTING NON-ORIGINAL CEILING TO BE REMOVED TO ALLOW FOR INSTALLATION OF ALL NEW SERVICES AND PIPEWORK TO PASS FROM KITCHEN TOWARD UTILITY ROOM /BOILER AND INCOMING WATER, WHILST PRESERVING GROUND FLOOR STONE FLOOR. STUDIO CEILING /KITCHEN FLOOR TO RECIEVE INSULATION IN THE PROCESS
- 13 OPENING FORMED IN WALL TO ACCOMODATE A PASSIVE VENT TO CHIMNEY BREAST TO PROVIDE VENTILATION AND MITIGATE DAMP.



Revision	Date	Description

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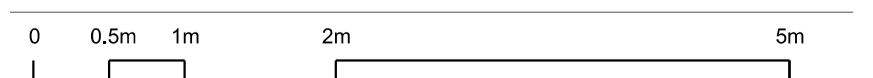


Project 1 Albany Terrace, Park Square East, London, NW1 4DS

Title Lower Ground Floor Demolition

Number 296_32_09.1

Status Planning **Scale** 1:100 A3/1:50 A1



General Notes

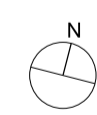
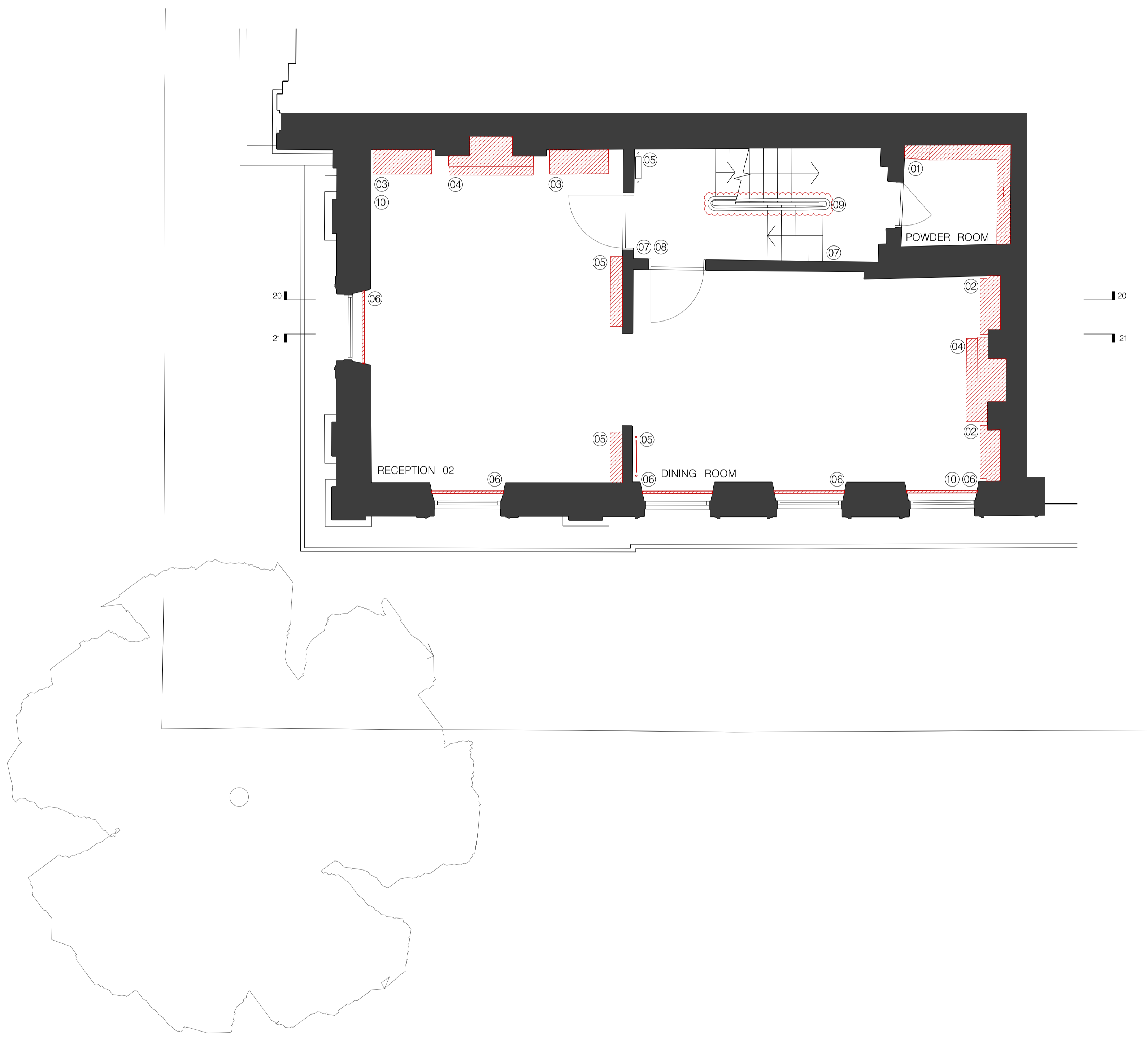
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■ DENOTES EXTENT OF DEMOLITION

NOTES

- 01 EXISTING HIGH-LEVEL BOXING STRIPPED OUT, SUBJECT TO CONCEALED SERVICES. ROOM TO BE MADE GUEST WC, NEW SERVICES FOR WC AND WASH HAND BASIN TO BE ROUTED TO CONNECT TO EXISTING WASTE BELOW.
- 02 EXISTING JOINERY REMOVED AND REPLACED WITH NEW.
- 03 EXISTING JOINERY REMOVED.
- 04 EXISTING FIREPLACE SURROUND, HEARTH AND INTERIORS REMOVED AND REPLACED WITH NEW. SEE FIREPLACE SCHEDULE ON DRAWING 296_32_70
- 05 RADIATORS AND BOXING REMOVED. WALL MADE GOOD AROUND BOXING
- 06 EXISTING SECONDARY GLAZING REMOVED TO ALLOW SHUTTERS TO FULLY FUNCTION. FLOORING AND SHUTTERS TO BE MADE GOOD WHERE FORMER FRAMES WERE LOCATED. EXISTING SHUTTERS TO BE FULLY REFURBISHED AND FUNCTIONAL
- 07 EXISTING STONE FLOOR TO BE RETAINED, CLEANED CAREFULLY REFURBISHED AND RE-GROUTED
- 08 GENERAL: PARTIAL REPLACEMENT OF CORNICE, SKIRTING, ARCHITRAVES, AND DOORS. SEE SCHEDULE FOR FULL DETAILS
- 09 EXISTING TIMBER HANDRAIL RETAINED, REPAIRS WHERE REQUIRED TO REFURBISH CONDITION OF EXISTING HANDRAIL.
- 10 GENERAL: EXISTING TIMBER FLOOR FINISHES REMOVED AND REPLACED WITH NEW TIMBER FLOOR COVERINGS. EXISTING FLOORBOARDS BELOW TO BE RETAINED (WHERE PRESENT), EXTENT OF FLOOR LEVELLING SUBJECT TO STRUCTURE BELOW EXISTING LEVELS.



Revision	Date	Description
A	12.09.23	Response to Camden

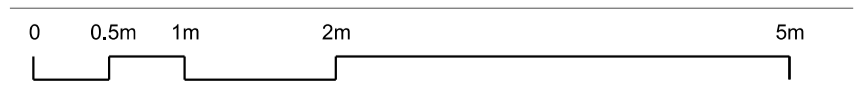
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Project	1 Albany Terrace, Park Square East, London, NW1 4DS
Title	First Floor Demolition
Number	296_32_11.1
Status	Planning
Rev	A
Scale	1:100 A3/1:50 A1



General Notes

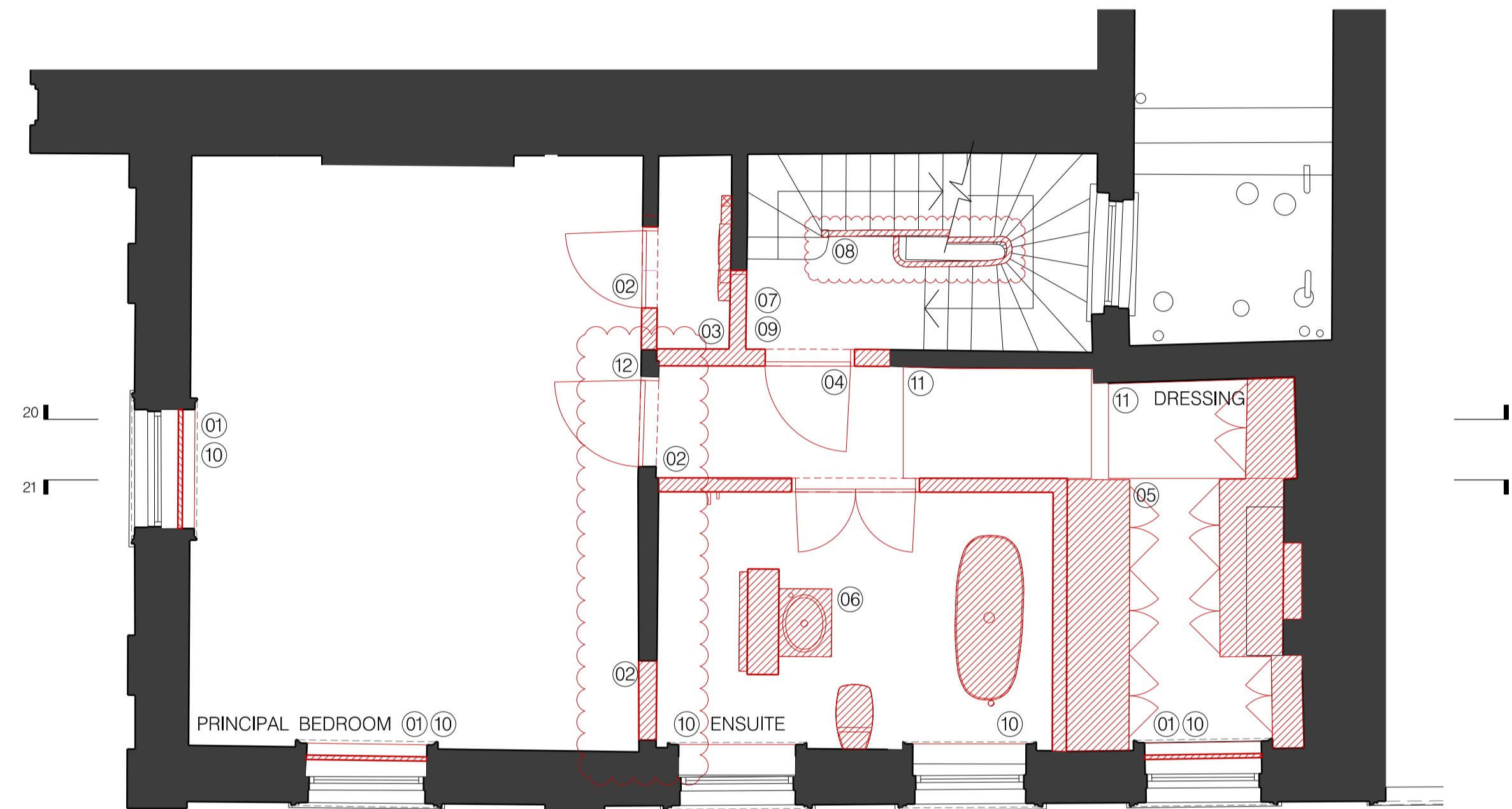
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DENOTES EXTENT OF DEMOLITION

NOTES

- 01 EXISTING METAL FRAMED SECONDARY GLAZING REMOVED AND REPLACED WITH NEW TIMBER FRAMED SECONDARY GLAZING. SEE DRAWING 296_32_75 FOR DETAILS
- 02 PRINCIPAL BEDROOM LAYOUT RECONFIGURED: NON ORIGINAL, MODERN PARTITIONS REMOVED TO SUIT, EXISTING JIB DOOR OPENING ALTERED AND NEW OPENING FORMED TO ACCESS PROPOSED DRESSING ROOM
- 03 EXISTING HALLWAY WALL PARTLY DEMOLISHED TO FORM OPENING FOR NEW ENTRANCE TO MASTER BEDROOM.
- 04 EXISTING DOOR TO PRINCIPAL BEDROOM REMOVED AND OPENING INFILLED. EXISTING DOOR TO PRINCIPAL SUITE TO BE RETAINED AND REINSTATED WITHIN NEW OPENING. ARCHITRAVES TO BE SALVAGED IF POSSIBLE, OR REPLICATED TO MATCH EXISTING IF UNABLE TO REMOVE INTACT
- 05 EXISTING JOINERY REMOVED AND NEW JOINERY RELOCATED
- 06 EXISTING SANITARYWARE REMOVED AND ENSUITE RELOCATED. WASTE AND SVP TO BE RE-ROUTED TO CONNECT TO SERVICES BELOW
- 07 GENERAL: PARTIAL REPLACEMENT OF CORNICE, SKIRTING, ARCHITRAVE AND DOORS. SEE SCHEDULE FOR FULL DETAILS
- 08 EXISTING TIMBER HANDRAIL RETAINED, REPAIRS WHERE REQUIRED TO REFURBISH CONDITION OF EXISTING HANDRAIL
- 09 GENERAL: EXISTING CARPET FLOOR FINISHES REMOVED AND REPLACED WITH NEW TIMBER FLOOR COVERINGS. EXISTING FLOORBOARDS BELOW TO BE RETAINED (WHERE PRESENT), EXTENT OF FLOOR LEVELLING SUBJECT TO STRUCTURE BELOW EXISTING LEVELS.
- 10 EXISTING NON-ORIGINAL RADIATOR AND AC BOXING JOINERY REMOVED AND WINDOW REVEALS MADE GOOD.
- 11 EXISTING NON-ORIGINAL CEILING TO BE PARTIALLY REMOVED OVER WC AND SHOWER AREA ONLY TO ALLOW FOR INSTALLATION OF ALL NEW SERVICES AND PIPEWORK TO PASS FROM THIRD FLOOR BATHROOMS TOWARD EXISTING SVP AND SERVICE RISER



Revision	Date	Description
A	12.09.23	Response to Camden Comments
B	24.10.23	Response to Camden Comments

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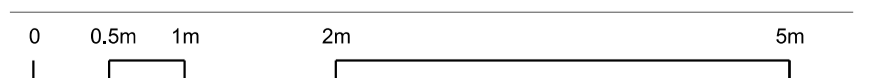
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Project 1 Albany Terrace, Park Square East, London, NW1 4DS
Title Second Floor Demolition

Number 296_32_12.1 **Rev** B

Status Planning **Scale** 1:100 A3/1:50 A1



General Notes

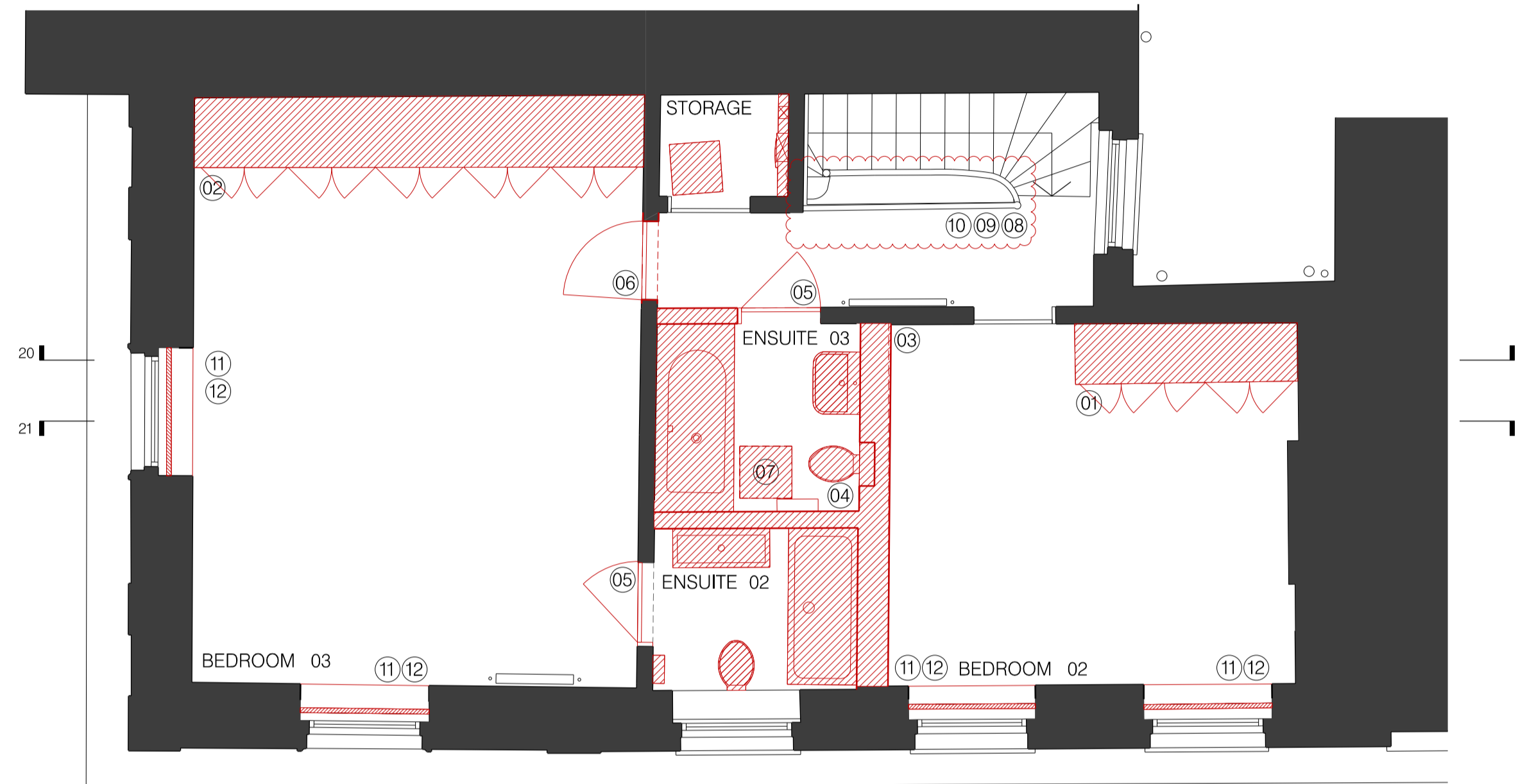
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NOTES

- 01 EXISTING JOINERY REMOVED AND NEW JOINERY RELOCATED
- 02 EXISTING JOINERY REMOVED AND REPLACED
- 03 NON – ORIGINAL, MODERN PARTITION REMOVED AND REPLACED WITH NEW THINNER PARTITION.
- 04 NON – ORIGINAL, MODERN PARTITION REMOVED AND RELOCATED TO MAKE ENSUITE SIZES EQUAL.
- 05 EXISTING DOORS AND ARCHITRAVES REMOVED, OPENINGS INFILLED AND DOORS RELOCATED TO RECONFIGURE ENSUITES. ARCHITRAVES TO BE SALVAGED IF POSSIBLE AND RELOCATED. SANITARYWARE REMOVED AND REPLACED WITH NEW.
- 06 EXISTING DOOR REMOVED AND RELOCATED. SIDE NIBS, BULKHEAD OVER, AND ARCHITRAVES TO BE RETAINED TO DENOTE HISTORIC PLAN FORM
- 07 EXISTING LOFT HATCH REMOVED AND RELOCATED TO SUIT RECONFIGURED LAYOUT. EXISTING JOISTS TO BE TRIMMED ACCORDINGLY
- 08 GENERAL: EXISTING CARPET FLOOR FINISHES REMOVED AND REPLACED WITH NEW TIMBER FLOOR COVERINGS. EXISTING FLOORBOARDS BELOW TO BE RETAINED (WHERE PRESENT). EXTENT OF FLOOR LEVELLING SUBJECT TO STRUCTURE BELOW EXISTING LEVELS.
- 09 EXISTING TIMBER HANDRAIL RETAINED, REPAIRS WHERE REQUIRED TO REFURBISH CONDITION OF EXISTING HANDRAIL.
- 10 GENERAL: PARTIAL REPLACEMENT OF SKIRTINGS, ARCHITRAVES, AND DOORS. SEE SCHEDULE FOR FULL DETAILS
- 11 EXISTING NON-ORIGINAL RADIATOR AND AC BOXING/JOINERY REMOVED AND WINDOW REVEALS MADE GOOD.
- 12 EXISTING METAL FRAMED SECONDARY GLAZING REMOVED AND REPLACED WITH NEW TIMBER FRAMED SECONDARY GLAZING. SEE DRAWING 296_32_75 FOR DETAILS



Revision	Date	Description
A	12.09.23	Response to Camden

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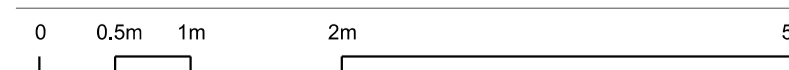
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Project 1 Albany Terrace, Park Square East, London, NW1 4DS
Title Third Floor Demolition

Number 296_32_13.1 **Rev** A

Status Planning **Scale** 1:100 A3/1:50 A1



General Notes

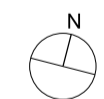
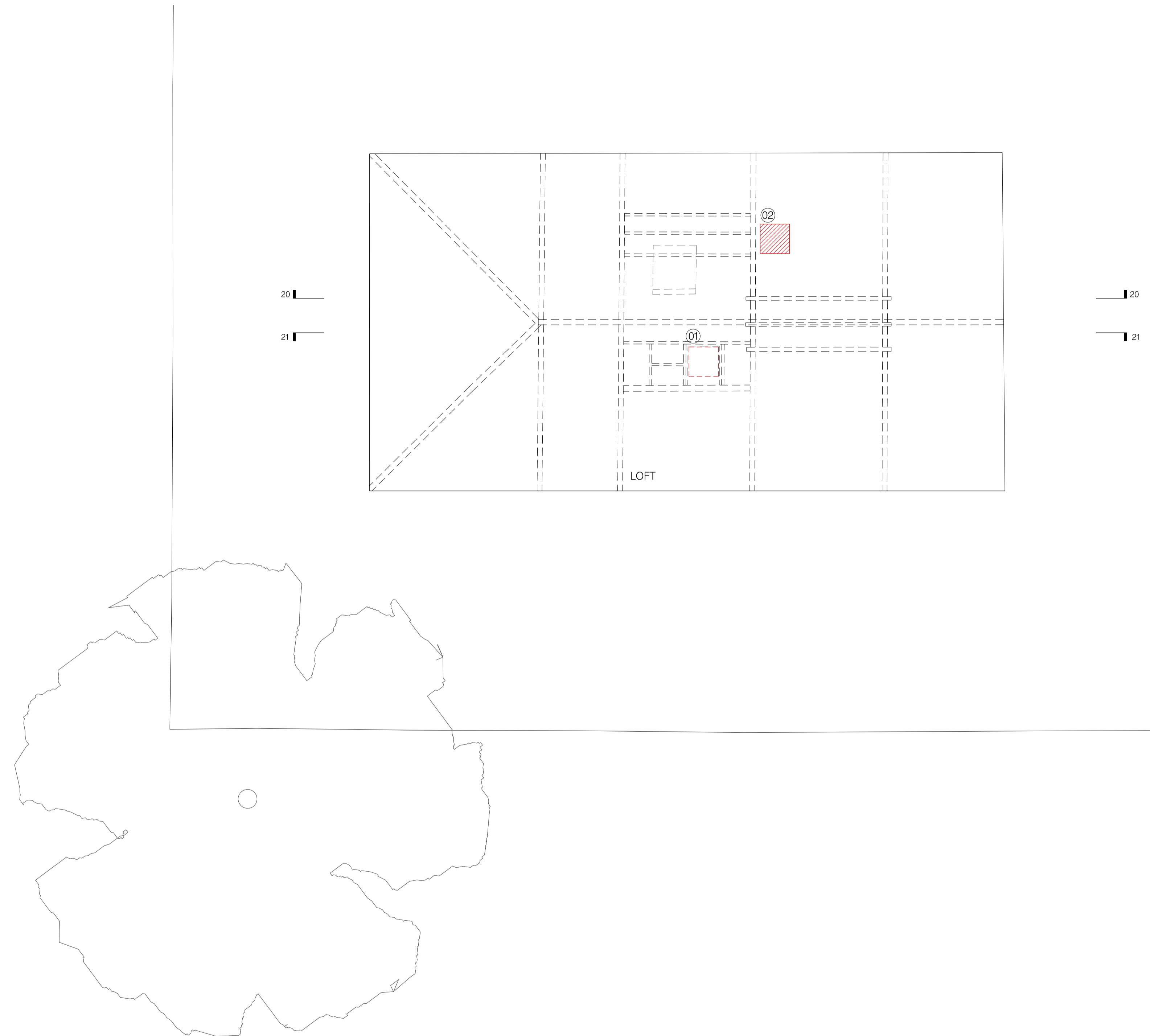
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 DENOTES EXTENT OF DEMOLITION

NOTES

- 01 EXISTING LOFT HATCH REMOVED AND RELOCATED TO SUIT RECONFIGURED ENSUITE. LOFT FLOOR INFILLED TO MATCH ADJACENT MATERIALS.
- 02 FLOOR JOISTS TRIMMED TO ALLOW FOR NEW LOFT HATCH.



Revision	Date	Description
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Project 1 Albany Terrace, Park Square East, London, NW1 4DS

Title Loft Demolition

Number 296_32_14.1

Status Planning

Scale 1:100 A3/1:50 A1

