



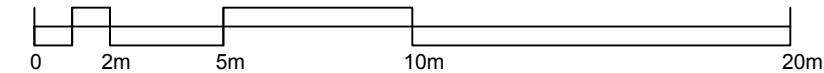
1 Existing Street Elevation
Scale 1:500

20-21 Wolsey Mews



2 Proposed Street Elevation
Scale 1:500

20-21 Wolsey Mews



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NOTES:

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Client
Anese Investment Limited

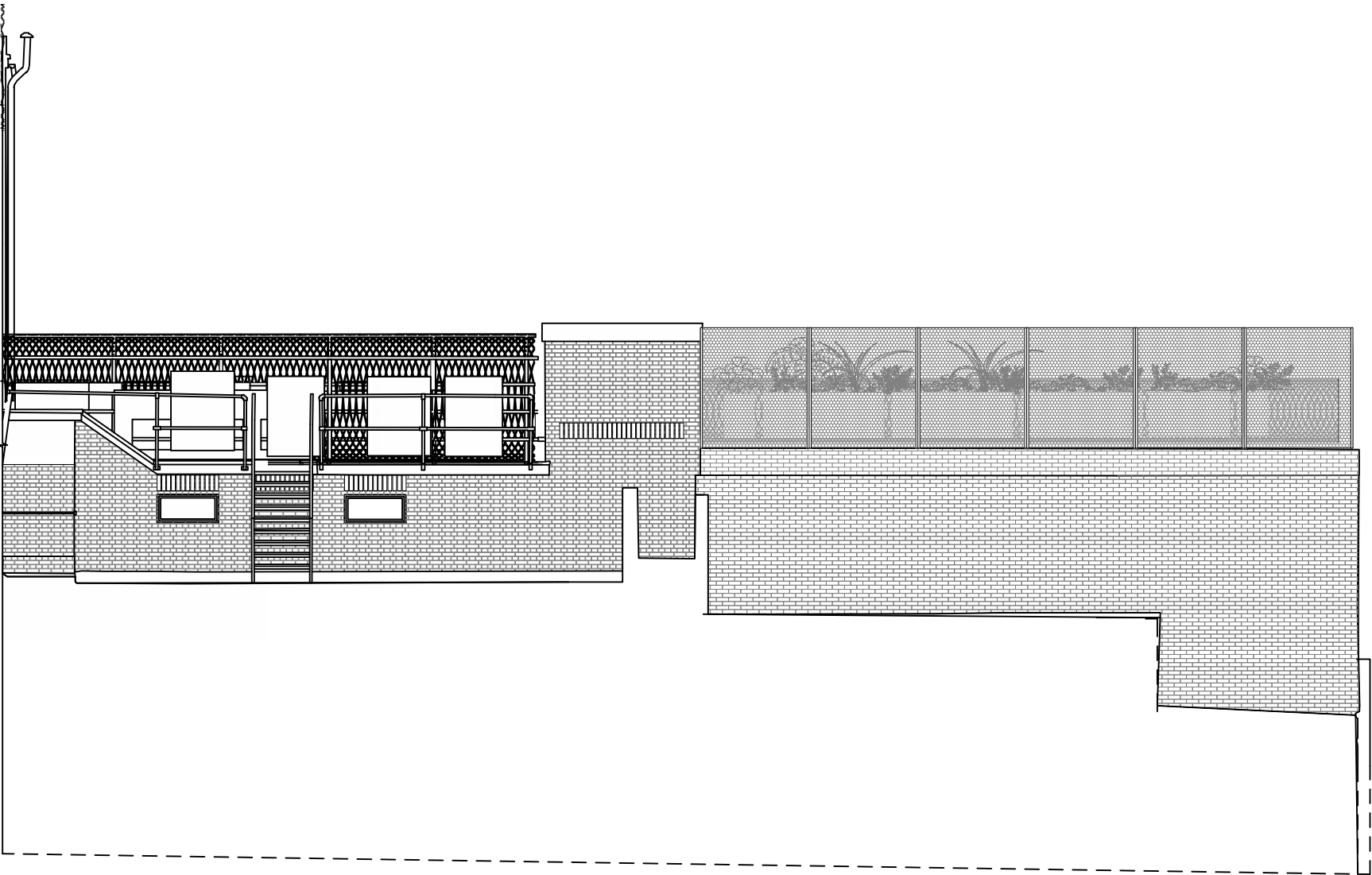
Project
20 21 Wolsey Mews

Drawing
Existing & Proposed Street Elevations

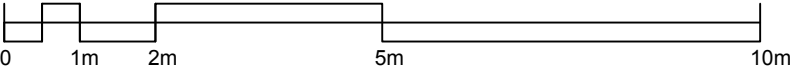
Scale@A3 Date
1:200 Nov 23

Drawing No.
2316-P-304
Status
Planning

Drawn JS
Checked EL
Authorised TE
Rev -
Issue Date Amendment



2 West Elevation



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NOTES:

Issue Date Amendment

Client

Anese Investments Limited

Project

20-21 Wolsey Mews

Drawing

Proposed Elevations (2 of 2)

Scale@A3	Date	Drawn	JS
1:100	Nov 23	Checked	EL
		Authorised	TE

Drawing No.

2316-P-303

Status

Planning

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NOTES:

Issue Date Amendment

Client

Anese Investments Limited

Project

20-21 Wolsey Mews

Drawing

Proposed Elevations (1 of 2)

Scale@A3	Date	Drawn	JS
1:100	Nov 23	Checked	EL
		Authorised	TE

Drawing No.

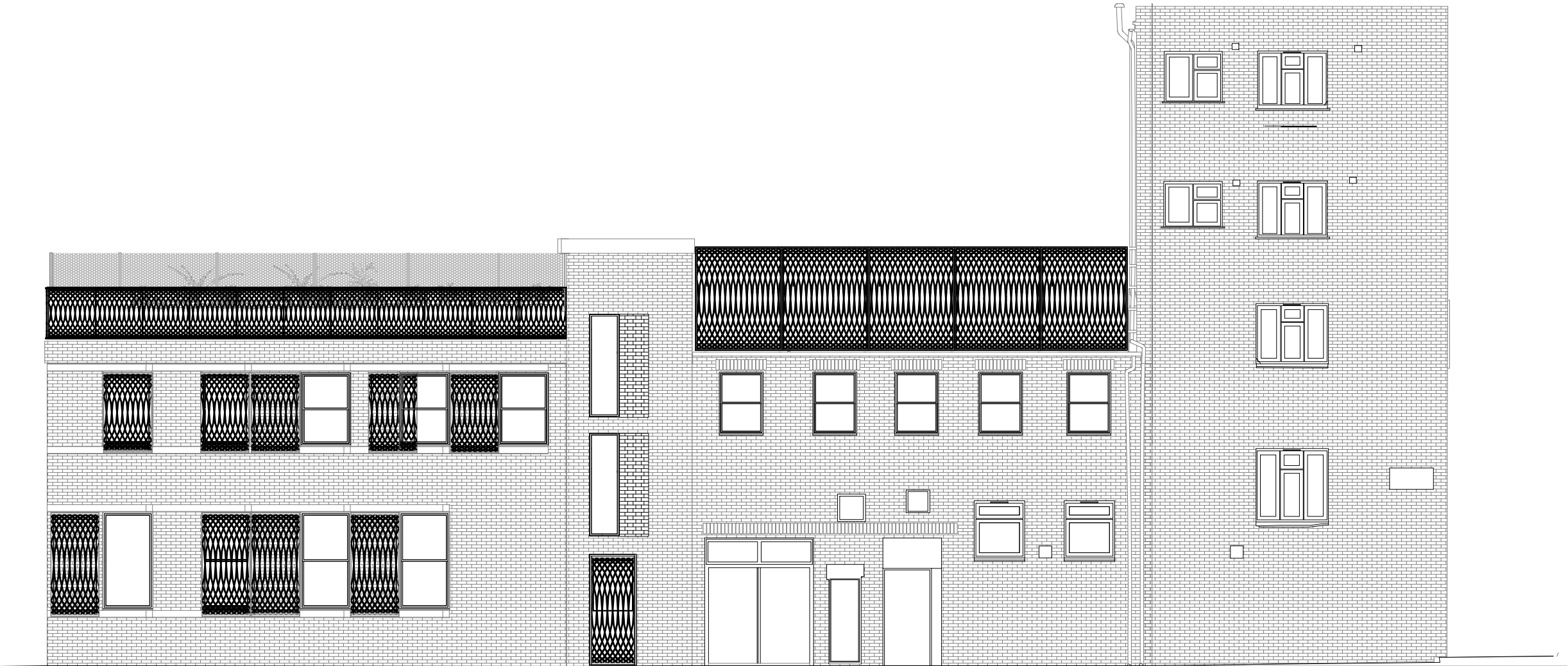
2316-P-302

Status

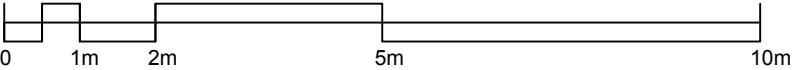
Planning

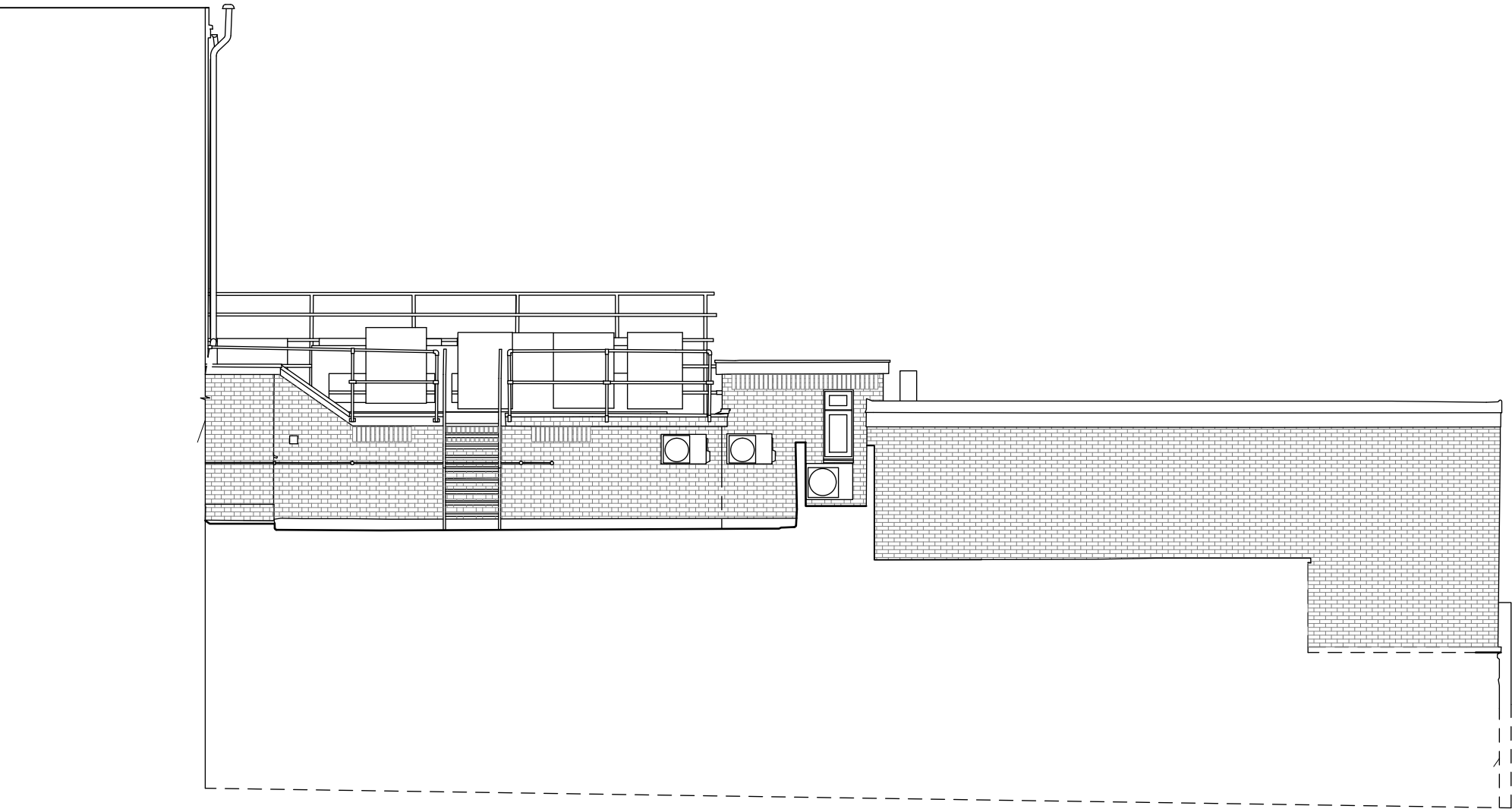
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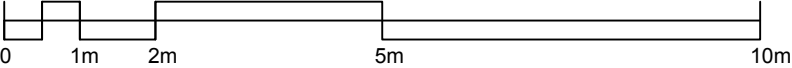


1 East Elevation





2 West Elevation



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NOTES:

Issue Date Amendment

Client

Anese Investments Limited

Project

20-21 Wolsey Mews

Drawing

Existing Elevations (2 of 2)

Scale@A3	Date	Drawn	JS
1:100	Nov 23	Checked	EL
		Authorised	TE

Drawing No.

2316-P-300

Status

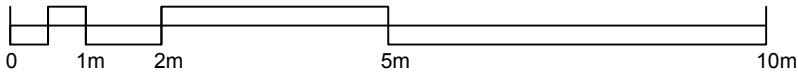
Planning

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1 East Elevation



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Issue Date Amendment

Client

Anese Investments Limited

Project

20-21 Wolsey Mews

Drawing

Existing Elevations (1 of 2)

Scale@A3	Date	Drawn	JS
1:100	Nov 23	Checked	EL
		Authorised	TE

Drawing No.

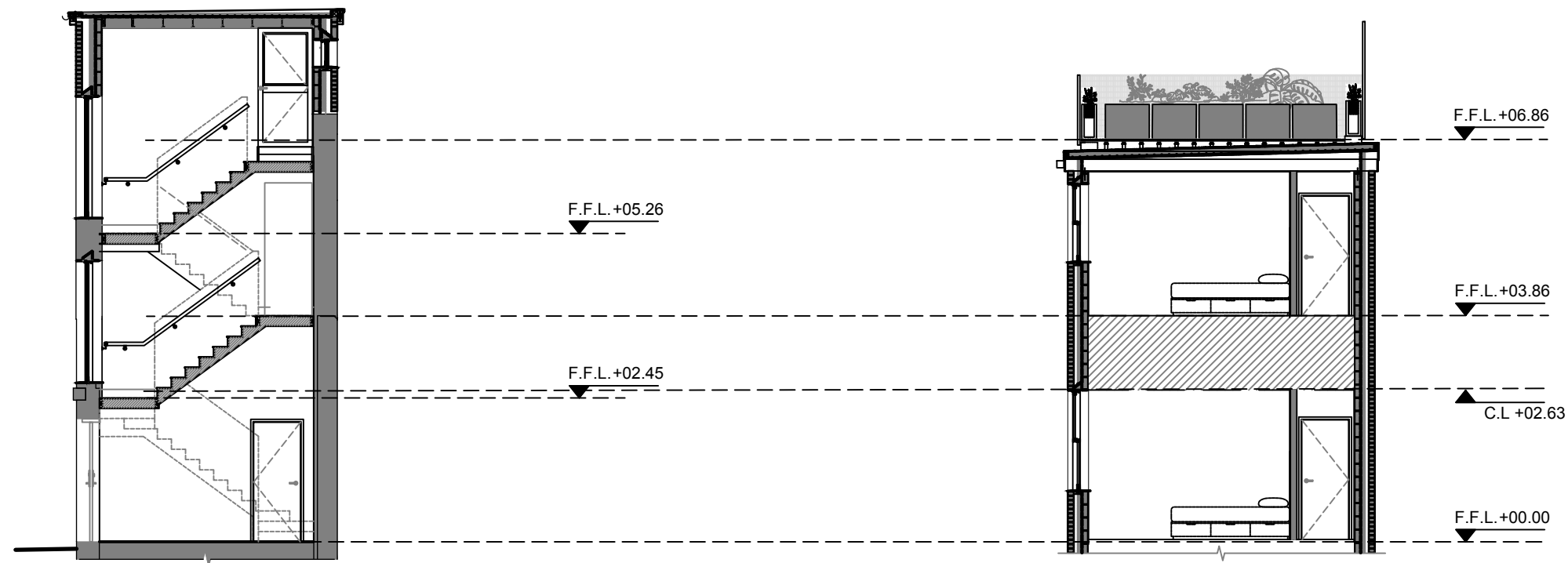
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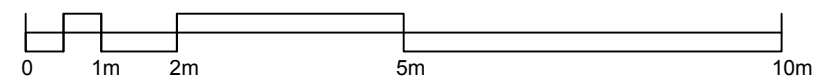


1 Section AA

2 Section BB



3 Section CC



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NOTES:

Issue Date Amendment

Client

Anese Investments Limited

Project

20-21 Wolsey Mews

Drawing

Proposed Sections

Scale@A3	Date	Drawn	ME
1:100	Nov 23	Checked	EL
		Authorised	TE

Drawing No.

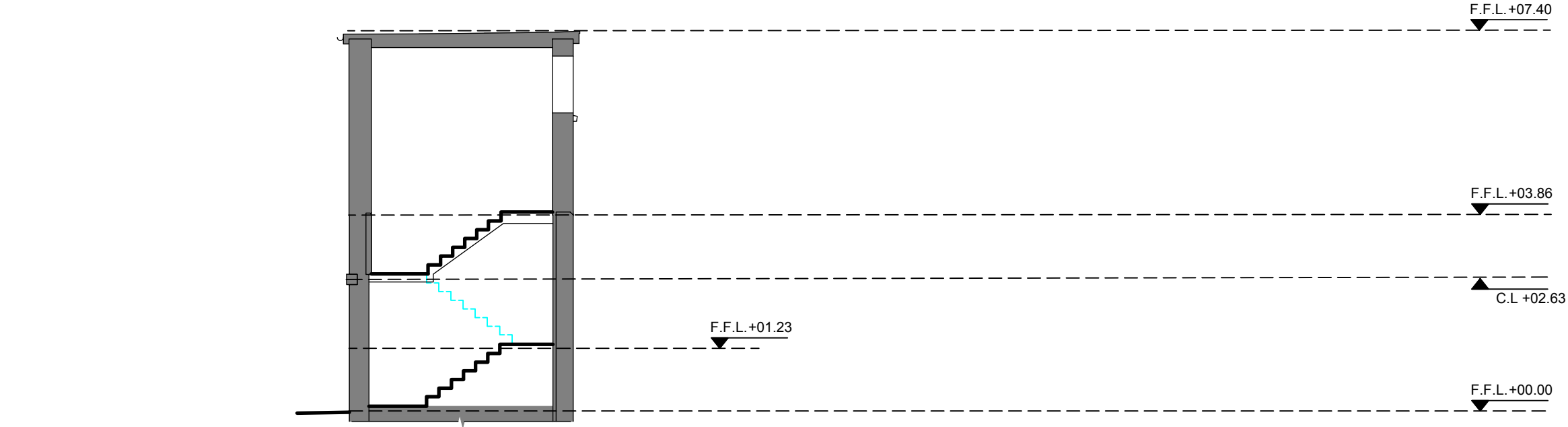
2316-P-201

Status

Planning

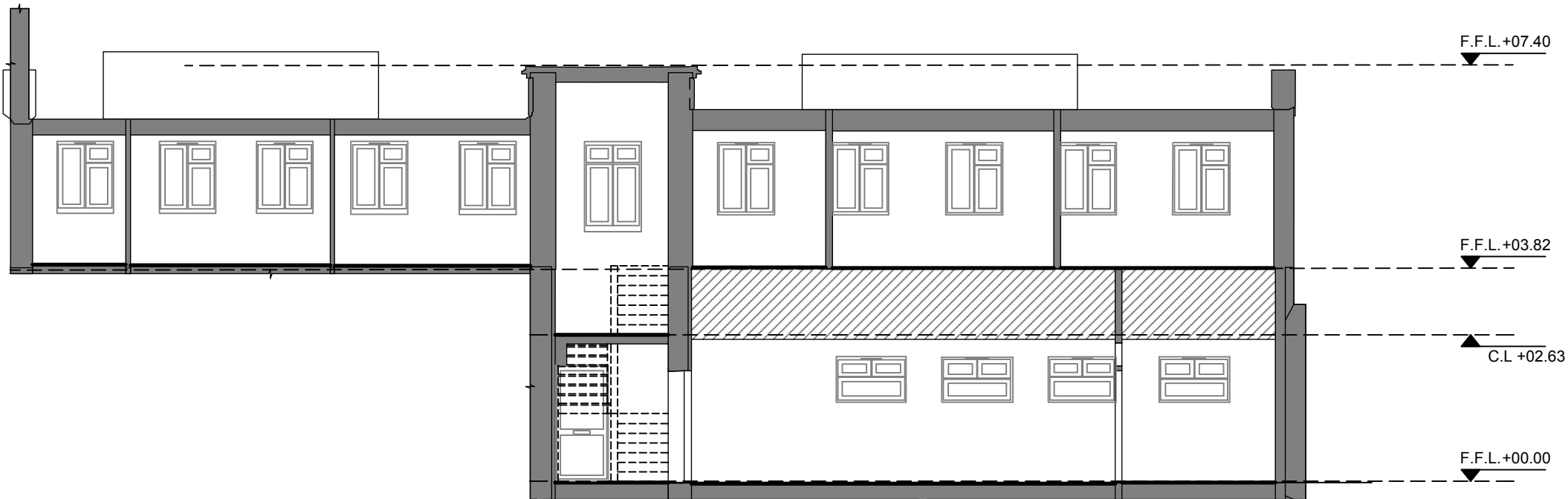
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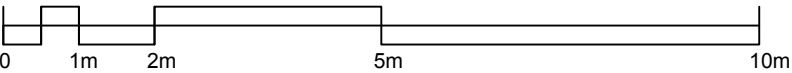


1 Section AA

2 Section BB



3 Section CC



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NOTES:

Issue	Date	Amendment
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Client

Anese Investments Limited

Project

20-21 Wolsey Mews

Drawing

Existing Sections

Scale@A3	Date	Drawn	ME
1:100	Nov 23	Checked	EL
		Authorised	TE

Drawing No.

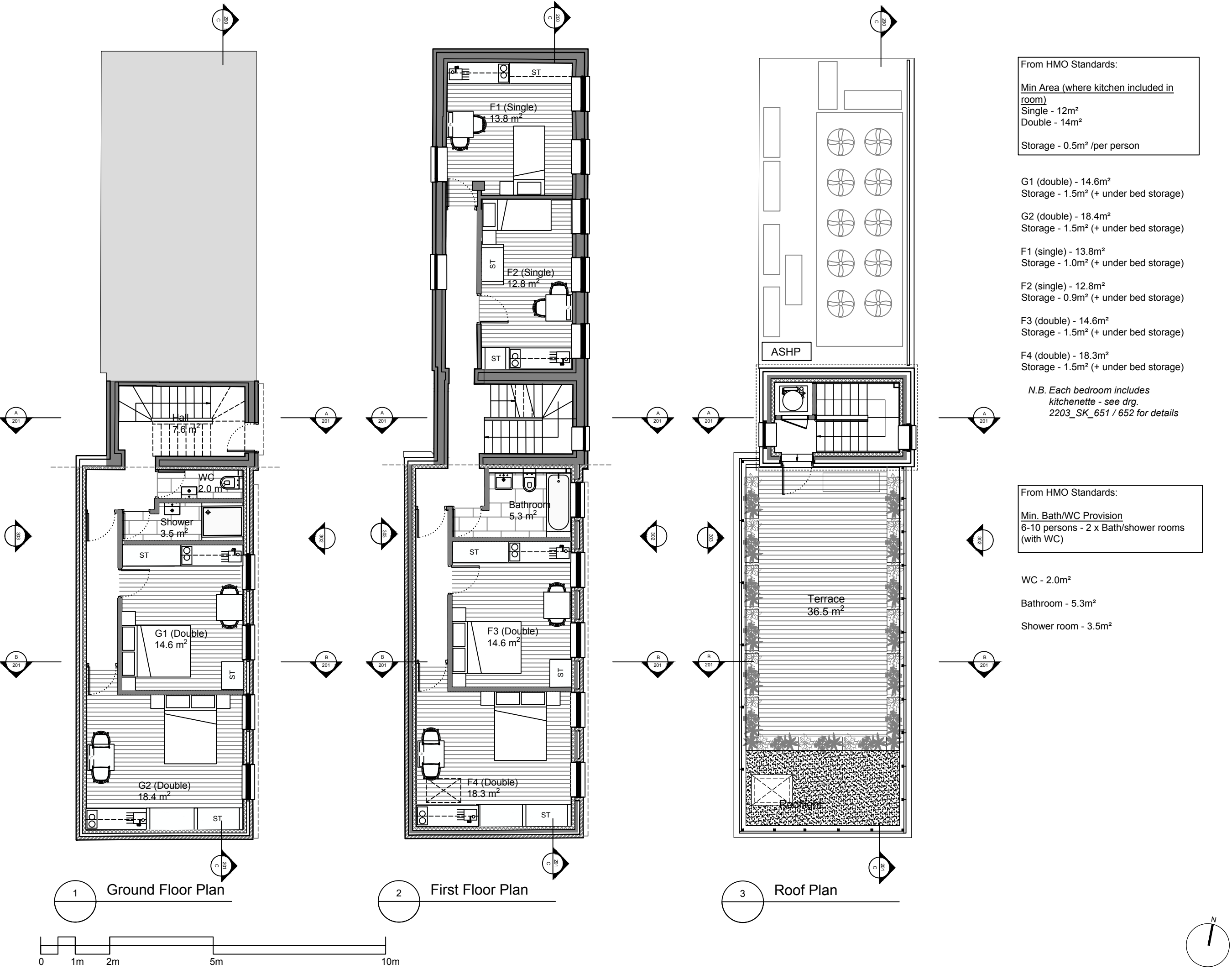
2316-P-200

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From HMO Standards:

Min Area (where kitchen included in room)
Single - 12m²
Double - 14m²

Storage - 0.5m² /per person

G1 (double) - 14.6m²
Storage - 1.5m² (+ under bed storage)

G2 (double) - 18.4m²
Storage - 1.5m² (+ under bed storage)

F1 (single) - 13.8m²
Storage - 1.0m² (+ under bed storage)

F2 (single) - 12.8m²
Storage - 0.9m² (+ under bed storage)

F3 (double) - 14.6m²
Storage - 1.5m² (+ under bed storage)

F4 (double) - 18.3m²
Storage - 1.5m² (+ under bed storage)

N.B. Each bedroom includes kitchenette - see drg. 2203_SK_651 / 652 for details

From HMO Standards:

Min. Bath/WC Provision
6-10 persons - 2 x Bath/shower rooms (with WC)

WC - 2.0m²
Bathroom - 5.3m²
Shower room - 3.5m²

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NOTES:

Issue Date Amendment

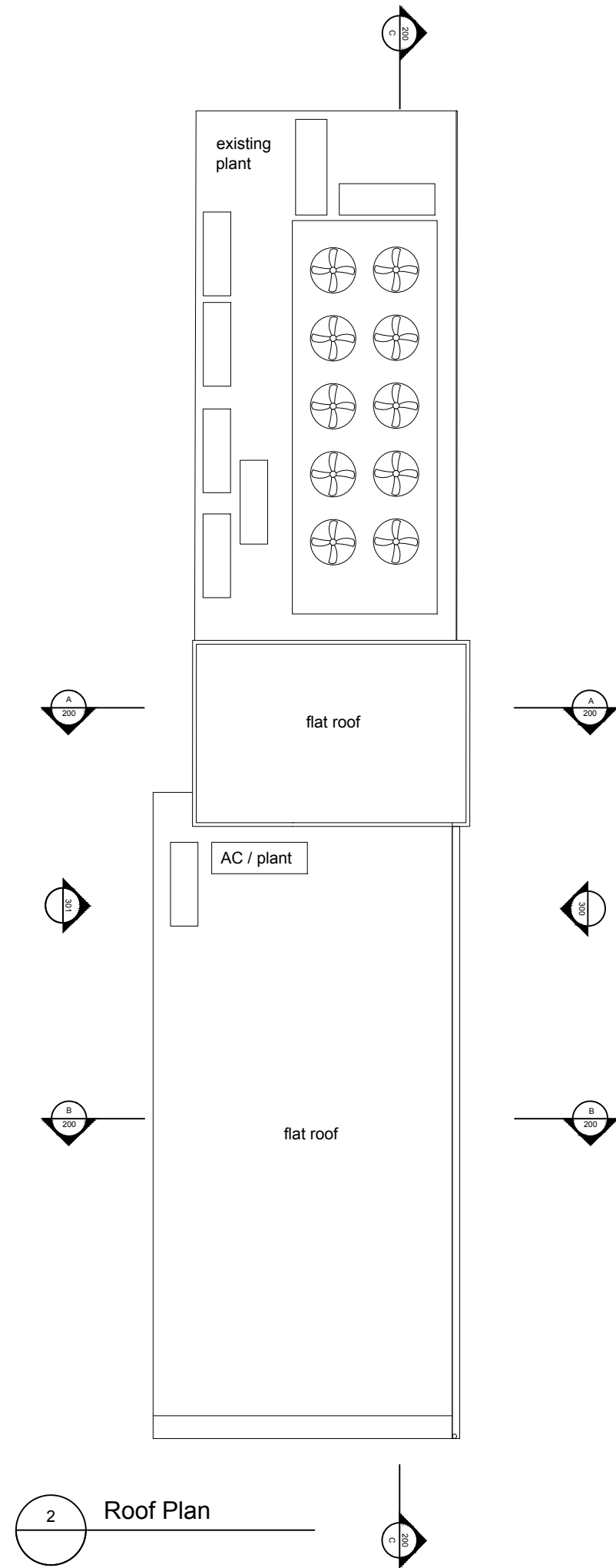
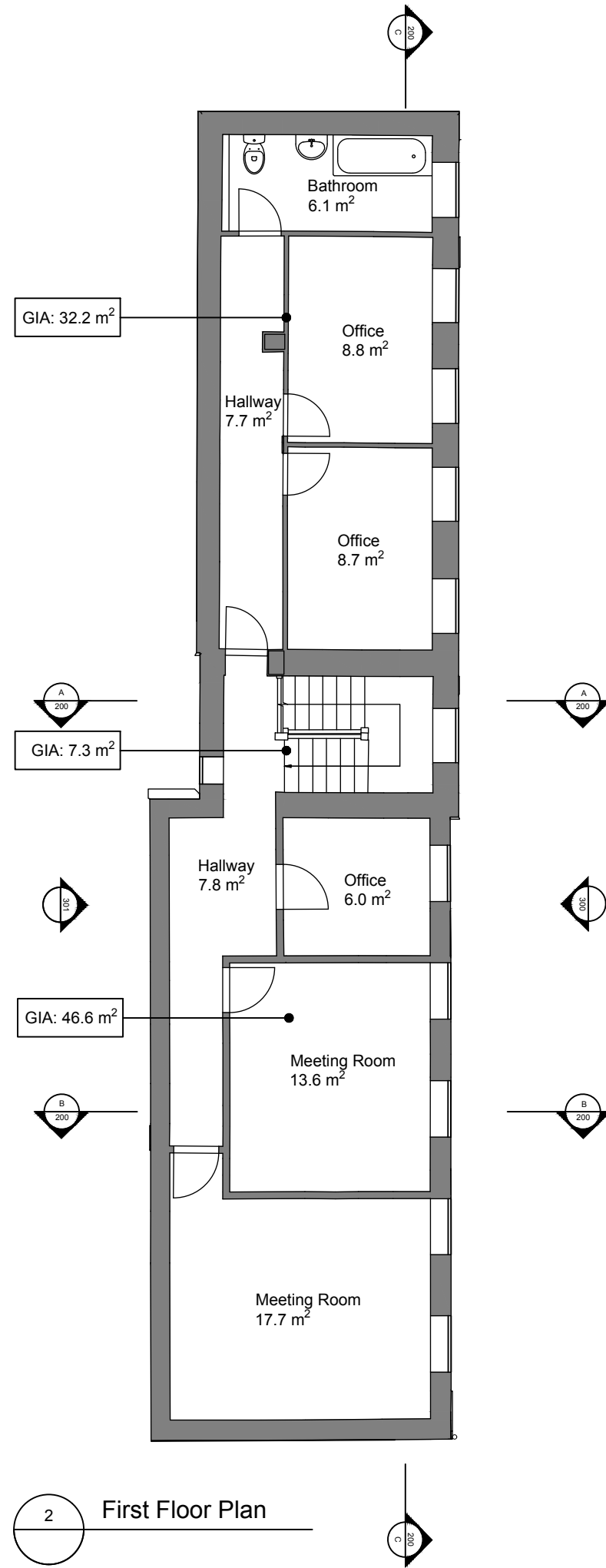
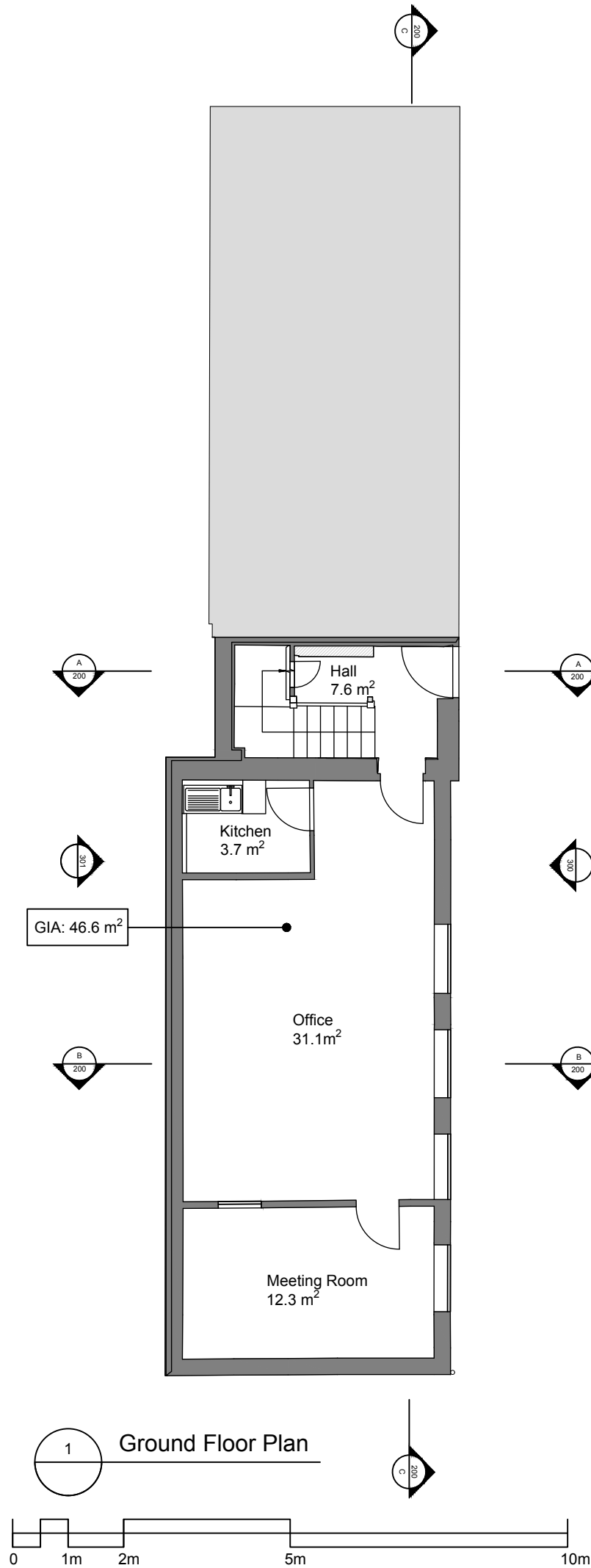
Client
Anese Investments Limited

Project
20-21 Wolsey Mews

Drawing
Proposed GA Plans
Scale@A3 Date Drawn ME
1:100 Nov 23 Checked EL
Authorised TE

Drawing No.
2316-P-101
Status
Sketch
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NOTES:

Total GIA: 140 m²

Issue	Date	Amendment
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Client

Anese Investments Limited

Project

20-21 Wolsey Mews

Drawing

Scale@A3	Date	Drawn	JS
1:100	Nov 23	Checked	EL
		Authorised	TE

Drawing No.

2316-P-100

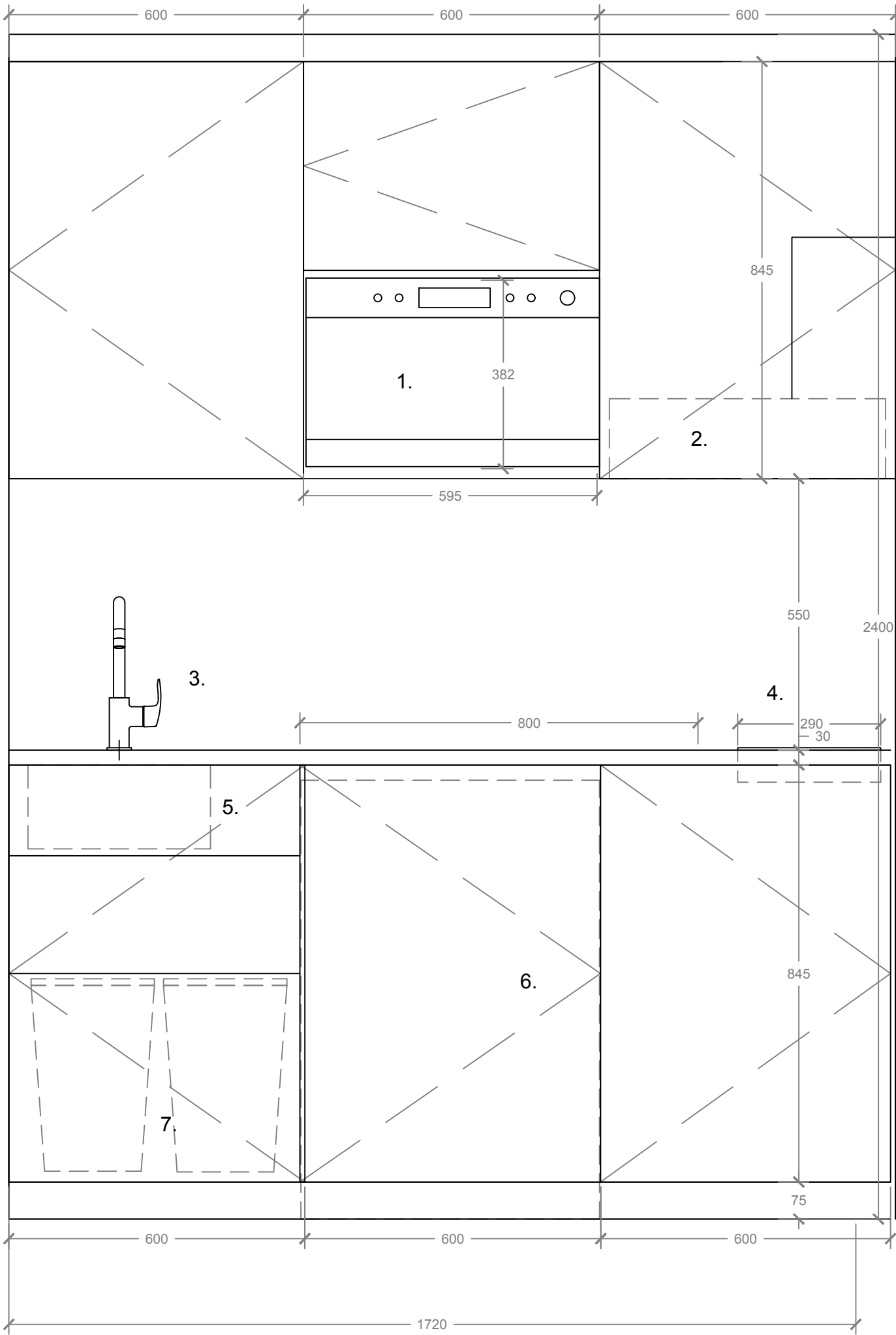
Status

Planning

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1 Elevation

Product Specification -
1 - Hotpoint Class 3 MN 314 IX H Built-in Microwave
Samsung series 4 Combination Microwave Oven

2 - electriQ 52cm Canopy Cooker Hood - Silver

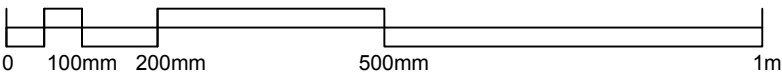
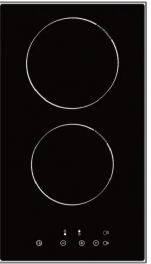
3 - Alberta Modern Chrome Kitchen Mixer Tap

4 - Edesa ART29175 30cm 13a Plug Domino Induction Hob

5 - Nesbitt Single Bowl Undermount Kitchen Sink (Drainage grooves to be routed into worktop)

6 - Smeg 60cm Integrated Under Worktop Refrigerator with ice box

7. - Refuse and recycling bins



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NOTES:

B	31/10/23	Extract note added
A	19/10/23	Dims amended
Issue	Date	Amendment

Client

Anese Investments Limited

Project

20-21 Wolsey Mews

Drawing

Kitchenette Details [2 of 2]

Scale@A3	Date	Drawn	ME
1:10	Sep 23	Checked	EL
		Authorised	TE

Drawing No.

2203-SK-652 rev B

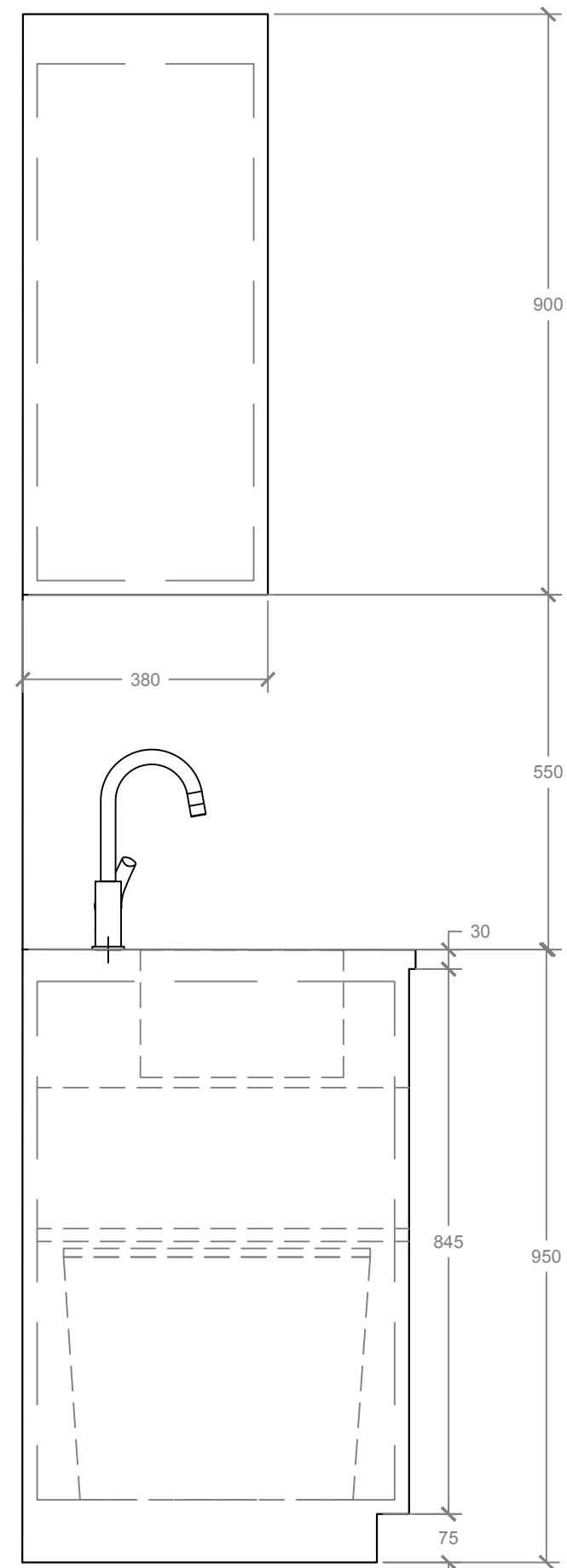
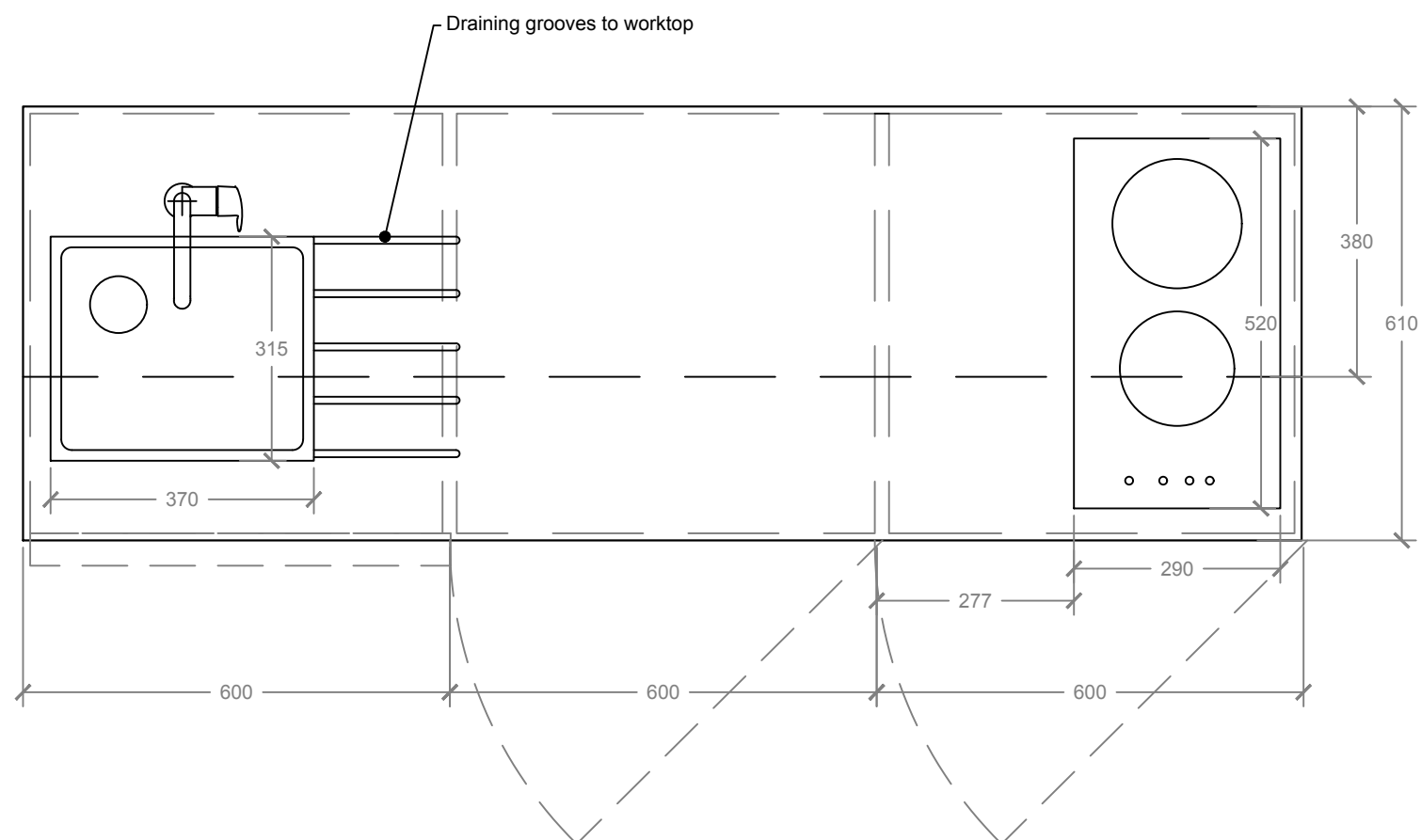
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NOTES:

B	31/10/23	Draining board note added
A	19/10/23	Dims amended
Issue	Date	Amendment

Client

Anese Investments Limited

Project

20-21 Wolsey Mews

Drawing

Kitchenette Details [1 of 2]

Scale@A3	Date	Drawn	ME
1:10	Sep 23	Checked	EL
		Authorised	TE

Drawing No.
2203-SK-651 revB
Status
Sketch

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