

Heritage Statement

55 Mount Pleasant, WC1X 0AY

October 2023

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1. Introduction

Purpose of this Report

- 1.1 This Heritage Statement has been prepared by Turley Heritage on behalf of the Applicant to assess the heritage impacts of the proposed works for Listed Building Consent at No. 55 Mount Street, forming part of a grade II listed terrace of 6 houses (Nos. 47-57) and within the Hatton Garden Conservation Area, London Borough of Camden.
- 1.2 Amendments have been made to the proposed scheme informed by constructive pre-application recommendations from the London Borough of Camden, which have helped shape the final application proposals.¹
- 1.3 This Heritage Statement should be read in conjunction with the full drawings package and Design and Access Statement, prepared by Archer and Braun Architecture.
- 1.4 The requirement for this report stems from Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, which places a duty upon the local planning authority in determining applications for development or works that affect the character of a listed building to have special regard to the desirability of preserving the building or its setting, or any features of special architectural or historic interest which it possesses. Under Section 72, the Act also requires that special attention be given to the desirability of preserving or enhancing the character or appearance of a conservation area.
- 1.5 The National Planning Policy Framework (NPPF) 2023 provides the Government's national planning policy of the conservation of the historic environment. In respect of information requirements, Paragraph 194 sets out that:

*"In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance."*²
- 1.6 Paragraph 195 then sets out that local planning authorities should also identify and assess the particular significance of heritage assets that may be affected by proposals. They should take this assessment into account when considering the impact of proposals in order to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal.

¹ London Borough of Camden, 55 Mount Pleasant WCX1

² National Planning Policy Framework (NPPF) 2023 – para.194

Structure of this Report

- 1.7 In accordance with the above legislative and policy requirements, **Section 2** of this report firstly confirms the identified heritage assets within the Site and its vicinity that have the potential to be affected by the application proposals.
- 1.8 **Section 3** provides a description of the historical development of the Site in the context of the surrounding area, with regard to relevant published sources, map regression, archival research, and on-site visual survey. This establishes context and informs an understanding of significance in later sections.
- 1.9 **Section 4** then provides statements of significance for each of the relevant heritage assets, including the grade II listed Nos. 47-57 Mount Pleasant (focusing on the Site at No. 55), together with the surrounding Hatton Garden Conservation Area.
- 1.10 **Section 5** undertakes a review of the design proposals now being presented at application stage, as informed by pre-application advice, and discusses their impact on the significance of the identified heritage assets. This is reviewed in light of the statutory duty of the Planning (Listed Buildings and Conservation Areas) Act 1990, national policy in the NPPF 2023 and supported by NPPG, and local planning policy and guidance for the historic environment (Greater London / London Borough of Camden).
- 1.11 Finally, **Section 6** provides a summary of the findings of this report with regard to heritage impacts.
- 1.12 The full national list entry for Nos. 47-57 Mount Pleasant is included at **Appendix 1** and a map of the Hatton Garden Conservation Area at **Appendix 2**.
- 1.13 The relevant heritage legislative, policy and guidance context, which should be borne in mind in considering future application proposals for the Site, is set out in full in **Appendix 3**. This includes the statutory duties of the Planning (Listed Buildings and Conservation Areas) Act 1990, national policy in the NPPF 2023 and supported by the NPPG, and other regional and or local planning policy and guidance.

2. Heritage Assets

Introduction

- 2.1 The National Planning Policy Framework (NPPF) 2023 defines a heritage asset as:

“A building, monument, site, place, area, or landscape identified as having a degree of significance meriting consideration in planning decisions because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing).”³

Designated Heritage Assets

- 2.2 Designated heritage assets are those which possess a level of heritage interest that justifies designation under relevant legislation and are then subject to particular procedures in planning decisions that involve them. Designated heritage assets are defined by the NPPF as:

“A World Heritage Site, Scheduled Monument, Listed Building, Protected Wreck Site, Registered Park and Garden, Registered Battlefield or Conservation Area designated under the relevant legislation.”⁴

Grade II Listed Building: Nos. 47-57 Mount Pleasant

- 2.3 Numbers 47-57 (odd) Mount Pleasant, and attached railings were added to the national statutory list of buildings of special architectural or historic interest on the 14th May 1974 at Grade II. The Site at No. 55 Mount Pleasant forms part of this designation. The full list entry is included at **Appendix 1** and summarised below for ease of reference:

“Terrace of 6 houses. c1720, Nos 55 & 57 believed to be rebuilt later C19 in facsimile. No.47: brown brick with stucco 2nd floor band and parapet. Brick cornice below the parapet. Tiled roof with dormer. 3 storeys, attic and cellar. 3 windows. Later C19 shopfront with C20 door and fascia flanked by consoles. Gauged red brick segmental arches and dressings to flush frame sashes with exposed boxing. INTERIOR: not inspected but noted to retain stairs with turned balusters and column newels. No.49: brown brick with brick 2nd floor band and cornice below the parapet. Tiled mansard roof with dormers. 3 storeys, attic and cellar. 3 windows. C20 reproduction wooden shopfront with round-arched lights and panelled stallboard. Later C19 consoles flanking fascia. Gauged red brick segmental arches and dressings to flush frame sashes with exposed boxing having hinged sash supports. INTERIOR: not inspected but noted to be panelled. Nos 51 & 53: stuccoed fronts with rusticated ground floors and quoins. C20 tiled mansard roofs with dormers. 3 storeys, attics and basements. 3 windows each. Ground floors with C20 sashes and panelled doors. Upper floors with segmental-arched, architraved, recessed sashes with exposed boxing; 1st floor of No.51 and 1st & 2nd floors, No.53 with gated sashes. Parapets. INTERIORS: not inspected. Nos 55 & 57: red brick, No.55 painted. Tiled double pitched roofs. Brick cornices below parapets. C20

³ MHCLG, National Planning Policy Framework (NPPF) 2023 - Annex 2: Glossary

⁴ MHCLG, National Planning Policy Framework (NPPF) 2023 - Annex 2: Glossary

*ground floor terrazzo betting shopfrontage but No.55 retaining wooden doorcase with pilasters and brackets carrying flat hood. Gauged brick segmental arches to recessed sashes with exposed boxing. At 1st floor level, centrally positioned tablet with moulded brick cornice inscribed "Dorrington Street 1720" not in situ. SUBSIDIARY FEATURES: attached cast-iron railings with urn finials to areas of Nos 51 & 53."*⁵

Hatton Garden Conservation Area

- 2.4 The Site is located within the Hatton Garden Conservation Area, first designated by the London Borough of Camden in 1999. The current Conservation Area Appraisal and Management Plan was adopted in 2017.⁶ A map of the conservation area is included at **Appendix 2**.

Non-Designated Heritage Assets

- 2.5 The NPPF⁷ identifies that heritage assets include both designated heritage assets and assets identified by the local planning authority (including local listing).
- 2.6 Camden maintains a local list, adopted on 21st January 2015. Given the nature of the proposals, focused on the interior of No. 55 Mount Pleasant, their significance would not be affected by the proposals. Accordingly, they are not considered further as part of this report.

⁵ <https://historicengland.org.uk/listing/the-list/list-entry/1113150>

⁶ <https://www.camden.gov.uk/documents/20142/7559744/Hatton+Garden+Aug+2017.pdf/bbac638f-5098-23fe-9304-8fb67ae8e86c>

⁷ MHCLG, National Planning Policy Framework (NPPF) 2023 - Annex 2: Glossary

3. Historic Development of the Site

- 3.1 The 1682 Morgan Map of the City of London illustrates the route of Mount Pleasant as a field track crossing the River Fleet to the east of Grey's Inn Road. There was no development on the Site at this time and it was located in open fields (**Figure 3.1**).
- 3.2 The Site formed part of an early 18th century development known as the Baynes-Warner estate, in an area referred to as Coldbath Fields. The 'Coldbath' itself was a privately run hydropathic establishment, opened in the late 1690s, acting as part spa and part recreational site, that became fashionable at the start of the 18th century. This was constructed as a commercial pursuit by Walter Baynes, a lawyer of the Middle Temple. In the early 18th century, he joined John Warner, banker and goldsmith, to develop the surrounding land for housing, forming the Baynes-Warner estate. The development of the estate began in c.1719-20 with the erection of the first houses. The survey and layout of the land for building was undertaken by Richard Grimes, a carpenter of St Bartholomew Close, who also became one of the principal builders of the estate in the 1720s. The street pattern, including Mount Pleasant, was based on existing field paths. The earliest development was on Dorrington Street (now part of Mount Pleasant) which includes the Site. In John Roque's map of 1746, Mount Pleasant is recorded with buildings illustrated in the location of the Site and area to the south (**Figure 3.2**).



Figure 3.1: Morgan's Map of the City of London, 1682 (Source: Layers of London)

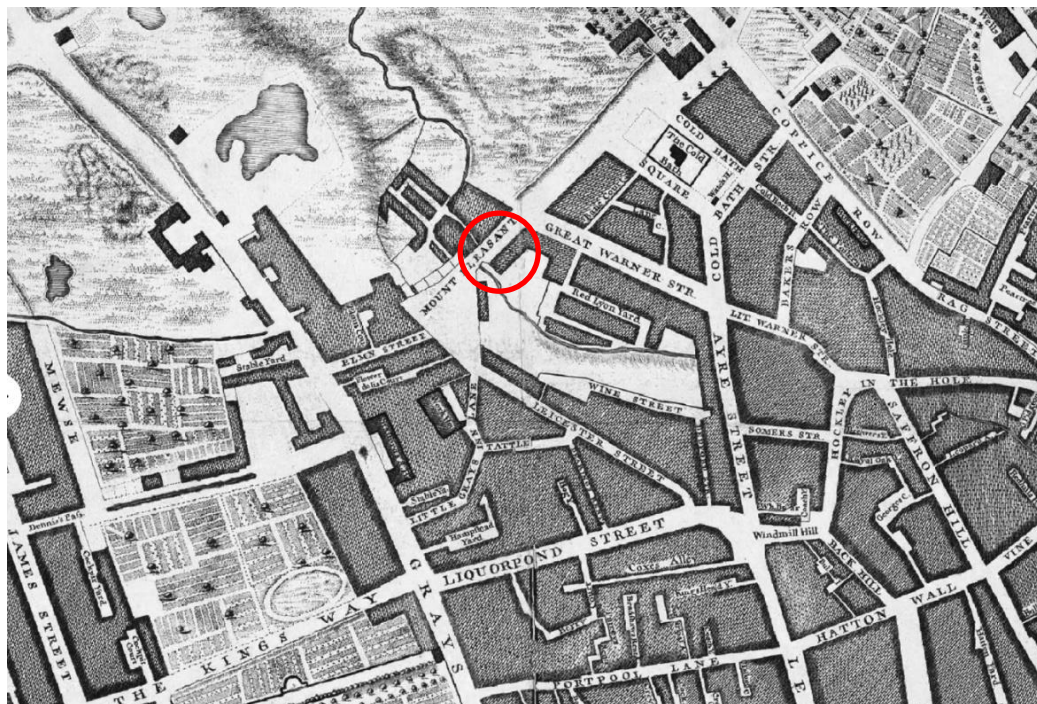


Figure 3.2: John Roque's map of London, Westminster and Southwark 1746 (Source: Layers of London)

- 3.3 The only buildings that appear to survive intact are Nos. 47–57 Mount Pleasant, including the Site (No. 55 Mount Pleasant). It was built under the name Dorrington Street and renumbered as part of Mount Pleasant in 1875. The Survey of London records that Thomas Dorrington, City bricklayer, gave his name to Dorrington Street when he took leases of two houses, No. 55 (the Site) and No. 57. He is not recorded as having been involved in this initial phase of building, though Nos. 55 and 57 were built as a mirrored pair, unlike other buildings within this short terrace, indicating the involvement of a single developer.⁸
- 3.4 The estate changed in character over the 18th century with the construction of a distillery in c.1730, a smallpox hospital in c.1750, the construction of a prison in c.1788–94, and expansion of the parish workhouse in c.1790. In the 19th century, the construction of Farringdon Road in the 1860s and 1870s and Rosebery Avenue in the 1880s and 1890s saw the erection of large blocks of industrial dwellings.

⁸ Survey of London: Volume 47, Northern Clerkenwell and Pentonville. Originally published by London County Council, London, 2008, pp.22–51

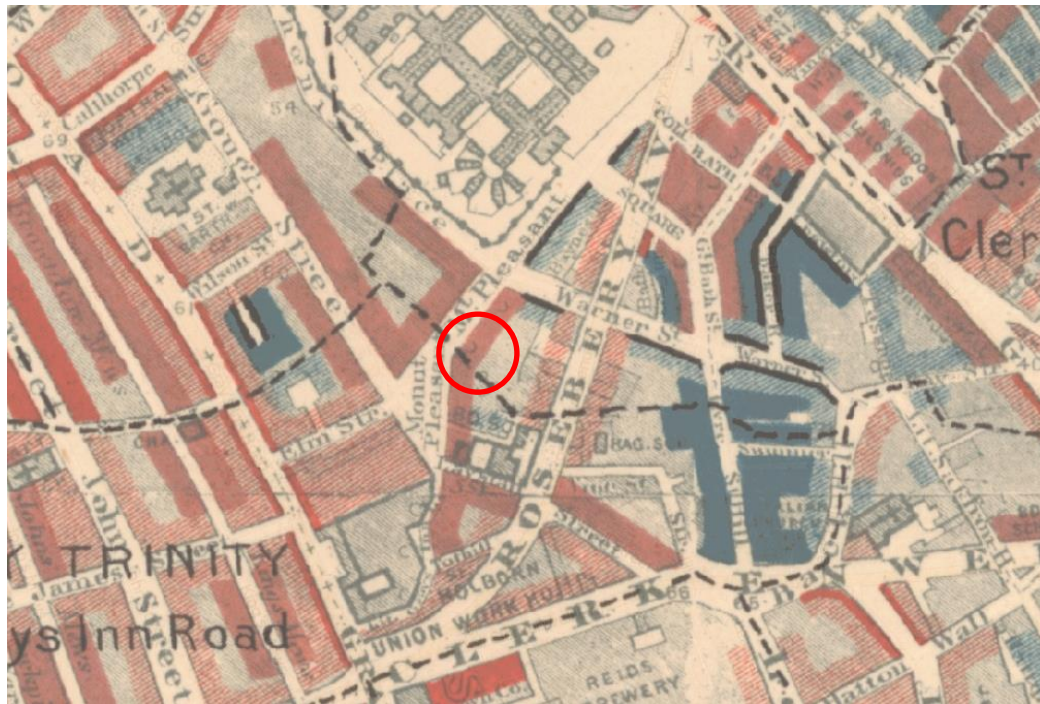


Figure 3.3: Charles Booth's Poverty Map (1886-1903) (Source: Layers of London)



Figure 3.4: Mount Pleasant in 1879, looking south from the corner with Phoenix Place

- 3.5 In Charles Booth's Poverty Map (1886-1903), Mount Pleasant is marked as accommodating a mixture of the lowest classes (vicious, semi-criminal) and mixed comfortable/poor (**Figure 3.3**). It is likely that the houses became shops with lodgings and workshops during this period. An illustration of Mount Pleasant, dated to 1879, shows the appearance of the terrace, with a shopfront at the ground floor of No. 55 and the adjacent Nos. 51-53 labelled as a brass foundry (**Figure 3.4**).



Figure 3.5: OS 1:1056 scale Town Plan revised 1894

- 3.6 Historic mapping provides further evidence of commercial uses. In the 1894 Town Plan, the property boundary of No. 55 extends to Rosebery Square to the rear with covered built form (**Figure 3.5**). There is a small courtyard between No. 55 and a building to the rear indicated on the 1914 map (**Figure 3.6**). The built form to the rear had been enlarged to cover the rear of Nos. 55-57 by the time of the 1952 map (**Figure 3.8**). This change to the rear of the properties is typical of small-scale workshops. This last phase is likely to relate to the existing Mews House 1 & 2 to the rear of the Site, also converted to commercial use.

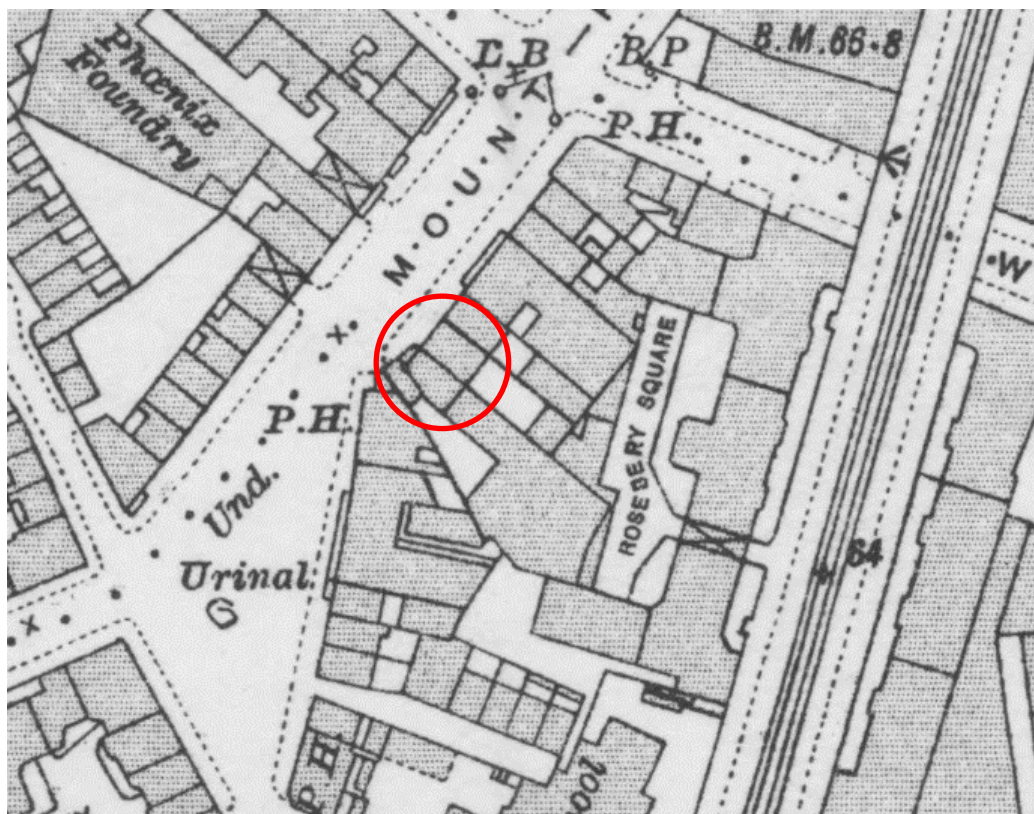


Figure 3.6: OS 1:2500 scale Map dated Revised 1914

- 3.7 In the early 20th century, the Site was absorbed into the immigrant quarter, spreading north from Holborn and Saffron Hill, known as 'Little Italy'. There were highly skilled Italian craftsmen in the district, with specialist skills such as the making of scientific-instruments, glassblowing, engraving, and mirror-making. The dominant trade however was ice-cream making, with 900 ice-cream barrows situated in Clerkenwell, with many in the Warner Street area.
- 3.8 Between 1920 and 1937, the Mount Pleasant Sorting Office was constructed on the site of the old Coldbath Fields Prison. This was the largest mail-handling centre in the country.
- 3.9 Bomb damage in the Second World War and later redevelopment changed the character of the area. The LCC Bomb Damage maps indicate blast damage across Nos. 47-57 Mount Pleasant (**Figure 3.7**). No. 59 Mount Pleasant and Nos. 61-75 Mount Pleasant were demolished in the 1950s, making way for the construction of a block of flats, forming Laystall Court.



Figure 3.7: LCC, Bomb Damage Map 1945

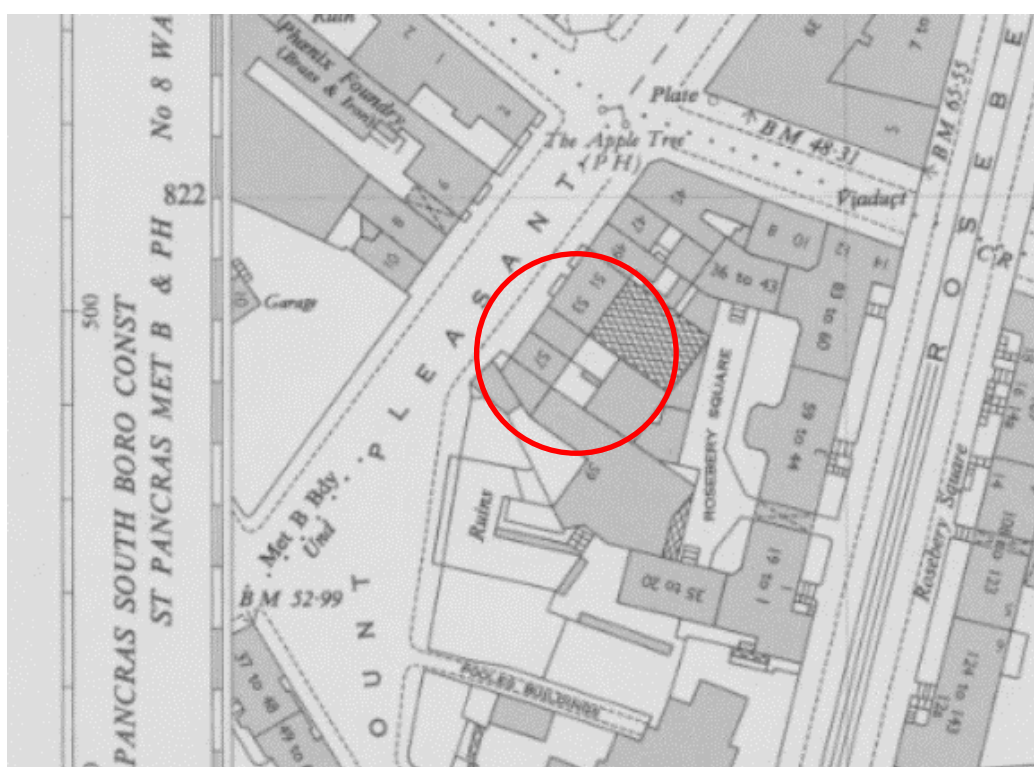


Figure 3.8: OS 1:1250 scale Map surveyed 1952

3.10 In the 1960s, No. 55 Mount Pleasant was licenced as a betting shop with the upper floors used as offices. This was amalgamated with No. 57 and a shared shopfront spanned the two properties. A series of internal alterations to No. 55 are recorded in planning records from the 1960s onwards, with substantial changes over successive decades detailed in the accompanying drawings and documentary evidence. These are illustrated at **Figure 3.9** and changes summarised below:

- August 1962: No. 55 Mount Pleasant licensed as a betting office. Planning drawings indicate an opening at ground floor between Nos. 55-57
- April 1964: The carrying out of alterations to unite the ground floors at Nos. 55 and 57 Mount Pleasant with modern shop frontage that unifies the two properties. Internally planning drawings illustrate internal sub-divisions at ground floor to no. 55 to create a rest-room and toilet (ref. TP73731/1964)
- May 1965: The installation of a new shopfront at Nos. 55-57 Mount Pleasant, Camden (ref. 7158)
- November 1968: At 55/57 Mount Pleasant, Camden. An internally illuminated projecting double sided box sign having black/white letters to read LICENSED BETTING OFFICE on a white ground (ref. CA/1160)
- March 1981 (refused) Continued use of the first and second floors as offices (ref. 31742)
- December 1990: Works of alteration and conversion including the erection of a mansard roof extension and link between front and rear buildings strengthening and repair of existing structure (ref. R9070209). Assumed not implemented as no mansard roof extensions present
- December 1990: Change of use including works of conversion erection of a mansard roof extension and a link extension into the rear building for B1 use and a residential dwelling at No. 57 (ref. 9000572). Assumed not fully implemented as no mansard roof extensions present.
- August 1995: Change of use to 4 flats, works of alteration and conversion including the erection of a mansard roof extension to the rear mews buildings (ref. 9500428). Assumed not implemented.

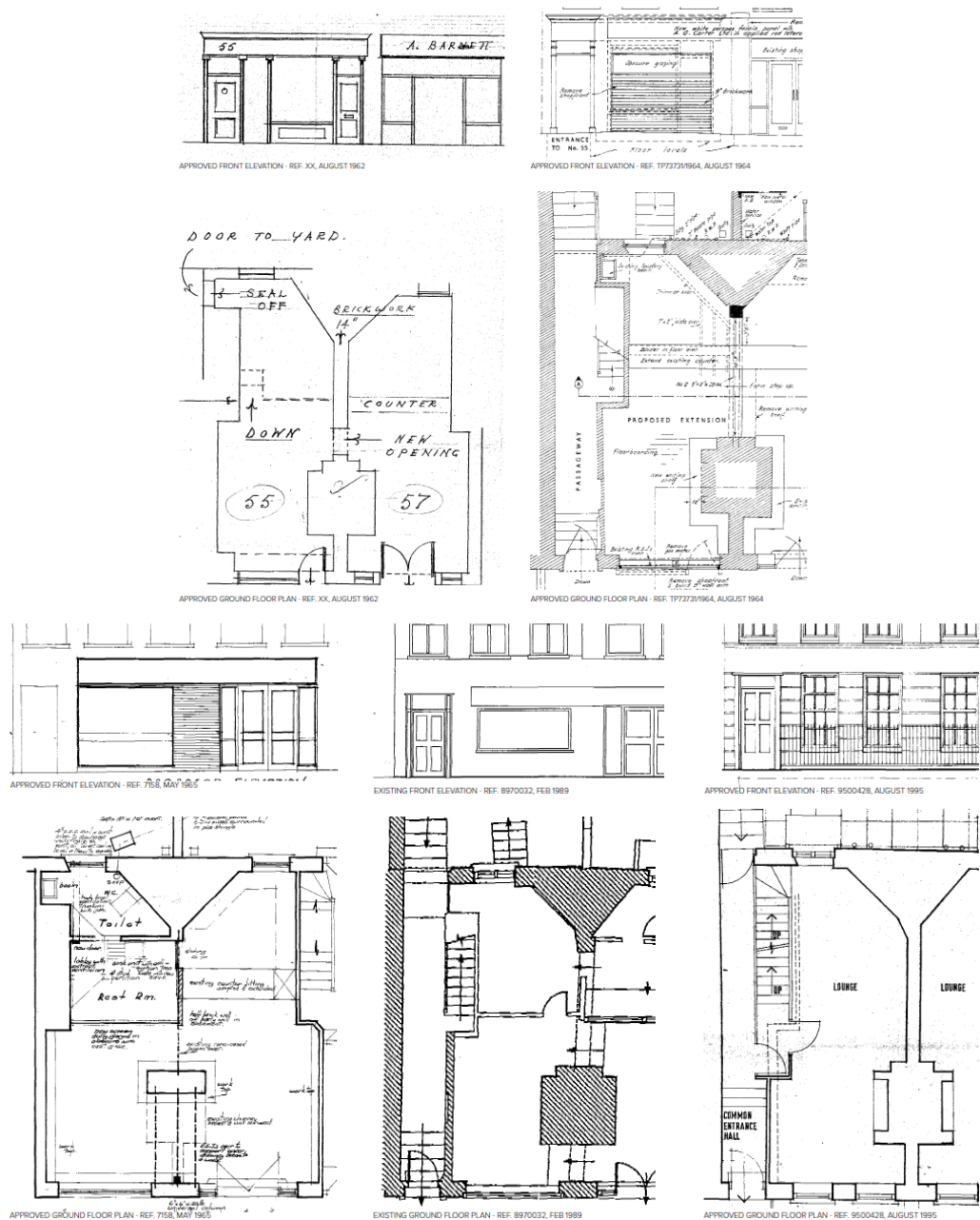


Figure 3.9: Approved planning drawings. Left to right: 1962 (ref. XX); 1964 (ref. TP73731/1964); 1965 (ref: 7158); 1989 (ref: 8970032); 1995 (ref: 9500428).

4. Assessment of Significance

Introduction

- 4.1 The NPPF defines the significance of a heritage asset as:

“The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.”⁹

- 4.2 Historic England has published general guidance regarding the preparation of statements of heritage significance, and how the proper analysis of the significance of heritage assets should be used to inform an assessment of impacts on that significance because of proposed change / applications.¹⁰
- 4.3 Historic England has also provided further guidance in the past for their staff (and others) on their approach to making decisions and offering guidance about all aspects of England’s historic environment.¹¹ This provides advice on how to assess the contribution of elements of a heritage asset, or within its setting, to its significance in terms of its “heritage values.” These include: evidential, historical, aesthetic and communal. This supplements the established definitions of heritage significance and special interest set out in founding legislation and more recent national planning policy and guidance / advice.

Listed Buildings

- 4.4 Listed buildings are designated heritage assets that have special architectural or historic interest that are, for the time being, included in a list compiled or approved by the Secretary of State under Section 1 of the Planning (Listed Buildings & Conservation Areas) Act 1990; for the purposes of that Act. The principles of selection for listed buildings are published by the Department of Culture, Media and Sport and supported by Historic England’s Listing Selection Guides for each building type.¹²

Conservation Areas

- 4.5 Conservation Areas are designated by virtue of their special architectural or historic interest, the character and appearance of which it is desirable to preserve or enhance. Guidance has been published in respect of conservation areas by Historic England, and this provides a framework for the appraisal and assessment of the special interest and significance of a conservation area.¹³

⁹ National Planning Policy Framework (NPPF) 2023 – Annex 2: Glossary

¹⁰ Historic England: Advice Note 12: Statements of Heritage Significance, 2019

¹¹ English Heritage (now Historic England) Conservation Principles: Policies and Guidance, 2008

¹² DCMS. Principles of Selection for Designating Buildings, 2018

¹³ Historic England, Advice Note 1, Conservation Area Designation, Appraisal and Management. 2019 (2nd Ed.)

Assessment

- 4.6 The following assessment of heritage significance is proportionate to the importance of both the listed building and the Hatton Garden Conservation Area; in terms of the contribution of the Site itself to that designated area. These statements of heritage significance are intended to provide a sufficient level of description to understand the likely impacts of potential future change through proposals, given their nature and extent. This assessment work is based on review of existing published information, archival research, and on-site visual survey.

Grade II Listed Building: Numbers 47-57 Mount Pleasant and Attached Railings

- 4.7 The Site at No. 55 Mount Pleasant (**Figures 4.1-4.2**) is included within a short terrace of six houses (Nos. 47-57 (odd)). The following section provides an assessment of the whole of the listed terrace with particular reference to the Site.

Architectural Interest

Exterior

- 4.8 Nos. 47-57 Mount Pleasant possesses architectural interest as a largely intact example of speculative residential housing, dating from the early 18th century (c.1720). The terrace has a consistent appearance, with slight variations representing phases of construction or the trademarks of a particular builder. This appearance was in part dictated by the London Building Acts of 1667, 1707 and 1709, which resulted in the regulation of street frontages across London. The composition of the terrace utilises architectural proportions and decorative detailing typical of the period, with each building three storeys in height and three window bays wide to the street. Treatment of the front elevations demonstrates high quality traditional craftsmanship, including the use of red bricks for detailing, segmental gauged brickwork over windows, the cornice to the parapet, and string courses, all exemplifying early 18th century architectural fashions and the design choices of the estate builder at the time of construction.
- 4.9 The use of a render on Nos. 51-53 is a later alteration, likely dating from the 19th century when the buildings were first combined to form a foundry and later workshops for O. Comitti and Son. Shopfronts to Nos. 47-49 are late-19th century in appearance, representing a later commercial phase of use at Mount Pleasant and the wider area, as described in **Section 3**. These later elements have some architectural interest as period features showcasing the changing commercial character of Mount Pleasant in the 19th century.
- 4.10 The frontage to No. 55 also underwent significant alterations in the late 20th century. Whilst the general composition mirrors that of No. 57, the render, ground floor façade and all windows, railings, and external servicing date from the 1990s. There is also a high degree of alteration to the rear elevation, partially rebuilt and containing a high proportion of non-historic brickwork and fabric (**Figure 4.2**). Although these renovative works lack architectural interest in themselves, they have been carried out symmetrically, restoring and complimenting a coherent architectural early-18th century design that remains legible, suitable to the property's original and current single residential use.



Figure 4.1: 55 Mount Pleasant, white rendered frontage in centre



Figure 4.2: 55 and 57 Mount Pleasant, high degree of alteration visible in brickwork to rear elevation



Figure 4.3: Mount Pleasant dated 1947 with arrow indicating location of no.55 (source: <https://www.british-history.ac.uk/>)

Interior

- 4.11 The current appearance of ground floors to Nos. 55 and 57 is associated with redevelopment in 1990, that brought the property at No. 55 back into a separate residential use. The multiple phases of late 20th century redevelopment at No. 55 are described in **Section 3** and illustrated at **Figure 3.9**. These late-20th century renovations were coordinated sensitively, though lack architectural interest in themselves. A 1995 photo of the first floor at No. 55 (**Figure 4.4**) shows the high degree of fabric loss at this date, with flooring and ceilings removed and exposed brickwork visible to the rear of the property, though with partial retention of some historic panelling.



Figure 4.4: No. 55. First Floor photo dated 1996 (EH, BB96/577)

- 4.12 Internally, a detailed analysis of the building's planning history and fabric shows that most 'period' features have undergone recent decorative treatments, albeit undertaken in a sensitive manner (**Figures 4.6-4.7**). There is evidence to suggest that historic panelling does survive in some areas of the property. The highest level of survival is located in those areas on the first and second floor where there was least disturbance associated with the commercial use of the property. Where preserved, the style and appearance of the historic timber panelling follows a simple pattern, typical of middle status residences of the early-18th century.



Figure 4.5: No. 55 Mount Pleasant. First floor bedroom (left), Stairwell from ground floor (right)



Figure 4.6: No. 55 Mount Pleasant. Ground floor reception room.

- 4.13 Historic circulation patterns and room arrangements survive, including in the layout of front and back rooms, with a hallway at the ground floor and a dog-leg staircase to the rear. These reflect traditional living patterns in this house from the early 18th century onwards. At the basement and ground floor, original partitions have been lost through

modern alterations, with noticeably less architectural interest internally. Fireplaces, which are centrally located in the front room and in the corner of the rear room, are in their original locations, though the surrounds and grates have been replaced and corresponding chimneys blocked.

Historic Interest

- 4.14 Nos. 47-57 Mount Pleasant has historic interest given its early 18th century origins, particularly in connection with the Baynes-Warner estate (detailed in **Section 3**), though also contributes to the wider history of speculative development in London. The terrace is rare as the only surviving example of residential development associated with the Bayswater Estate and part of the first phase of development on this street.
- 4.15 The properties along the listed terrace exemplify the evolving commercial character of this area, each having a variety of uses, as evidenced by shopfronts, workshops, and other subsequent additions, reflecting the socio-economic status of proprietors, inhabitants, and workers through the 19th and 20th centuries.

Group Value

- 4.16 The listed terrace possesses group value, set within a mixed historic townscape forming part of the Hatton Garden Conservation Area, and adjacent to the 19th century Apple Tree Public House (Grade II listed), north-east on the corner of Mount Pleasant and Warner Street. The terrace at Mount Pleasant was specifically laid out in the early 18th century to frame views along this newly established street as part of a formal townscape arrangement of interconnected squares and gardens. The principal street frontages of the terraced group (Nos. 47-57) conform to a regular design, stepped at each house following the rising height of the street, with early 18th century classical proportions and architectural details typical of the period. Group value principally derives from the architectural expression of public Classical façades and how they interact in the wider street scene.

Hatton Garden Conservation Area

- 4.17 The Hatton Garden Conservation Area falls within the Holborn district of central London, at the south-east corner of the London Borough of Camden, adjacent to the City of London to the south, and the London Borough of Islington to the east. Gray's Inn Gardens form a large open space outside its boundary to the west, whilst the large postal sorting office complex at Mount Pleasant is situated directly to the north. The following assessment draws substantially from the adopted Hatton Garden Conservation Area Appraisal and Management Strategy.¹⁴

Historical Development

- 4.18 During the 17th century expansion of London, built development within this area replaced a series of Medieval Manors on the periphery of London. The expansion was speculative, though with a formal grid pattern of streets and landscaped squares set out, of which the most significant was Hatton Garden. The first phase of buildings provided a mix of uses, with houses, churches (the former chapel of c.1670 at No. 43 Hatton Garden was part of this first development), as well as commercial premises. The largest houses were located on Hatton Garden, each having a garden and often a coach house and stables. This pattern of development on squares with landscaped gardens was based on West End models. Later expansion of the northern part of the conservation area was focussed on providing grander residential districts for wealthy families, developed by the lawyer, Walter Baynes, and banker, John Warner. However, outside of this estate, the area declined in status during the 18th century.
- 4.19 The Victorian era saw the conservation area evolve with commercial premises becoming widespread, particularly the jewellery trade, as well as clock and watchmaking, printing, medicine and brewing. In the late-19th century, the area was transformed via the introduction of new roads and slum clearances, with many new buildings constructed in place of older houses. The commercial character of the area is evident in an 1895 photograph of Hatton Garden (**Figure 4.7**).
- 4.20 The Edwardian period brought a level of prosperity and growth to the area. However, during the Second World War, bombing raids damaged many buildings which were subsequently renovated or replaced. Nonetheless, the jewellery industry continued to thrive and continues to define the commercial character of the conservation area today.

¹⁴ London Borough of Camden, Hatton Garden Conservation Area Appraisal and Management Strategy, 2017



Figure 4.7: Hatton Garden in 1895, looking north from Holborn Circus¹⁵

Character and Appearance

4.21 The adopted Hatton Garden Conservation Area Appraisal and Management Strategy¹⁶ states that:

“The Hatton Garden Conservation Area derives much of its character from its robustly detailed industrial, commercial and residential buildings of the late nineteenth to mid twentieth centuries. Also in evidence are a few Georgian terraces and a large number of unexceptional late twentieth-century buildings (see Age of Buildings map). All of these buildings occupy a historic and intricate network of streets that becomes gently hilly in places, adding another dimension to the character... The Area is remarkably varied and heterogeneous, but for the purposes of description it is divided into six sub-areas. Each of the sub-areas differs slightly in terms of characteristics such as density, street pattern and history.”

¹⁵ London Borough of Camden, Bloomsbury Conservation Area Appraisal and Management Strategy, 2011

¹⁶ Ibid.

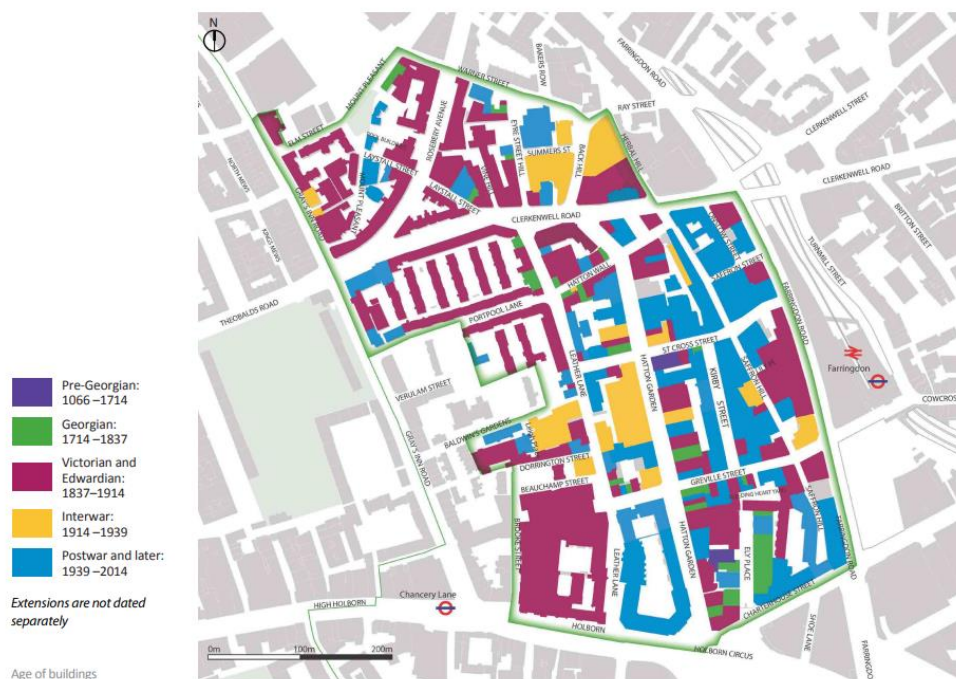


Figure 4.8: Age of Buildings Map¹⁷

- 4.22 As part of this analysis, the conservation area has been spilt into sub-areas (**Figure 4.9**). The Site on Mount Pleasant (**Figure 4.10**) is located within the Rosebery Avenue (Sub-Area 1) and this is described in further detail below for the purposes of this report. The appraisal describes Sub- Area 1 as:

“...a dense pattern of short, narrow, hilly streets, contained within a framework of three major thoroughfares: Gray’s Inn Road, Rosebery Avenue and Clerkenwell Road. The complex medieval street plan, cut through by these three nineteenth-century roads, creates surprising vistas and transitions in the townscape that are integral to the character. There are many curving or angular plot boundaries and there are also interesting changes in level. For example, it is possible to turn off the broad, tree-lined Rosebery Avenue, descend steep steps and find yourself in Vine Hill, a narrow lane with a strong sense of enclosure.”

¹⁷ London Borough of Camden, Bloomsbury Conservation Area Appraisal and Management Strategy, 2011



Figure 4.9: Character Area Map¹⁸

4.23 In addition, the appraisal summarises the architectural character of Sub-Area 1:

“...large and impressive late nineteenth-century housing blocks. These include austere ‘model dwellings’ in London stock brick (e.g. Cavendish Mansions, Clerkenwell Road; Positive) and more decorative mansion blocks in red brick with stucco ornaments (e.g. Churston, Dawlish, Dulverton and Tiverton Mansions on Gray’s Inn Road; Positive). There are also several large industrial buildings of similar or later date, including Panther House, grouped around a secluded courtyard off Mount Pleasant (Positive), and Herbal House (Positive), a monumentally treated former print works on Herbal Hill and Back Hill. As a result the overall architectural character is robust and strongly articulated though not highly decorative. The irregular street pattern has created many wedge-shaped sites that some of the best buildings turn to advantage, e.g. 144 Clerkenwell Road (Positive), which sweeps round dramatically into Back Hill. Red brick and London stock brick are the predominant materials.”

¹⁸ London Borough of Camden, Bloomsbury Conservation Area Appraisal and Management Strategy, 2011



Figure 4.10: View east on Mount Pleasant

Contribution of Site to Significance

- 4.24 The Site at No. 55 Mount Pleasant, forming part of the Grade II listed terrace at Nos. 47-57, makes an, overall, positive contribution towards the character and appearance of the conservation area, as an early-18th century townhouse with a preserved frontal composition addressing the street, showcasing restrained classical proportions and styling typical of the period. The Site is rare as part of an isolated section of preserved original townscape in this area, dating from the time that Mount Pleasant and neighbouring roads were laid out. It represents the earliest phase of architecture in the conservation area when high-status townhouses were set out as part of an estate with interconnected formal squares and gardens. No. 55's contribution towards the conservation area is principally invested in its front façade, as positioned within a wider terrace, and street views.
- 4.25 The late-20th century white render covering historic brickwork, doors, windows and railings painted blue, as well as unattractive modern plastic services, to the front and rear of the property, detract from the building's historic character and lessen its contribution within the conservation area.

5. Heritage Impact Assessment

Introduction

- 5.1 The Grade II listed Nos. 47-57 Mount Pleasant, which would be affected by the application proposals, has been identified and its significance described proportionately as part of this report in **Sections 2-4**; in accordance with the requirements of the NPPF.
- 5.2 The relevant heritage legislation, policy and guidance is also set out in full in **Appendix 3**. This includes the statutory duties of the Planning (Listed Buildings and Conservation Areas) Act 1990, national policy set out in the NPPF 2023 and supported by the NPPG, and relevant local policy and guidance for development within the historic environment.
- 5.3 Together, these sections and appendices provide the appropriate and proportionate context for the proper consideration of this final application scheme by the local planning authority.

Pre-Application Engagement

- 5.4 This application submission has also been informed by a stage of pre-application engagement with the local planning authority.¹⁹ This pre-application submission was informed from an involved process of design development. The written pre-application advice is summarised below, in relation to heritage impacts:

“Basement level

- 1. The replacement of the existing stair enclosure is acceptable – however the glazed screen should be omitted.*
- 2. The jib doors within the stair enclosure are acceptable.*
- 3. The heritage style radiators are acceptable. Any historic floor or wall coverings should be retained. Historic floors can be covered as long as there is a protective layer between the historic floor and the new floors. Any historic joinery should be unaltered in order to accommodate the new floor e.g skirting boards, doors.*
- 4. The brickwork in the vaults can be cleaned using a water system. Tanking is not supported however a membrane drainage system can be used to control water ingress. A light can be installed.*
- 5. A ventilation grille to the door of the vault can be installed.*
- 6. A metal gate can be installed.*
- 7. The removal of the existing cupboard and consumer unit is supported.*

¹⁹ London Borough of Camden, 55 Mount Pleasant WCX1

8. Modern kitchen units can be removed.

Ground floor

1. The installation of a free standing kitchen is supported.

2. The location of the servicing in between the joists which run front to back is supported.

3. The heritage style radiators are acceptable. Any historic floor or wall coverings should be retained. Historic floors can be covered as long as there is a protective layer between the historic floor and the new floors. Any historic joinery should be unaltered in order to accommodate the new floor e.g skirting boards, doors.

First floor

1. The replacement of sanitary ware and wall tiling is acceptable. Tiling should not be fixed directly to historic surfaces (panelling/lath and plaster walls). Servicing should use existing routes.

2. New cupboards and shelves are acceptable.

3. The heritage style radiators are acceptable. Any historic floor or wall coverings should be retained. Historic floors can be covered as long as there is a protective layer between the historic floor and the new floors. Any historic joinery should be unaltered in order to accommodate the new floor e.g skirting boards, doors.

Second floor

1. The replacement of sanitary ware and wall tiling is acceptable. Tiling should not be fixed directly to historic surfaces (panelling/lath and plaster walls). Servicing should use existing routes.

2. New cupboards and shelves are acceptable.

3. The heritage style radiators are acceptable. Any historic floor or wall coverings should be retained. Historic floors can be covered as long as there is a protective layer between the historic floor and the new floors. Any historic joinery should be unaltered in order to accommodate the new floor e.g skirting boards, doors.

4. The infill of the lift hatch is supported.

5. Alterations to the loft are acceptable.

Front and rear elevations

1. Redecoration of windows and railings is supported. Paint colours should respond to the historic context.

2. The removal of the vent supported.

3. The installation of secondary glazing is acceptable as long as historic joinery, window frames/shutters are not compromised. Glazing should appropriately respond to the existing glazing pattern.

4. The replacement of plastic grills with metal grills is welcome.

5. New cast iron ventilation grill acceptable within the context of the decluttering of the rear elevation.

6. Tidying of boiler flue termination welcome.

7. Reorganisation of the down pipes welcome.

8. Painting of shared rainwater pipe acceptable.

9. Cleaning of the window sills is welcome.

Overall the proposals are relatively sensitive and will not harm the special interest of the listed building.”

5.5 The scheme now presented at application stage has been informed by this pre-application feedback, which indicates that, overall, proposals are acceptable. In line with this feedback, the proposals taken forward at application stage omit the glazed screen from the existing stair enclosure at basement level.

5.6 Further details of elements of the scheme, requested at pre-application stage, have been provided where relevant.

Application Scheme

5.7 The application proposals (**Figure 5.1-5.4**) are focused on the internal refurbishment and upgrade of elements, including the kitchen and bathrooms, and secondary glazing, alongside improvements to No. 55's exterior. The alterations are sensitively designed, avoiding impact to historic elements of the property. The application scheme is fully described in the drawings package and Design and Access Statement, prepared by Archer and Braun Architecture, which should be read in conjunction with this report.

Review of Heritage Impacts

Context

5.8 No. 55 Mount Pleasant has undergone a high level of alteration, both internally and externally (as described in **Sections 3-4**), which is documented in planning records for the building and reflected in the current state of fabric as visible today. Although referencing historical styles or otherwise sympathetically designed, many decorative features date from or were adapted following a 1990s phase of refurbishment, undertaken when Nos. 55-57 were converted from joint commercial use and No. 55 restored as a single residence.

5.9 The key driver for the scheme for the Site property remains our Client's requirement to improve the attractiveness, comfort and functionality of this single-family dwelling,

through sensitive works, which also celebrate and safeguard the heritage interest of the listed building. This objective remains fundamental to the design brief for this project and the appointed team. Importantly, each of the proposed internal and external adaptations to the existing building flow from this key objective.

- 5.10 Domestic use is the purpose for which this property was originally designed and built, and also contributes fundamentally to the character of the wider conservation area. No change to this existing use is proposed, and the scheme has been designed to maintain and improve the quality and functionality of this use in the interests of its future conservation. This underlying aspect of the scheme would sustain, and also to a degree enhance, the significance of the listed building and also its contribution to the wider terraced group and surrounding conservation area.
- 5.11 The application proposals have been conceived to enhance the existing residential use of the property at No. 55, with careful consideration taken to sustain the heritage significance of the listed building in targeting works to parts of the building that have been altered extensively in the last 20-30 years, and so avoiding historic fabric. Where heritage interest has been identified, such as in surviving historic features and the building's residential planform and circulation routes, these aspects have been retained.

Interior:

Basement Level

- 5.12 The staircase enclosure to the basement is not original and located, as previously stated, within a substantially altered area of the building. The proposals to replace existing modern doors would not change the layout or circulation of this area, though would improve the overall design quality and finish, preserving any heritage interest evident. Proposals to remove kitchen fittings at this level will not affect any historic fabric. Sanitaryware to the existing basement level WC will be replaced like-for-like and radiators replaced with heritage style models, more suitable to the historic character of the property.
- 5.13 In the vaults beside the basement level lightwell, the works proposed will improve the functionality of the space within this storage area. These works, including minor repairs, are within a secondary area of the building. The works will not negatively impact any historic fabric or features.

2.2 PROPOSED BASEMENT FLOOR PLAN

- 1 Replace existing non-original doors with new doors (one door to be locked shut as indicated on the plan).
- 2 New 'jib' doors within stair enclosure to provide access to existing utility cupboard and storage under stairs behind.
- 3 New heritage style radiators and new floor coverings throughout. New decoration throughout. We note that there are no historic floor or wall coverings, or joinery present at basement level.
- 4 Clean brickwork using water system. Add cavity drain membrane to floor and walls control water ingress. Install door and internal light to make vault usable for storage.
- 5 Ventilation grille to be added to existing door to vault.
- 6 New metal gate, painted to match front railings.
- 7 Existing cupboard and consumer unit removed.
- 8 Existing kitchen units removed.

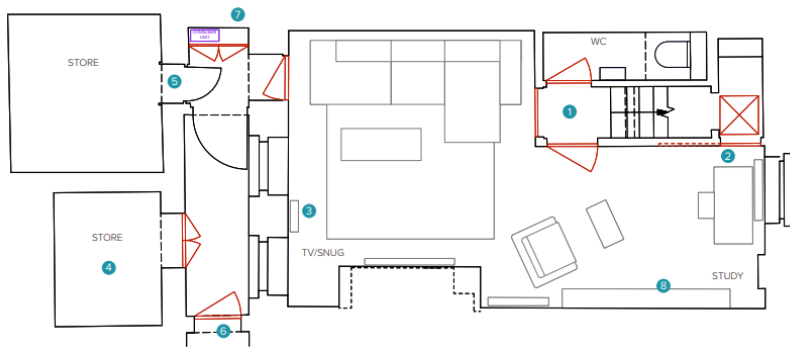
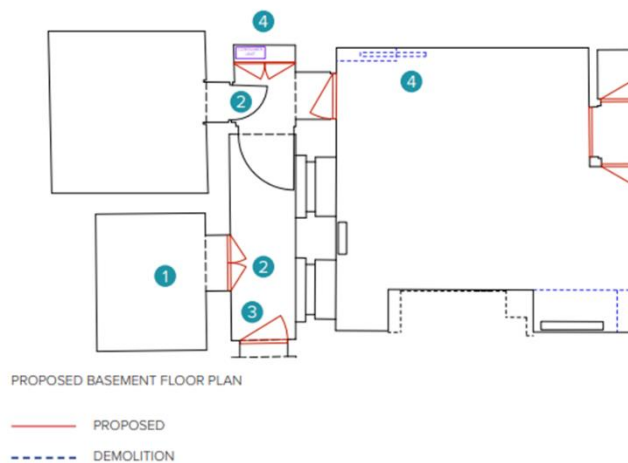


Figure 5.1: Proposed Basement Floor Plan (Archer and Braun Architecture)



- 1 Proposed waterproofing work to vault:
 - Clean brickwork to walls and ceiling areas using a water system.
 - Repoint mortar courses.
 - Replace any missing bricks as necessary.
 - Install cavity drainage system to floor and walls to control water ingress.
- 2 New door including grill for ventilation of vault behind
- 3 New metal gate, painted to match front railings
- 4 New cupboard for consumer unit (existing cupboard removed.)
- 5 Allow to refurbish and/or replace the existing gas meter/incoming supply cupboards
- 6 Clean existing sills and make good any damage
- 7 Tidy up loose cabling and pipework to improve appearance

Figure 5.2: Proposed Basement Front Lightwell (Archer and Braun Architecture)

Ground Floor

5.14 The installation of the kitchen at ground floor will be undertaken in an area of the building that has seen the highest level of alteration in recent years. Planning records (described in **section 3** and illustrated at **Figure 3.9**) show that the ground floor at No. 55 Mount Pleasant was previously combined with No. 57, forming a commercial betting shop from the 1960s till the 1990s. The existing partition wall between the properties and decorative scheme are associated with modern refurbishment following this period. Accordingly, this area is of a relatively low sensitivity to further change. The free-standing kitchen units proposed would have no direct interaction with historic fabric on the ground floor and sit at a low height, minimising any visual intrusion to this space, appropriate to the character of the listed building's interior.

2.2 PROPOSED GROUND FLOOR PLAN

- 1 Install new free-standing 'furniture' type kitchen units to rear of reception room.
- 2 New sink/dishwasher waste (shown dashed in purple) and downdraft extract (shown dashed in blue) to run between floor joists (floor joists run front to back) and terminate on rear elevation (see elevation drawings for details).
- 3 New heritage style radiators and new floor coverings throughout. We note that we do not believe there to be any existing historic floors present, but should a historic floor be discovered, then this is proposed to be covered by new flooring with a protective layer between the historic floor and the new floors. Historic joinery (eg. skirting boards, doors) to be unaltered in order to accommodate the new floor & kitchen. All historic wall coverings (panelling) to be retained. New decoration throughout.

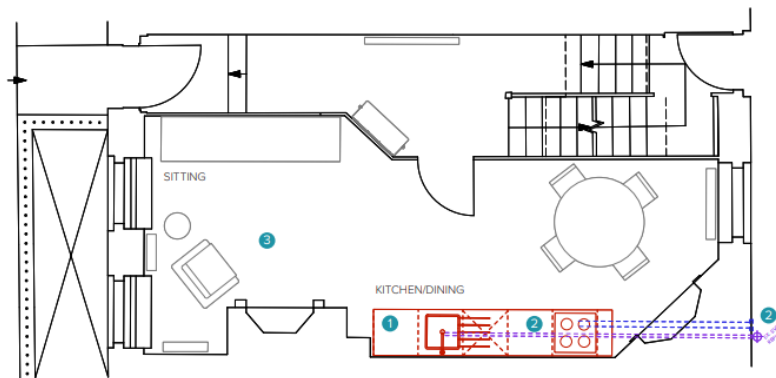


Figure 5.3: Proposed Ground Floor Plan (Archer and Braun Architecture)

First and Second Floors

5.15 Proposals to the existing modern bathrooms at the first and second floors include redecoration and like-for-like replacement of fittings, bathroom tiling and sanitaryware. The proposed cupboard doors and shelving would only affect modern enclosures and fabric dating from 1990s renovations. Heritage style radiators proposed are suitable to the historic character of this space. All historic fabric at these levels, including joinery and panelling, will remain unaltered.

2.3 PROPOSED FIRST FLOOR PLAN

- 1 Replace existing sanitaryware and wall tiling with new sanitaryware as indicated. Joists assumed to run front to back, some alterations to drainage as indicated on the plan below, including reorganisation of downpipes (see proposed elevations.)
- 2 Replace existing wall tiling with new tiled finishes. Although we do not believe the panelling to be original, we are proposing to line the walls to allow for tiling to the shower enclosure.
- 3 New cupboard doors and shelves for storage.
- 4 New heritage style radiators and new floor coverings throughout. We note that we do not believe there to be any existing historic floors present, but should a historic floor be discovered, then this is proposed to be covered by new flooring with a protective layer between the historic floor and the new floors. Historic joinery (eg. skirting boards, doors) to be unaltered in order to accommodate the new floor. All historic wall coverings (panelling) to be retained. New decoration throughout.

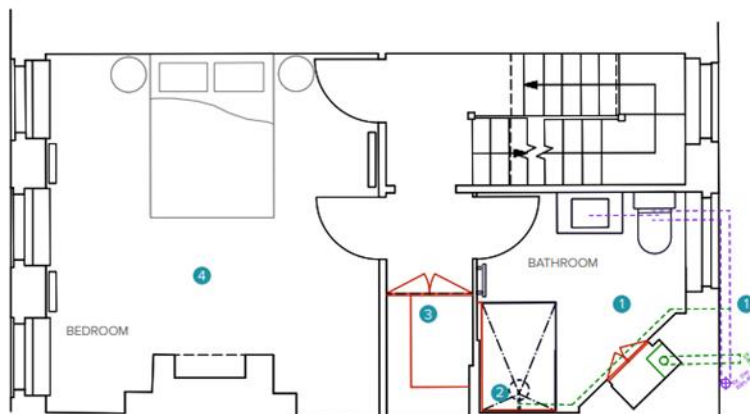


Figure 5.4: Proposed First Floor Plan (Archer and Braun Architecture)

2.4 PROPOSED SECOND FLOOR PLAN

- 1 Replace existing sanitaryware and wall tiling with new sanitaryware as indicated. Joists assumed to run front to back, some alterations to drainage as indicated on the plan below, including reorganisation of downpipes (see proposed elevations.)
- 2 Replace existing wall tiling with new tiled finishes. Although we do not believe the panelling to be original, we are proposing to line the walls to allow for tiling to the shower enclosure.
- 3 New cupboard doors and shelves for storage.
- 4 New heritage style radiators and new floor coverings throughout. We note that we do not believe there to be any existing historic floors present, but should a historic floor be discovered, then this is proposed to be covered by new flooring with a protective layer between the historic floor and the new floors. Historic joinery (eg. skirting boards, doors) to be unaltered in order to accommodate the new floor. All historic wall coverings (panelling) to be retained. New decoration throughout.
- 5 Remove and infill existing loft hatch overhead.
- 6 To loft: Allow to board over floor joists to create storage area. Allow also to insulate loft and for new loft access ladder to existing loft hatch



Figure 5.5: Proposed Second Floor Plan (Archer and Braun Architecture)

Secondary Glazing

5.16 Application proposals for secondary glazing would affect modern window replacements only, operating a traditional vertical sliding sash system, suitable to the historic appearance of the listed building, with a slim, lightweight, and removable design.

General Works

5.17 New floor coverings will be placed at all levels throughout over modern floors, but should a historic floor be discovered, an intermediary protective layer will be inserted, with any historic joinery unaltered. Existing servicing will be replaced reusing the existing routes within the building and redundant cabling removed where possible. The loft will be reinsulated and made accessible via an existing hatch, improving thermal efficiency and the functionality of this space.

Exterior:

Front and Rear Elevations

5.18 Externally, the decorative works to windows and railings will only affect modern fabric dating from the property's 1990s refurbishment. The existing navy-blue windows and railings do not follow the historic character of 18th century townhouses or the Hatton Garden Conservation Area. Redecoration with a specified 'heritage colour' would benefit both the external appearance of the listed terrace and its contribution to the conservation area.

5.19 In addition, the decluttering of services and removal of modern plastic vents and pipes with replacement metal services of a higher visual quality, would result in an enhancement to the appearance of the listed building's exterior and its contribution within the conservation area more widely.



Figure 5.6: Proposed Elevation Plans (Archer and Braun Architecture)

Review of Heritage Legislation, Policy and Guidance

The Planning (Listed Buildings and Conservation Areas) Act 1990

- 5.20 It is demonstrated within this report that the application proposals will, in overall terms, accord with the requirements of the relevant statutory duties of the Act. The application proposals would preserve the special interest of the listed building at Nos. 47-57 Mount Pleasant, as well as the character and appearance of the Hatton Garden Conservation Area.

NPPF 2023

- 5.21 In accordance with the requirements of paragraph 194-195 of the NPPF, the significance of the heritage assets, proportionate to the asset's importance and sufficient to understand the potential impact of the application proposals on that significance, has been outlined in **Sections 2-4**.
- 5.22 It is also demonstrated in this part of the report that the application proposals are well-considered and in accordance with paragraph 197 of the NPPF. This paragraph encourages local planning authorities to take account of the desirability of sustaining and enhancing the significance of all heritage assets, including listed buildings and conservation areas, and putting them to viable uses consistent with their conservation; the positive contribution that the conservation of heritage assets can make to sustainable communities including their economic vitality; and, the desirability of new development making a positive contribution to local character and distinctiveness, i.e. as a high-quality dwelling. The proposed scheme brings value in maintaining the viability of a listed townhouse, improving its internal and external appearance, as well as functionality in its original single residential use.
- 5.23 Paragraph 199 requires that great weight should be given to the conservation of designated heritage assets, such as listed buildings and conservation areas. Importantly, Annex 2 of the NPPF defines 'conservation' as the process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance. It is not a process that should prevent change, where proposals, such as this application scheme, have been well-informed by both the applicant and the local planning authority through previous pre-application and application stages. It is our assessment that the final application scheme would, in overall terms, sustain the significance of the listed building and conservation area, and would also deliver heritage benefits in conjunction.
- 5.24 The heritage benefits allied to the proposals are described in the commentary above and summarised below for ease of reference:
- Improvements to the quality and functionality of No. 55 Mount Pleasant's single residential use, consistent with its future conservation
 - External redecoration of windows and railings with a specified 'heritage colour'
 - Decluttering of services, removal of modern plastic vents and pipes, and replacement in metal

- 5.25 Paragraph 200 sets out that any harm to, or loss, of significance of a designated heritage asset would require clear and convincing justification. Importantly, this report finds that, overall, the significance of both the listed building and conservation area will not be harmed by these proposals. Therefore, the tests set out in paragraphs 201 and 202 of the NPPF should not apply.
- 5.26 The proposals are also in accordance with paragraph 206, which encourages local planning authorities to look for opportunities for new development within conservation areas, to enhance or better reveal their significance. These opportunities are summarised in the list of heritage benefits that could be delivered by the proposals, as above.

London Plan 2021

- 5.27 This report appropriately identifies the designated heritage assets that may be affected by these proposals and describes how they will be valued and conserved. This is in accordance with Policy HC1 of the London Plan 2021.

Camden Local Plan 2017

- 5.28 The application proposals would preserve and enhance Camden's heritage assets, aligning with Policy D2 (Heritage) of the Camden Local Plan 2017.

6. Summary and Conclusions

- 6.1 This Heritage Statement has been prepared by Turley Heritage on behalf of the Applicant to provide relevant and proportionate information to the local planning authority with regard to heritage impacts, in support of a listed building consent application, focused on the internal refurbishment and upgrades, including a kitchen and bathrooms, and secondary glazing, alongside exterior improvements to No. 55 Mount Pleasant.
- 6.2 The requirement for this report stems from Section 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, which places duties upon the local planning authority in determining applications to have special regard to the desirability of preserving the special interest of listed buildings and the character or appearance of conservation areas.
- 6.3 To comply with the national planning policy, Nos. 47-57 Mount Pleasant (grade II listed) and the Hatton Garden Conservation Area, which would be affected by these proposals, have been identified and their significance described proportionately as part of this report (**Sections 2-4**).
- 6.4 **Section 5** provides a review of the application proposals and their impact on the significance of the identified designated heritage assets. This section also sets out how the final application proposals have been informed by a process of pre-application engagement with the local planning authority.²⁰ This section demonstrates that, in overall terms, the application proposals will sustain and also to some extent enhance the significance of the listed building and conservation area. Heritage benefits allied to the proposals include:
- Improvements to the quality and functionality of No. 55 Mount Pleasant's single residential use, consistent with its future conservation
 - External redecoration of windows and railings with a specified 'heritage colour'
 - Decluttering of services, removal of modern plastic vents and pipes, and replacement in metal
- 6.5 In conclusion, the application proposals would be in accordance with the principles of the relevant statutory duties of the Planning (Listed Buildings and Conservation Areas) Act 1990; national policy set out in the NPPF 2023 (paragraphs 194, 195, 197, 199, and 206) and supported by NPPG; and local policy and guidance, including the London Plan 2021 (Policy HC1) and Policy D2 (Heritage) of the Camden Local Plan 2017.

²⁰ London Borough of Camden, 55 Mount Pleasant WCX1

Appendix 1: National List Entry: Numbers 47-57 and attached railings

Heritage Category: Listed Building

Grade: II

List Entry Number: 1113150

Date first listed: 14-May-1974

List Entry Name: NUMBERS 47-57 AND ATTACHED RAILINGS

Statutory Address 1: NUMBERS 47-57 AND ATTACHED RAILINGS, 47-57, MOUNT PLEASANT

Location

Statutory Address: NUMBERS 47-57 AND ATTACHED RAILINGS, 47-57, MOUNT PLEASANT

The building or site itself may lie within the boundary of more than one authority.

County: Greater London Authority

District: Camden (London Borough)

Parish: Non Civil Parish

National Grid Reference: TQ 31058 82185

Details

CAMDEN

TQ3182SW MOUNT PLEASANT 798-1/97/1163 (East side) 14/05/74 Nos.47-57 (Odd) and attached railings

GV II

Terrace of 6 houses. c1720, Nos 55 & 57 believed to be rebuilt later C19 in facsimile. No.47: brown brick with stucco 2nd floor band and parapet. Brick cornice below the parapet. Tiled roof with dormer. 3 storeys, attic and cellar. 3 windows. Later C19 shopfront with C20 door and fascia flanked by consoles. Gauged red brick segmental arches and dressings to flush frame sashes with exposed boxing. INTERIOR: not inspected but noted to retain stairs with turned balusters and column newels. No.49: brown brick with brick 2nd floor band and cornice below the parapet. Tiled mansard roof with dormers. 3 storeys, attic and cellar. 3 windows. C20 reproduction wooden shopfront with round-arched lights and panelled stallboard. Later C19 consoles flanking fascia. Gauged red brick segmental arches and dressings to flush frame sashes with exposed boxing having hinged sash supports. INTERIOR: not inspected but noted to be panelled. Nos 51 & 53: stuccoed fronts with rusticated ground floors and quoins. C20 tiled mansard roofs with dormers. 3 storeys, attics and basements. 3 windows each. Ground floors with C20 sashes and panelled doors. Upper floors with segmental-arched, architraved, recessed sashes with exposed boxing; 1st floor of No.51 and 1st & 2nd floors, No.53 with gated sashes. Parapets. INTERIORS: not inspected. Nos 55 & 57: red brick, No.55 painted. Tiled double pitched roofs. Brick cornices below parapets. C20 ground floor terrazzo betting

shopfrontage but No.55 retaining wooden doorcase with pilasters and brackets carrying flat hood. Gauged brick segmental arches to recessed sashes with exposed boxing. At 1st floor level, centrally positioned tablet with moulded brick cornice inscribed "Dorrington Street 1720" not in situ. SUBSIDIARY FEATURES: attached cast-iron railings with urn finials to areas of Nos 51 & 53.

Listing NGR: TQ3106082184

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number:

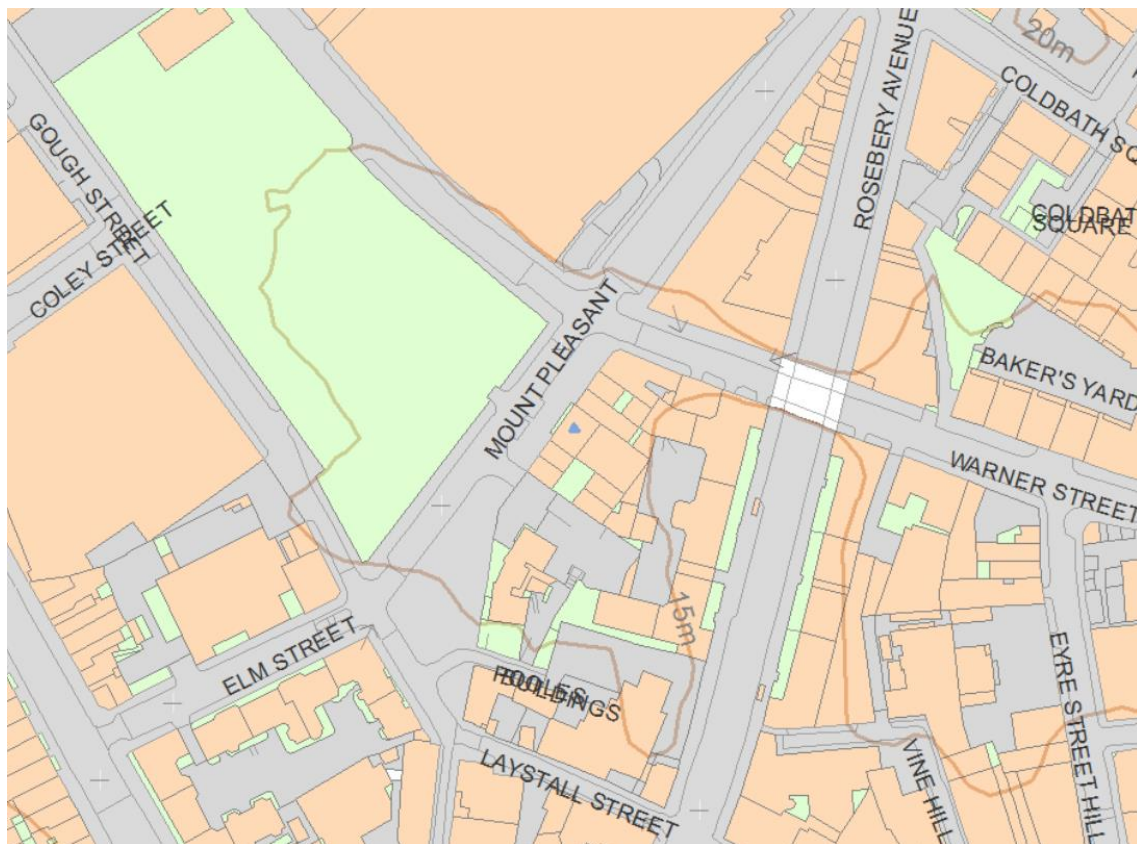
477551

Legacy System:

LBS

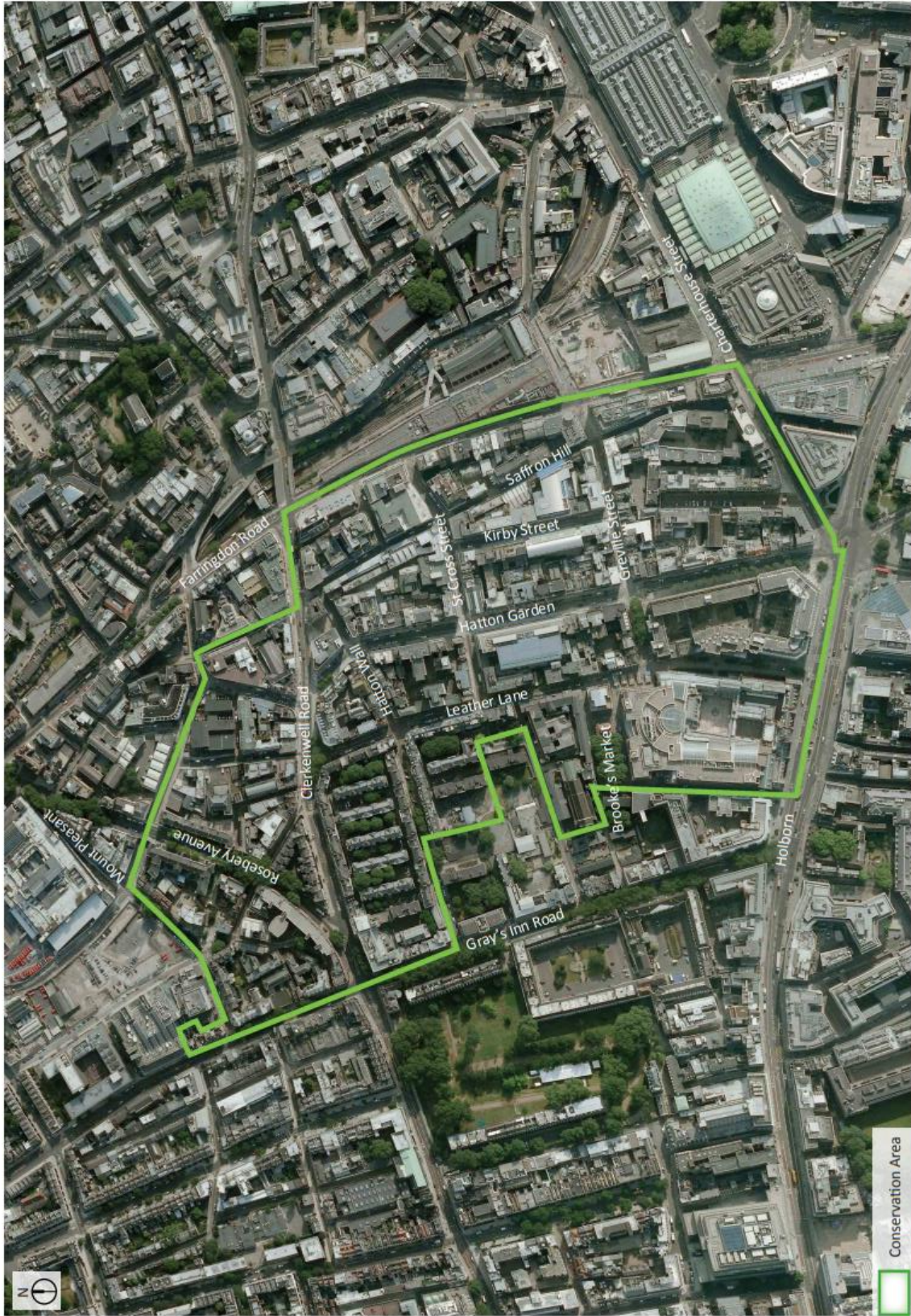
Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.



End of official list entry

Appendix 2: Hatton Garden Conservation Area Map



Appendix 3: Heritage Legislation, Planning Policy and Guidance

Legislation

The Planning (Listed Buildings and Conservation Areas) Act 1990

The Planning (Listed Buildings and Conservation Areas) Act 1990 provides that listed building consent is required for;

“(s.7) ... any works for the demolition of a listed building or for its alteration or extension in any manner which would affect its character as a building of special architectural or historic interest ...”

In determining such applications, the following duty is placed upon the decision maker:

“s.16(2) In considering whether to grant listed building consent for any works the local planning authority, or as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.”

In determining applications for planning permission affecting statutory listed buildings, the following duty is placed on the decision maker:

“s.66 (1) In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.”

It is also a statutory duty for the decision maker when determining applications for planning permission within conservation areas that:

“(s.72) In the exercise, with respect to any buildings or other land in a conservation area, of any powers under any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character of appearance of that area.”

It has been confirmed²¹ that Parliament’s intention in enacting section 66(1) of the 1990 Act, with regard to listed buildings in this case, was that decision-makers should give ‘considerable importance and weight’ to the desirability of preserving the setting of listed buildings, where ‘preserve’ means to ‘to do no harm’ This duty must be borne in mind when considering any harm that may accrue and the balancing of such harm against public benefits as required by national planning policy. Case law has confirmed that this weight can also be applied to the statutory tests in respect of conservation areas²². The Secretary of State has confirmed²³ that ‘considerable importance and weight’ is not synonymous with ‘overriding importance and weight’.

Importantly, the meaning of preservation in this context, as informed by case law, is taken to be the avoidance of harm.

²¹ Barnwell Manor Wind Energy Limited and (1) East Northamptonshire District Council (2) English Heritage (3) National Trust (4) The Secretary of State for Communities and Local Governments, Case No: C1/2013/0843, 18th February 2014

²² The Forge Field Society v Sevenoaks District Council [2014] EWHC 1895 (Admin); North Norfolk District Council v Secretary of State for Communities and Local Government [2014] EWHC 279 (Admin)

²³ APP/H1705/A/13/2205929

National Policy

National Planning Policy Framework 2023

The National Planning Policy Framework (NPPF) was introduced in March 2012 as the full statement of Government planning policies covering all aspects of the planning process. The revised National Planning Policy Framework was published in July 2018, and updated in June 2019, July 2021, and September 2023 and replaced the previous version.

Chapter 16 of the NPPF outlines the Government's guidance regarding conserving and enhancing the historic environment in more detail.

The glossary of the Framework (Annex 2) defines conservation as the process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance.

Paragraph 194 requires the significance of the heritage assets, which may be affected by the proposals to be described as part of any submission, ideally as part of a Heritage Statement report. The level of detail should be proportionate to the importance of the assets and sufficient to understand the potential impact of the proposals on their significance.

Paragraph 195 sets out that local planning authorities should also identify and assess the particular significance of heritage assets that may be affected by proposals. They should take this assessment into account when considering the impact of proposals in order to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal.

Paragraph 197 states that local planning authorities should take account of the desirability of sustaining and enhancing the significance of all heritage assets and putting them into viable uses consistent with their conservation; the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 199 confirms that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation and the more important the asset, the greater the weight should be. It is also confirmed that significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. Any harm to, or loss, of significance of a designated heritage asset should require clear and convincing justification.

Paragraph 200 specifies that any harm to, or loss of, significance of a designated heritage asset (from its alteration or destruction, or from development within its setting) should require clear and convincing justification.

Paragraph 201 outlines that local planning authorities should refuse consent where a proposal will lead to substantial harm or total loss of significance, unless it can be demonstrated that this is necessary to deliver substantial public benefits that outweigh such harm or loss, or a number of other tests can be satisfied.

Paragraph 202 concerns proposals which will lead to less than substantial harm to the significance of a designated heritage asset. Here harm should be weighed against the public benefits, including securing the optimum viable use.

Paragraph 203 states that the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighting applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

Paragraph 206 states that proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance), should be treated favourably. It outlines that local planning authorities should also look for opportunities for new development within conservations areas and the setting of heritage assets to enhance or better reveal their significance.

Local Policy

The London Plan, 2021

Policy HC1 Heritage conservation and growth

“A. Boroughs should, in consultation with Historic England, local communities and other statutory and relevant organisations, develop evidence that demonstrates a clear understanding of London’s historic environment. This evidence should be used for identifying, understanding, conserving, and enhancing the historic environment and heritage assets, and improving access to, and interpretation of, the heritage assets, landscapes and archaeology within their area.

B. Development Plans and strategies should demonstrate a clear understanding of the historic environment and the heritage values of sites or areas and their relationship with their surroundings. This knowledge should be used to inform the effective integration of London’s heritage in regenerative change by:

1) Setting out a clear vision that recognises and embeds the role of heritage in place-making

2) Utilising the heritage significance of a site or area in the planning and design process

3) Integrating the conservation and enhancement of heritage assets and their settings with innovative and creative contextual architectural responses that contribute to their significance and sense of place

4) Delivering positive benefits that conserve and enhance the historic environment, as well as contributing to the economic viability, accessibility and environmental quality of a place, and to social wellbeing.

C. Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets’ significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed.

Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.

D. Development proposals should identify assets of archaeological significance and use this information to avoid harm or minimise it through design and appropriate mitigation. Where applicable, development should make provision for the protection of significant archaeological assets and landscapes. The protection of undesignated heritage assets of archaeological interest equivalent to a scheduled monument should be given equivalent weight to designated heritage assets.

E. Where heritage assets have been identified as being At Risk, boroughs should identify specific opportunities for them to contribute to regeneration and place-making, and they should set out strategies for their repair and reuse.”

Camden Local Plan, 2017

The Camden Local Plan sets out the Council’s planning policies and replaces the Core Strategy and Development Policies planning documents (adopted in 2010).

The Draft Local Plan was released in 2015. Following this, public hearings were held in October 2016 and further modifications were consulted on in early 2017. Following the Inspector’s report the Local Plan was adopted in July 2017, incorporating the Inspector’s recommended modifications.

The Local Plan ensures that Camden continues to have robust, effective and up to-date planning policies that respond to changing circumstances and the borough’s unique characteristics and contribute to delivering the Camden Plan and other local priorities. The Local Plan will cover the period from 2016-2031.

Policy D2 (Heritage):

“The Council will preserve and, where appropriate, enhance Camden’s rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.

Designated heritage assets

Designated heritage assets include conservation areas and listed buildings. The Council will not permit the loss of or substantial harm to a designated heritage asset, including conservation areas and Listed Buildings, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a. the nature of the heritage asset prevents all reasonable uses of the site;*
- b. no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation;*
- c. conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and*

d. the harm or loss is outweighed by the benefit of bringing the site back into use.

The Council will not permit development that results in harm that is less than substantial to the significance of a designated heritage asset unless the public benefits of the proposal convincingly outweigh that harm.

Conservation Areas

Conservation areas are designated heritage assets and this section should be read in conjunction with the section above headed 'designated heritage assets'. In order to maintain the character of Camden's conservation areas, the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas.

The Council will:

e. require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area;

f. resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area;

g. resist development outside of a conservation area that causes harm to the character of appearance of that conservation area; and

h. preserves trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden's architectural heritage..."

Listed Buildings

Listed buildings are designated heritage assets and this section should be read in conjunction with the section above headed 'designated heritage assets'. To preserve or enhance the borough's listed buildings, the Council will:

i. resist the total or substantial demolition of a listed building;

j. resist proposals for a change of use or alterations and extensions to a listed building where this would cause harm to the special architectural and historic interest of the building; and

k. resist development that would cause harm to significance of a listed building through an effect on its setting."

National Guidance

National Planning Practice Guidance (PPG) (2021)

Whilst not planning policy Planning Practice Guidance provides a clear indication of the Government's approach to the application of national policy contained in the NPPF. Where there is conflict between the guidance in the PPG and earlier documents the PPG will take precedence.

Historic England, Historic Environment Good Practice Advice in Planning Note 2: Managing Significance in Decision-Taking in the Historic Environment 2015

This document provides advice on the implementation of historic environment policy in the Framework and the related guidance given in the PPG. For the purposes of this report, the advice includes: assessing the significance of heritage assets; using appropriate expertise; and also historic environment records.

It provides a suggested staged approach to decision-making where there may be a potential impact on the historic environment:

- “1. Understand the significance of the affected assets;*
- 2. Understand the impact of the proposal on that significance;*
- 3. Avoid, minimise and mitigate impact in a way that meets the objectives of the Framework;*
- 4. Look for opportunities to better reveal or enhance significance;*
- 5. Justify any harmful impacts in terms of the sustainable development objective of conserving significance and the need for change;*
- 6. Offset negative impacts on aspects of significance by enhancing others through recording, disseminating and archiving archaeological and historical interest of the important elements of the heritage assets affected.”*

With particular regard to design and local distinctiveness, advice sets out that both the with regard to design and local distinctiveness, advice sets out that both the NPPF (section 7) and NPPG (section ID26) contain detail on why good design is important and how it can be achieved. In terms of the historic environment, some or all of the following factors may influence what will make the scale, height, massing, alignment, materials and proposed use of new development successful in its context:

- (a) The history of the place*
- (b) The relationship of the proposal to its specific site*
- (c) The significance of nearby assets and the contribution of their setting, recognising that this is a dynamic concept*
- (d) The general character and distinctiveness of the area in its widest sense, including the general character of local buildings, spaces, public realm and the landscape, the grain of the surroundings, which includes, for example the street pattern and plot size*
- (e) The size and density of the proposal related to that of the existing and neighbouring uses*
- (f) Landmarks and other built or landscape features which are key to a sense of place*
- (g) The diversity or uniformity in style, construction, materials, colour, detailing, decoration and period of existing buildings and spaces*

(h) The topography

(i) Views into, through and from the site and its surroundings

(j) Landscape design

(k) The current and historic uses in the area and the urban grain

(l) The quality of the materials

Department of Culture, Media and Sport Circular: Principles of Selection for Listing Buildings 2018

The Principles of Selection for listing buildings sets out the general criteria for assessing the special interest of a building in paragraph 16, as below:

“Architectural Interest. To be of special architectural interest a building must be of importance in its architectural design, decoration or craftsmanship; special interest may also apply to nationally important examples of particular building types and techniques (e.g. buildings displaying technological innovation or virtuosity) and significant plan forms;

Historic Interest. To be of special historic interest a building must illustrate important aspects of the nation’s social, economic, cultural, or military history and/or have close historical associations with nationally important people. There should normally be some quality of interest in the physical fabric of the building itself to justify the statutory protection afforded by listing.”

When making a listing decision, paragraph 17 sets out that the Secretary of State may also take into account:

“Group value: The extent to which the exterior of the building contributes to the architectural or historic interest of any group of buildings of which it forms part, generally known as group value. The Secretary of State will take this into account particularly where buildings comprise an important architectural or historic unity or a fine example of planning (e.g. squares, terraces or model villages) or where there is a historical functional relationship between the buildings. Sometimes group value will be achieved through a co-location of diverse buildings of different types and dates.”

Fixtures and features of a building and curtilage buildings:

“The desirability of preserving, on the grounds of its architectural or historic interest, any feature of the building consisting of a man-made object or structure fixed to the building or forming part of the land and comprised within the curtilage of the building.”

The character or appearance of conservation areas:

“In accordance with the terms of section 72 of the 1990 Act, when making listing decisions in respect of a building in a conservation area, the Secretary of State will pay special attention to the desirability of preserving or enhancing the character or appearance of that area.”

General principles for selection are also set out in this advice, in paragraphs 18-23. These include: Age and rarity; Buildings less than 30 years old; Aesthetic merits; Selectivity; and National interest, although State of repair will not usually be a relevant consideration.

In addition to the criteria and general principles set out in the guidance, a number of Selection Guides for different building types have been published by Historic England, first in 2011 and then later updated. These Selection Guides provide further information regarding each building type, and demonstrate what features are considered significant and likely to make a building of special architectural or historic interest when assessing each building type.

Historic England: Advice Note 1: Conservation Area Appraisal, Designation and Management 2019 (2nd edition)

This advice document sets out a series of conservation principles and guidance regarding the management of conservation areas. It outlines the fundamentals of designation, and, importantly, puts in place processes for character appraisals which may be used to manage development in the area moving forward. It sets an over-arching objective for character appraisals as documents which understand and articulate why the area is special and what elements within the area contribute to this special quality and which don't. Having done this, it outlines an approach to assessments of special interest which uses desk and field-based inquiry.

Historic England: Advice Note 12: Statements of Heritage Significance: Analysing Significance in Heritage Assets 2019

This advice note provides guidance with regard to the NPPF requirement for applicants for heritage and other consents to describe heritage significance, to help local planning authorities make decisions on the impact of proposals for change to heritage assets. It explores the assessment of heritage significance as part of a stage approach to decision-making, in which assessing significance precedes designing the proposals. It also describes the relationship with archaeological desk-based assessments and field evaluations, as well as Design & Access Statements.

Historic England: Conserving Georgian and Victorian terraced housing: A guide to managing change 2020

This guide provides recommendations for the conservation of Georgian and Victorian / early 20th century terraced housing. It provides a historical account of terraced housing and identifies the key features of different types of terraces. It is designed to aid local authorities and others implementing historic environment legislation and policy, whilst assisting those planning to make changes to terraced housing to understand their particular significance of across various historical phases. It highlights issues to consider for those wishing to make alterations and information with regard to the planning process.

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