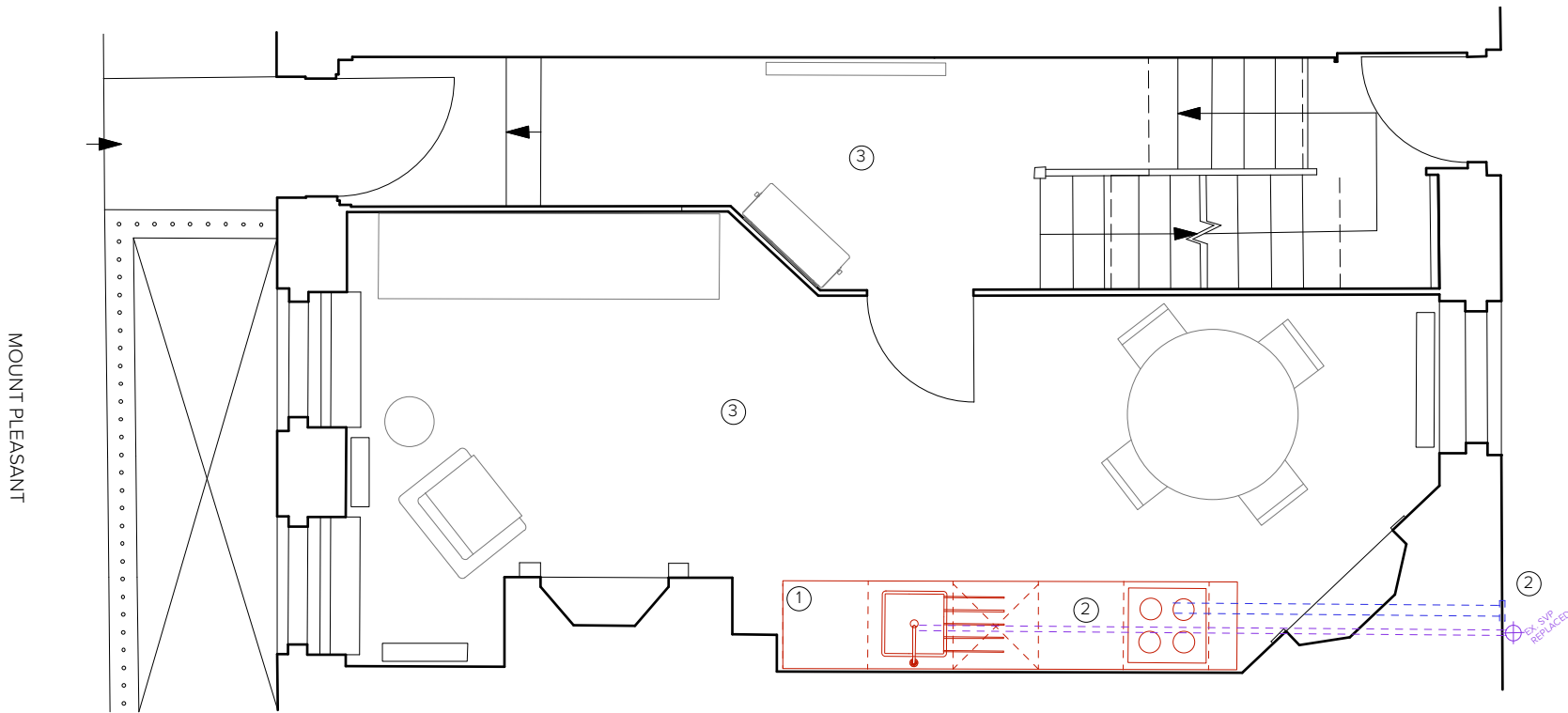


This drawing is prepared for the purposes of a planning application and to show design intent only. The information contained herein must not be used for costing, construction, engineering or any other purposes without agreement in writing from Archer & Braun Ltd. The appointed Principal Contractor will take over the duties for the client and role of Principal Designer under the CDM Regulations 2015.

All existing information based on measured building survey by Hillcrest (November 2022). For further information, refer to Design, Access and Heritage document by Archer + Braun.

- Key:**
- | | | | |
|--|----------|--|-------------------|
| | Existing | | Existing drainage |
| | Proposed | | Proposed drainage |

- 1 Install new free-standing 'furniture' type kitchen units to rear of reception room.
- 2 New sink/dishwasher waste (shown dashed in purple) and downdraft extract (shown dashed in blue) to run between floor joists (floor joists run front to back) and terminate on rear elevation (see elevation drawings for details).
- 3 New heritage style radiators and new floor coverings throughout. We note that we do not believe there to be any existing historic floors present, but should a historic floor be discovered, then this is proposed to be covered by new flooring with a protective layer between the historic floor and the new floors. Historic joinery (eg. skirting boards, doors) to be unaltered in order to accommodate the new floor and kitchen. All historic wall coverings (panelling) to be retained. New decoration throughout.



REV	COMMENT	DATE
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PLANNING

Job | 55 Mount Pleasant

ID | 0131

Title | Proposed Ground Floor Plan

Date | October 2023

Scale | 1:50 @ A3

Drawn | ABA

0131-ABA-00-101

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PROPOSED GROUND FLOOR PLAN

1:50

