

24 October 2023

Delivered via Planning Portal (Ref: PP-12537715)

Development Management
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Ref: BUPL3010

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)

APPLICATION FOR A NON-MATERIAL AMENDMENT TO PLANNING PERMISSION REF. 2022/4140/P (AS AMENDED) (UNDER SECTION 96A OF THE TOWN AND COUNTRY PLANNING ACT 1990 AS AMENDED) – NON-MATERIAL AMENDMENTS TO INSTALL A REPLACEMENT LOUVRE SYSTEM WITH HORIZONTAL BARS

GROUND FLOOR UNIT FRONTING HAMPSTEAD ROAD, THE LANTERN, 75 HAMPSTEAD ROAD, LONDON NW1 2PL

Dear Sir/ Madam,

We write to you on behalf of our client, Bupa Global, India & UK (hereafter: the 'Applicant'), to submit an application (under S96 of the Town and Country Planning Act 1990) to the London Borough of Camden ('LB Camden') to make a non-material amendment to planning permission ref. 2022/4140/P at the Ground Floor Unit fronting Hampstead Road, The Lantern, 75 Hampstead Road, London, NW1 2PL ('the site'). The proposed amendment is outlined in detail below.

THE SITE

The building known as 'The Lantern' is located at the junction of Hampstead Road and Drummond Street within the LB Camden, just north of Euston Road, west of Euston Station, and to the east of Regents Park. The development was permitted under planning permission ref. 2017/3518/P on 09 March 2018 to provide a ground plus 7 storey building containing office (E(g)(i)), flexible office/healthcare (E(g)(i)/ E(e)), retail (E(a)), cafe (E(b)) and 17 residential (C3) units.

Following the grant of the above planning permission, an application (ref. 2018/0663/P) was made under Section 73 of the Town and Country Planning Act 1990 (as amended) for a variation of Condition 2 (Approved Plans), to demolish 60% of the existing primary structure (as opposed to 30% previously approved) and to increase the overall height of the building by 450mm. This minor material amendment application was granted subject to a Section 106 Legal Agreement on 02 July 2018.

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The ground floor unit subject of this application was permitted for Class E (restricted to (a - retail) and (e - medical/health services)) under the planning permission ref. 2022/2805/P (dated 04 August 2022), enabling Bupa's planned occupation of the unit as a health clinic.

The building is not listed and does not lie within a Conservation Area, nor are there any listed buildings or Conservation Areas immediately adjacent to the building. The site lies within the Euston Area Action Plan which divides the Euston area into six character areas; the site is within the Regent's Park Estate Character Area.



Figure 1: Location Plan, prepared by Lusted Green

CONSENTED PROPOSALS

LB Camden granted planning permission (ref. 2022/4140/P) for the site for the following development on 22 November 2022 for:

“Installation of 2 sets of replacement entrance doors with new louvres above.”

In order to facilitate Bupa's occupation of the unit as a health clinic, the consented proposals sought to make minor external alterations to the Hampstead Road façade. This comprised the installation of new replacement entrance doors and replacement of existing louvres above the ground floor windows.

Subsequently, LB Camden granted non-material amendments (NMA) to the above planning permission under ref. 2023/1465/P on 03 May 2023. This NMA application made alterations to the mechanism of the new automatic hinged entrance doors, making them more compatible with the existing curtain wall system and provide a fully inclusive, accessible entrance for customers and staff.

PROPOSED NON-MATERIAL AMENDMENTS

The non-material amendment application submitted under S96a of the Town and Country Planning Act 1990 (as amended) simply seeks to replace the consented vertical louvre system with a new horizontal louvre system above the main entrance doors.

Following investigation, it was found that an exact matching system to suit the larger louvre area required for the ground floor unit could not be procured, and therefore the proposals seek to install an alternative louvre system with horizontal bars. In line with the consented proposals, the colour and finish of the new louvres will match the existing cladding system.

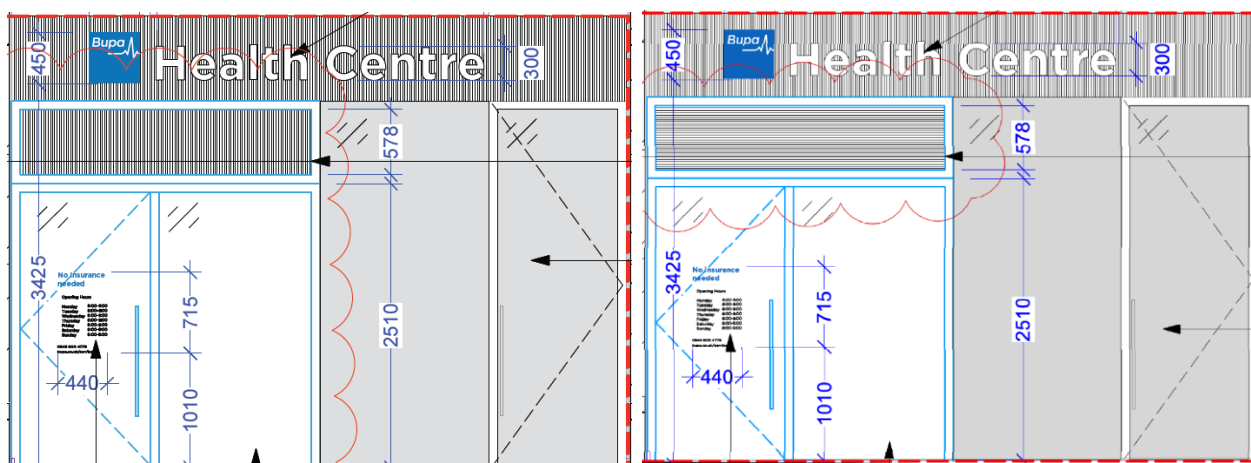


Figure 2: Elevations of the consented (left) and the proposed (right) cladding systems, prepared by Lusted Green

Given the limited nature of the proposed amendments (i.e. reconfigured louvre detailing), when considering their scale against the wider approved proposals, the proposed changes are considered 'non-material' for the purposes of the Town and Country Planning Act 1990 (as amended) and therefore can be determined via a S96a application to the extant planning permission (ref. 2022/4140/P (as amended)).

SUBMISSION DOCUMENTS

The S96a planning submission is made via Planning Portal (Ref: PP-12537715) and is accompanied by the following documents:

- Application Form and Ownership Certificates;
- Covering Letter (this document), prepared by Turley;
- Location Plan, prepared by Lusted Green;
- Consented Plans and Drawings, prepared by Lusted Green:
 - Consented Block Plan ref. LG39_102-003A
 - Consented Ground Floor Plan ref. LG39_102-005A
 - Consented External Elevation ref. LG39_109-201A
 - Consented Section ref. LG39_109-302A

- Proposed Plans and Drawings, prepared by Lusted Green:
 - Proposed Block Plan ref. LG39_102-003B
 - Proposed GA ref. LG39_102-005B
 - Proposed External Elevation ref. LG39109_109-201B
 - Proposed Section ref. LG39_109-302

The requisite fee of £298.00 has been paid via Planning Portal.

We trust that the information provided sufficient to enable the council is to validate and permit this application for the approval of non-material amendments and look forward to receiving confirmation of this at the earliest opportunity. In the meantime, please contact my please contact my colleague Sam Brown (samuel.brown@turley.co.uk) or myself at these offices if you have any queries.

Yours sincerely



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