

Design and Access Statement

9 Provost Road, NW3 4ST

September 2023

Application for Planning Permission
and Listed Building Consent
for Proposed External and Internal
Alterations



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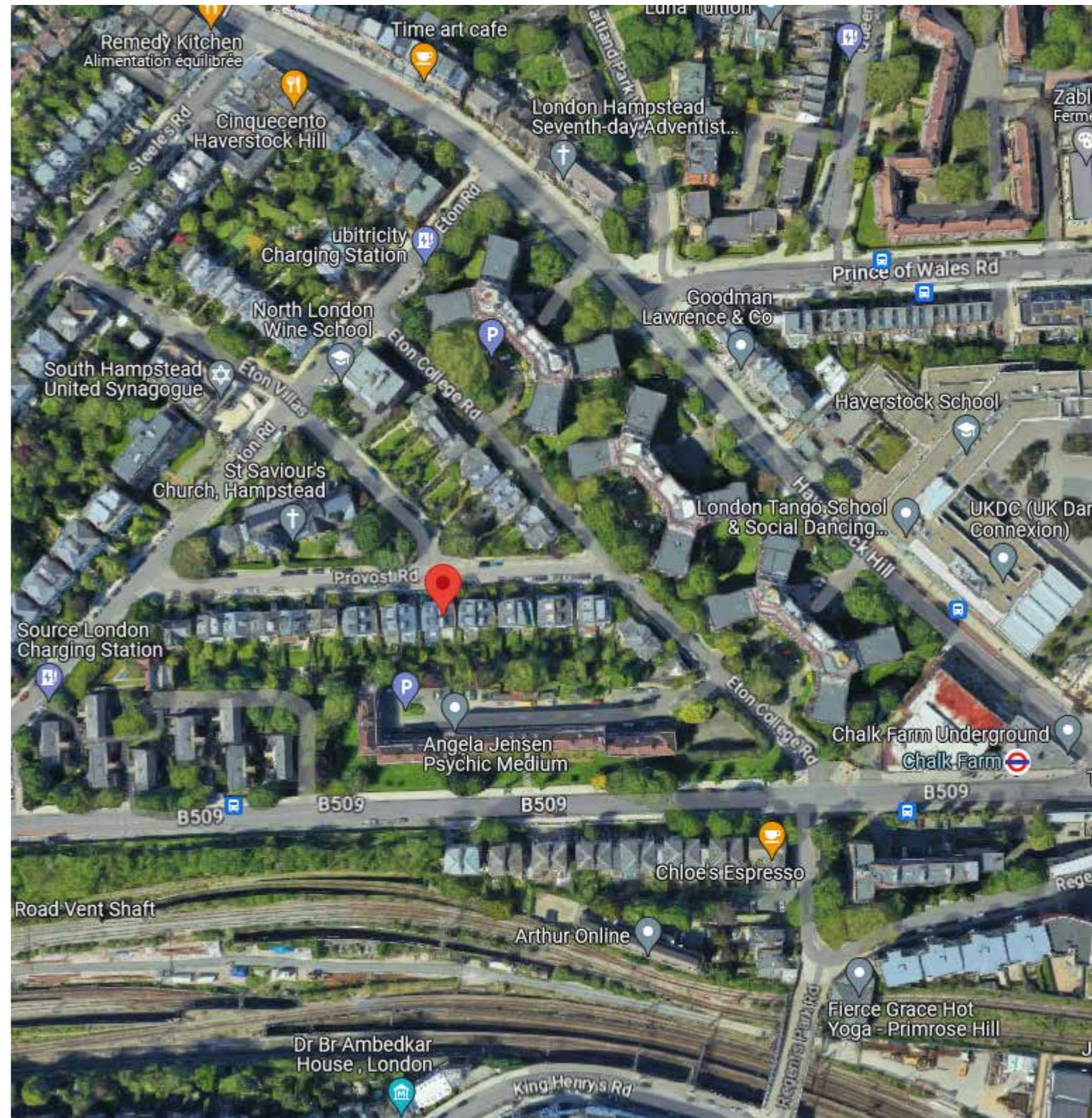
10.0 Appendix 1- Supporting Planning Policy

1.0 Introduction

This Design and Access Statement has been prepared to support an application for Planning Permission and Listed Building Consent for the proposed refurbishment and extension of 9 Provost Road, London NW3 4ST.

The property is a Grade II listed, semi detached Villa within the Eton Conservation Area. The property appears to have been neglected for a considerable amount of time and the new owners propose to restore elements of the existing building to their original state, minimally extend the existing volume to improve the quality of the internal space for its occupants, while also enhancing the energy efficiency and sustainability of the building so that it can be enjoyed long into the future.

The purpose of this report is to provide a detailed explanation of the design process and describe why the proposal is appropriate for the users, the existing site and its urban context.



Aerial View of the Location

2.0 Reference Documents

This statement should be read in conjunction with the attached reference documents as follows:

XUL Architecture:

LP-01: Existing Location and Site Plan

EX-01: Existing Site and Upper Ground Floor Plan

EX-02: Existing Lower Ground Floor, First Floor & Second Floor Plans

EX-03: Existing Roof Plan

EX-04: Existing Front & Side Elevations

EX-05: Existing Rear Elevation & Cross Section AA

EX-06: Existing Long Section BB

PA-01: Proposed Site and Upper Ground Floor Plan

PA-02: Proposed Lower Ground Floor, First Floor & Second Floor Plans

PA-03: Proposed Roof Plan

PA-04: Proposed Front & Side Elevations

PA-05: Proposed Rear Elevation & Cross Section AA

PA-06: Proposed Long Section BB

AD-01: Detail Utility Room floor and wall build-ups

AD-02: Detail fireplace recess in new kitchen

AD-03: Detail rear extension

AD-04: Detail timber board door to side passageway

AD-05: Detail roof buildup and skylight

AD-06.1: Detail dormers

AD-06.2: Detail dormers

AD-08: Detail floor build-ups

AD-10: Door between ground floor front & rear room

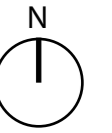
AD-11: Detail bin enclosure

AD-12: Side passageway lean-to structure

The Heritage Practice:

Heritage Appraisal, August 2023

3.0 Site Location & Context



The Eton Conservation Area sits centrally within the London Borough of Camden and is comprised of land that once belonged to Eton College. As described in the Eton Conservation Area Statement, the land surrounding Provost Road was recognised as being ripe for development in 1796. However, it was not until John Nash's Regents Park was under construction that the necessary surveys were carried out on the land. In 1826, an Act of Parliament was passed, authorising Eton College to grant leases for building. In 1844 Eton College further promoted the land to the west of Eton College Road – what would become the Provost Triangle – and development began. St. Saviour's church, 1850, formed the centrepiece of the development in an attempt to attract the upper middle classes to the area. The villas along Provost Road were considered modest in scale, accommodating fewer servants than other larger properties nearby, and were built to appeal to *'the younger and less affluent reaches of the professional classes and higher reaches of clerical and shopworkers'*.

The application site is located in the largest sub-area in the Eton Conservation Area (sub-area 1). The area has since been extended numerous times, with the final designation being made in 2002. Provost Road was one of the first roads within this Conservation Area to be designated in 1973, and no. 9 Provost Road was Grade II Listed in 1974.

The Listing Entry for no. 1-14 Provost Road reads as:

'7 pairs of semi-detached villas. c.1844. By John Shaw. Painted stucco. Slated gabled roofs with dormers, central long slab chimney-stacks and overhanging eaves, bracketed on angle return and having plain bargeboards to gables. 2 storeys, attics and semi-basements. 1 window each plus 1 window recessed entrance bays. Architraved entrances to recessed doorways with pilaster jambs and part-glazed doors approached by steps. Architraved sashes, ground floor windows with pilasters and cornice. Nos 3 & 4 have 3-light canted bays rising from semi-basement through 2nd floor with pilasters. All have architraved 3-light attic windows, central window blind, in apex of gable. INTERIORS: not inspected.'



Map showing location of 9 Provost Road in relation to Conservation Area boundary.

(Map taken from Eton Conservation Area Statement).

— Building Location

4.0 Existing Building

9 Provost Road is part of seven pairs of semi-detached villas designed as a speculative build, in the rustic Italian style with restrained Grecian detailing, by architect John Shaw and built circa 1844. As early Victorian designs, the villas bear the hallmarks of Georgian architecture – simplicity and elegance in elevation with gable-fronted rendered stucco facades and well-proportioned sash windows. Numbers 1-14 Provost Road share a similar elevational style, each with architraved entrances to recessed doorways with pilaster jambs and partially-glazed doors approached by steps, and the windows are surrounded by a raised stucco architrave, cill, and cornice. All of the villas have raised ground and first floor levels which act as principal floors containing the more significant rooms. The lower ground floor basement area and a second floor attic space provide subsidiary accommodation.

The existing house is in urgent need of modernisation. Certain areas of the house have fallen into disrepair, such that an overhaul is unavoidable. Rising damp and dry rot are also evident in the property.

The existing plumbing isn't functioning correctly, due to its age and condition. The electrics do not comply with current safety standards and large gaps and worn out door and window seals mean the house is draughty and inefficient. The house is not fit for habitation in its current condition and therefore the proposed works become critical in preventing further deterioration.

This Design and Access Statement should be read in conjunction with the Heritage Appraisal and Photographic Report prepared by Charles Rose of the Heritage Practice, submitted as part of this Planning & Listed Building Consent application.



Front Elevation of no.9 and no.10



Rear Elevation of no. 9



Recent photos taken inside 9 Provost Road

5.0 Planning

5.1 Planning History of no. 9 Provost Road

There is no recent planning history at no. 9 Provost Road

5.2 Relevant Planning and Listed Building History within the street

No. 1-14 Provost Road are 7 pairs of semi detached villas, which have been listed in part for their communal harmony and are read together. Therefore any approvals to the adjacent buildings give strong precedent for the proposed works at no. 9 Provost Road.

2 Provost Road

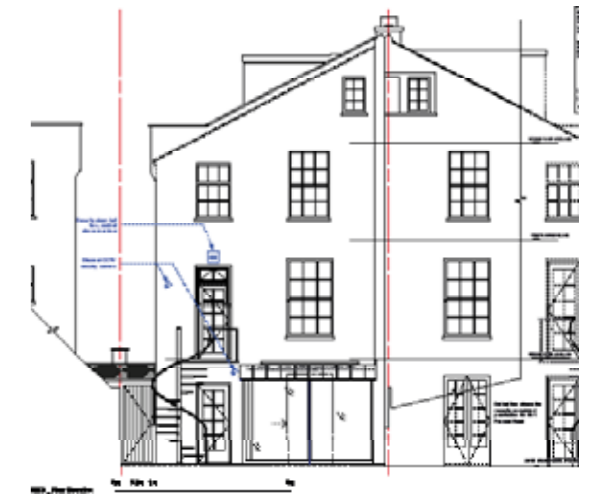
2008/4671/P – Granted

The approved scheme at 2 Provost Road incorporates a single storey rear extension, which is similar in size to the proposed scheme.

It is also worth noting that the approved scheme at 2 Provost Road includes the addition of an external spiral staircase. These works establish an acceptance to interior remodelling and external works, notably increased fenestration at lower and upper ground floors to the rear, and the addition of external CCTV cameras.

Application 2008/4671/P for 2 Provost Road

Proposed rear elevation



8 Provost Road

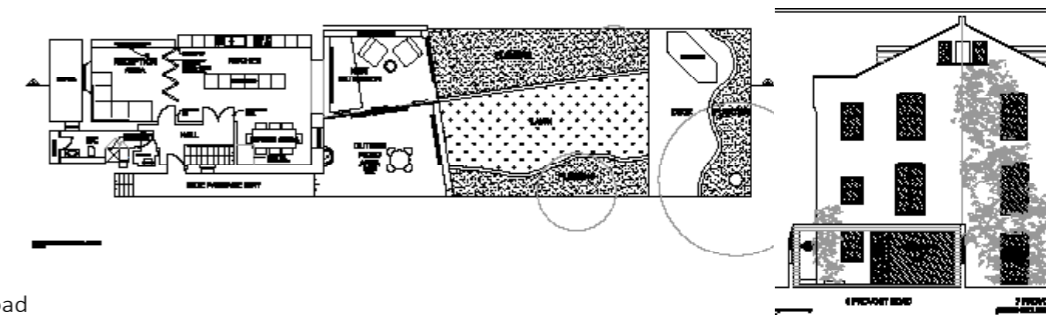
2010/1379/P - Granted

The approved scheme for 8 Provost Road features a structure which runs the full width of the boundary and provides a framed view of the garden from the house.

The lower ground floor internal remodelling sees the introduction of a large opening through to the new extension. The floor plan is significantly altered; however, the retention of key nibs helps the historic plan to be understood.

Application 2010/1379/P for 8 Provost Road

Proposed LGF plan and rear elevation



10 Provost Road - Adjacent building

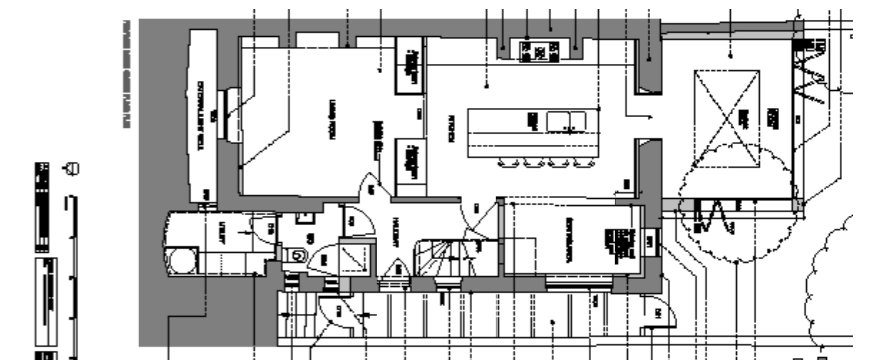
2016/6486/P - Granted

The approved scheme for no. 10 Provost Road features a number of alternations throughout the building, with the majority of the alterations to the lower ground floor.

These include a small rear extension, internal wall insulation to the lower ground floor where suitable and new double glazed windows to Lower Ground Floor where existing windows were non original and in poor condition. To the upper floors there is levelling of the existing floors and then significant alterations at first floor to create built in storage.

Application 2016/6486/P for 10 Provost Road

Proposed LGF plan and rear elevation

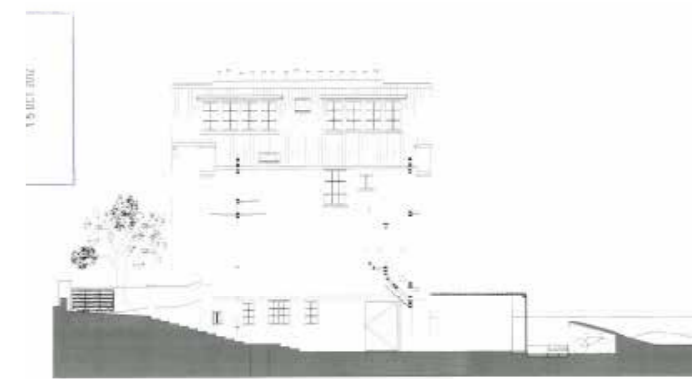
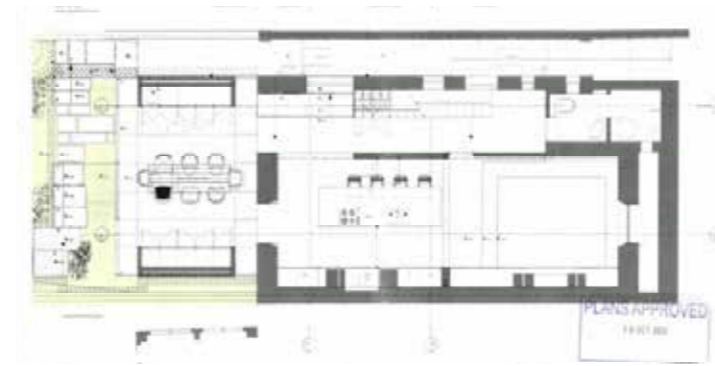


5.2 Relevant Planning and Listed Building History within the street - *Continued*

12 Provost Road

2012/3931/P - Granted

The granted works at 12 Provost Road involved works to the dormers, a modern single storey extension and excavation of the lower ground floor, along with other internal remodelling. There were also numerous applications relating the the enlargement of the two dormers.



Approved application 2012/3931/P for 12 Provost Road

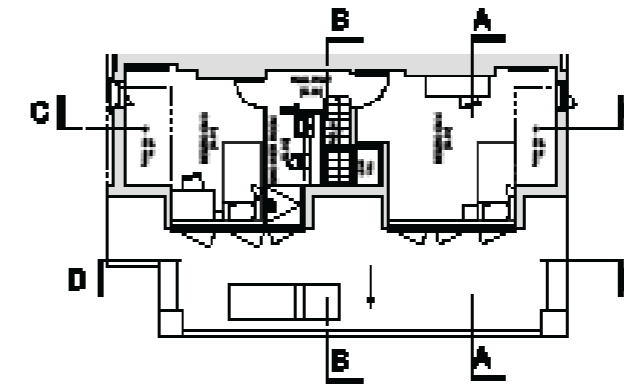
Proposed LGF Plan and side elevation

14 Provost Road

2020/3405/P

The approved scheme for no. 14 Provost Road features a number of alternations throughout the building, as well as a large full with rear extension in a contemporary style.

The alterations include opening up the Lower Ground floor plan, lowering the lower ground floor level and altering the steps to accomodate this. The first floor plan was altered to provide a large walk in wardrobe and on the Second floor the existing dormers were replaced with two larger dormers allowing the second floor to incorporate two bedrooms and a shared shower room.



Approved application 2020/3405/P for 14 Provost Road

Proposed second floor plan and rear elevation.

6.0 Design (Use, Amount, Scale, Appearance and Materiality)

6.1 Use

The dwelling is currently vacant, but was previously in use as a single family dwelling house, and will return to this use after the proposed alterations.

6.2 Services

All services will be renewed to bring them to a level required for modern life and in line with current electrical regulations. This will include electrical power, lighting and communications, hot and cold water delivery, drainage and central heating.

Wet underfloor heating is proposed to be installed between floor joists. To enable the installation of underfloor heating, service pipes required for the adapted layout, installation of high density mineral wool sound insulation between existing floor joists as well as for floor levelling the existing floor boards will be numbered, taken up and re-fitted following these works.

6.3 Proposed works

We will go through the proposed works, floor by floor, beginning with the Lower Ground Floor and proposed rear extension. This D&A statement should be read in conjunction with the works noted on the proposed drawings.

1. Lower Ground Floor

Current Condition

The lower ground floor level accommodation sits half submerged below street level at the front of the property and is fully exposed to the rear garden. Internal access is via a timber staircase. The floor can also be accessed from an external door from the side passage way. The front room is served by a lightwell, an original feature of the house. To the rear is the kitchen, poorly served by natural light compared to the rest of the house, and with no direct access to the rear garden. The dining room, also to the rear, links to an existing modern PVC conservatory unsympathetic with the character of the area. As can be seen in the photographic report, other than doors, architraves and the staircase there are almost no remaining historic features of note in any rooms of the lower ground floor.

The existing submerged small front room has been fitted in the past with a cavity drainage membrane damp-proofing system with plasterboard lining. There is also evidence of dry rot to the skirting boards in the rear room along the party wall. Walls in the rear room have been lined with modern polystyrene backed lining paper which requires removal.

Proposed Works:

The functionality of the cavity drainage membrane damp-proofing system to the submerged front room (proposed Utility Room 12) needs to be checked and if not fully functioning will require like-for-like replacement.

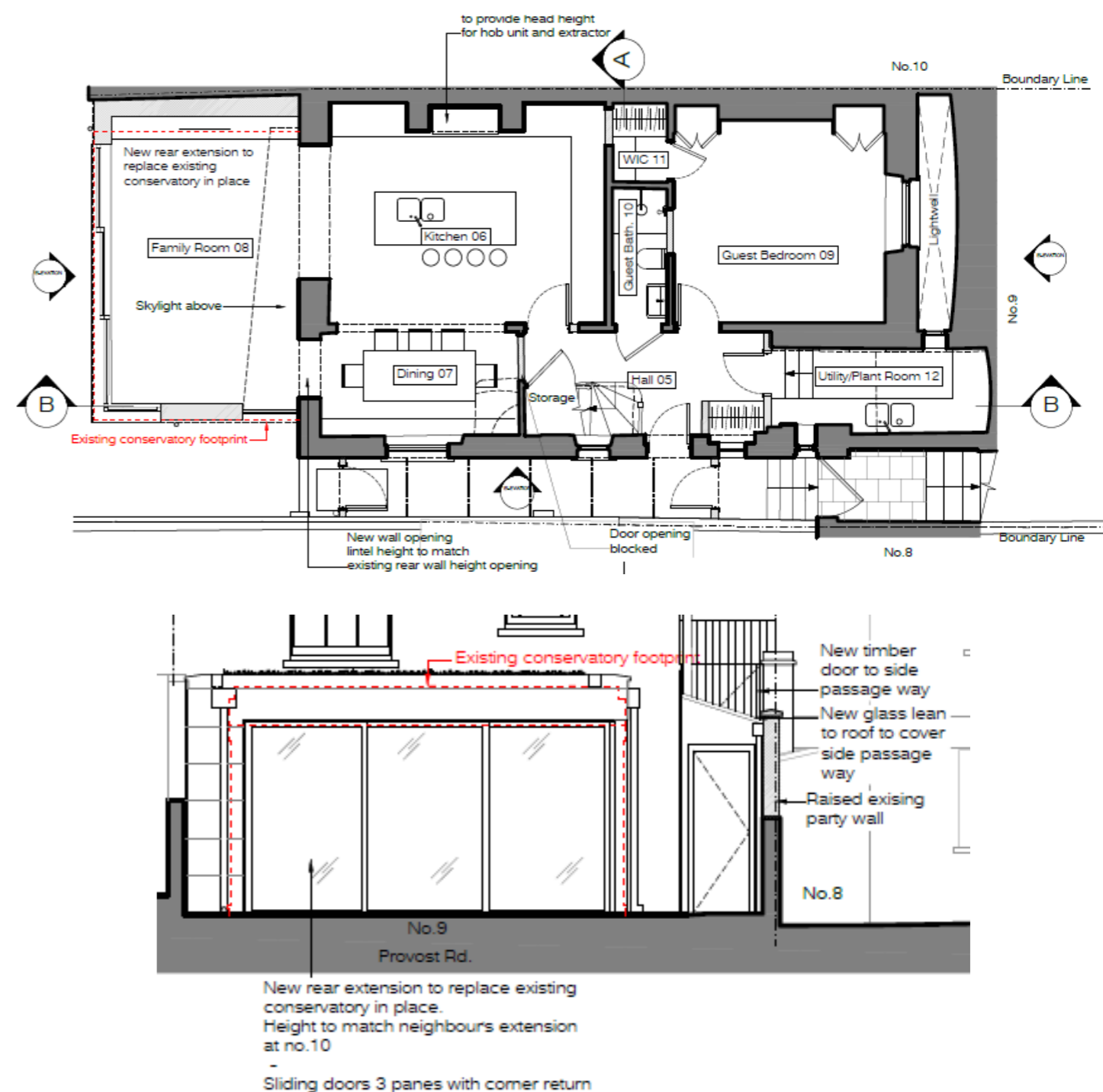
The existing concrete floor slab is being retained throughout. Modern floor finishes will be replaced with wood flooring and to bathrooms and utility room with tiled flooring over insulated substrate.

The front room front wall has also been lined with plasterboard. Wall finishes are being retained as existing other than repairs. Modern MDF alcove cupboards are to be replaced.

The narrow space between front and rear room is retained in its original plan. Access to the built-in cupboard is from the front bedroom. The remainder of this space is proposed to be converted into a shower room accessed from the hallway.

The staircase throughout is retained in its original configuration and is being repaired and redecorated. The existing cramped WC is being removed and to be replaced by a coat cupboard.

At the rear part of the floor plan, the layout is amended in that the large rear room is being used as the Kitchen space.



Proposed Lower Ground Floor Plan and rear elevation (rear extension only)

Not to scale

The Dining area is being accessed from the Kitchen. The wall between Kitchen and Dining area is being opened up but will retain wall nibs and a lower downstand so that the original room configuration remains discernible.

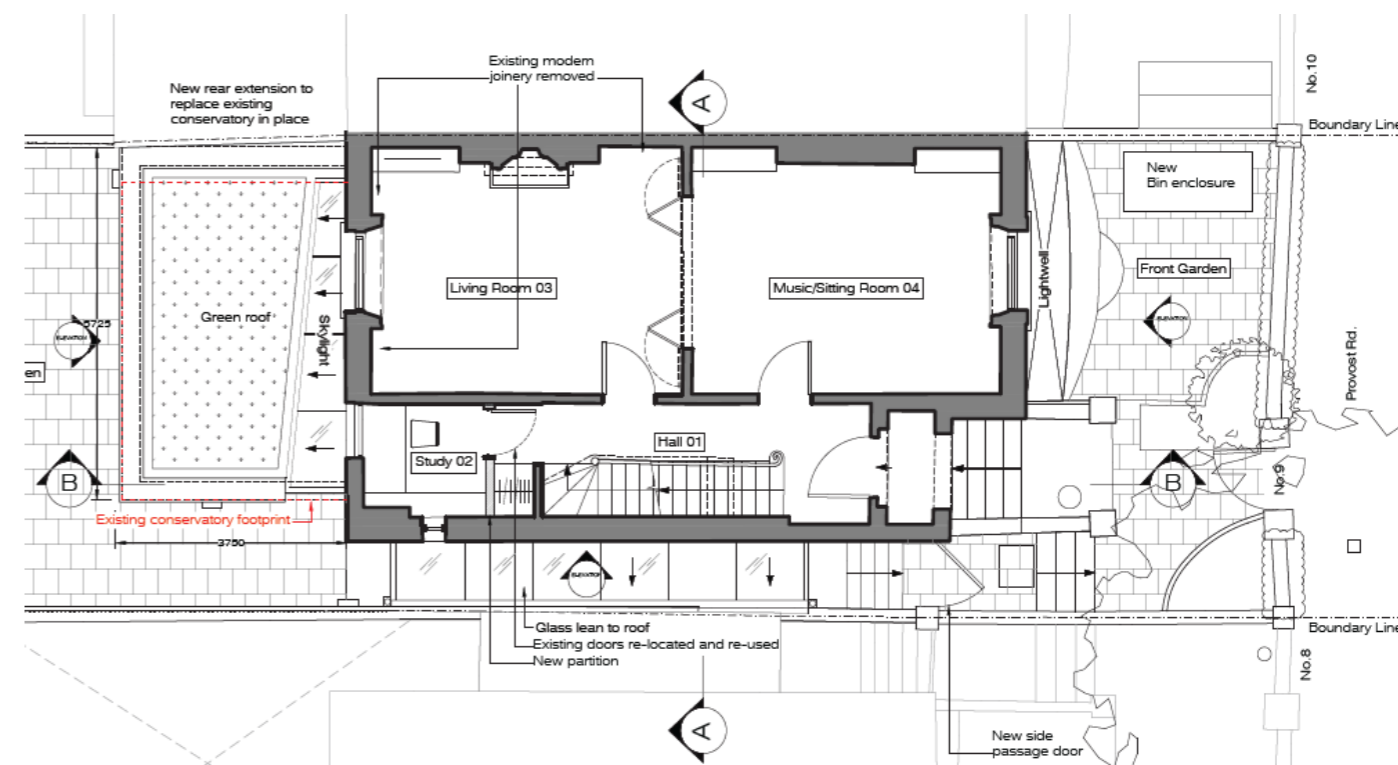
The fireplace opening to the rear room chimney breast is proposed to be increased in height so that the fireplace recess can be integrated and used as part of the kitchen units with a hob and an extract hood proposed to be inter-gated into the recess.

The existing main house rear wall opening is being retained in its current width and height with the modern sliding door into the existing conservatory removed. It is proposed to form an additional rear wall opening between Dining area and new rear extension to improve access and natural lighting levels. The height of the proposed wall opening will be aligned with the existing rear wall opening.

The proposed Kitchen is currently lined with polystyrene backed lining paper which will need to be replaced. There are elevated moisture readings along the fireplace wall and the skirting board is showing signs of dry rot.

We have designed a delicate rear extension in a contemporary style, which will create a tranquil space from which to enjoy the garden and will replace the existing modern PVC conservatory structure. The footprint is the same as that of the conservatory with the small gap between conservatory side and boundary wall to no. 10 being infilled. This single story extension will have metal sliding doors with a thin metal profile, the glazing returning around the corner of the extension. The roof is proposed to have a sedum green roof and will also have a glass strip rooflight turning vertically on the side of the extension into a minimally framed vertical glass slot. The glazed junction between extension and main house will signify the junction between the historic host building and the contemporary extension and will also bring natural daylight into the depth of the main building. The rear extension walls are to be rendered with ashlar lining, picking up a main house detail in order to blend in naturally with its host building. The height of the extension is to match the adjoining neighbour's extension at no. 10 as to create a more consistent pair of semi-detached houses and rear extensions.

Along the side elevation of the house it is proposed to add a glass covered lean-to roof with associated doors at each end, to provide a safer, weatherproof storage area and secondary access on the side of the house. The garden boundary brick wall to no. 8 is proposed to be raised to allow for the lean-to.



Proposed Upper Ground Floor Plan

Not to scale

Upper Ground Floor

Current Condition

The upper ground floor is the piano nobile of the house, with generous ceiling heights and large sash windows serving both the front and rear room. The original plan remains along with some historic features, such as shutters, skirting boards, and cornices, which are modest, with minimal embellishment.

Modern built-in joinery has been fitted to the rear room. The fireplace to the front room is blocked. The chimney breast features an Edwardian style fireplace.

There is an existing opening between the front and the rear rooms without doors offering dual aspect views.

The small rear room has been converted into a bathroom and has a lowered ceiling with a platform for a water storage tank above.

Proposed Works:

The works to upper ground floor are quite limited.

The existing wall opening between front and rear room is proposed to be slightly increased. It is proposed to install a four-leaf side hinged door which will open as bi-fold door on Parliament hinges in order to fold back against the nibs of the wall. The door will be a traditional timber panelled door matching the detailing of the other doors.

The existing bathroom is proposed to be changed into a small study, with a coat cupboard in the remaining space. The lowered ceiling structure and water tank storage is proposed to be removed.

First Floor

Current Condition:

The key feature of the first floor is its unusual floor plan. Driven by a need to provide access to the rooms within the 2nd floor roof space, the staircase to the 2nd floor runs perpendicular to the main staircase, so that the pitch of the staircase runs under that of the roof. The narrow staircase is placed centrally and is flanked by two bedroom doors positioned diagonally in plan. This floor contains the master bedroom with an en-suite, a second and third bedroom, the last of a smaller size, all in need of modernisation.

No historic features of note remain in the bathroom. The cornice and skirting to the large bedrooms appear to be original. The dropped ceiling and floor finish to the small bedroom are not original.

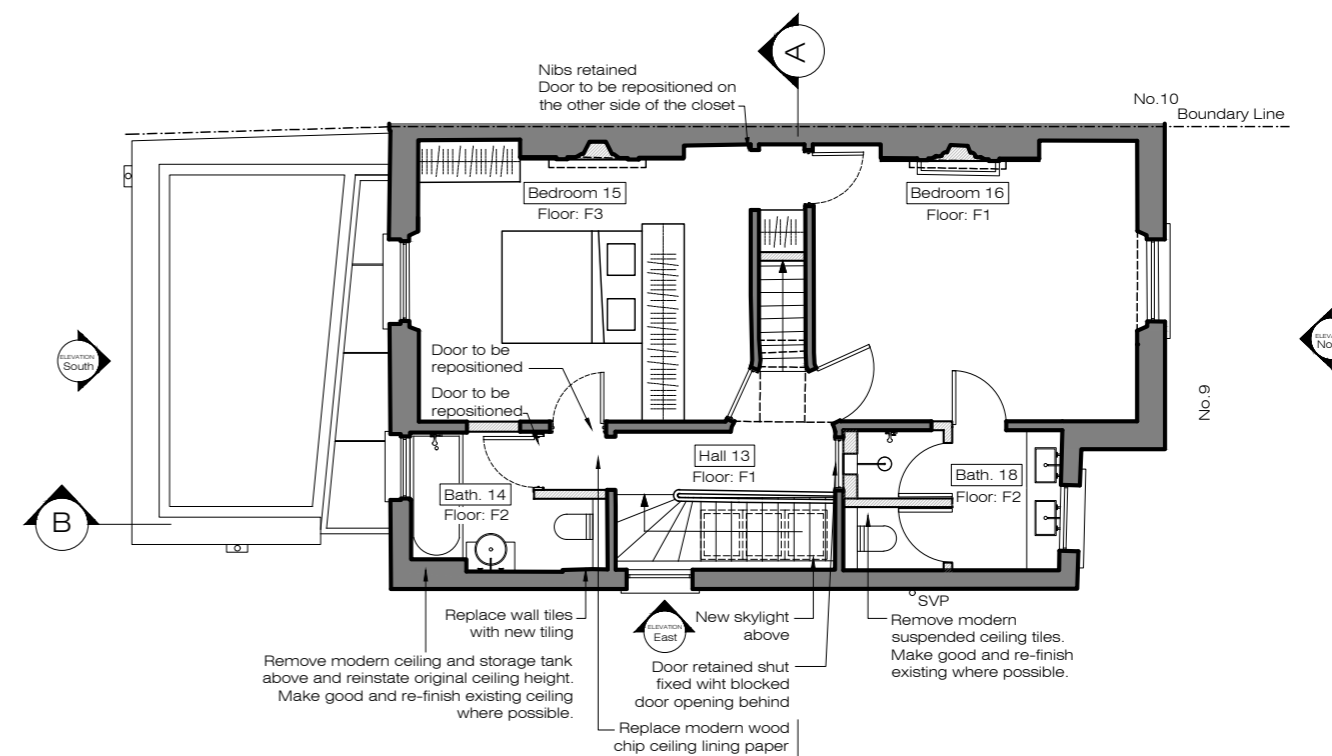
Proposed Works:

The front bedroom is to become the master bedroom. The small front bedroom, which already has a direct connection to the large front bedroom is proposed to be changed into an en-suite shower room with a partition dividing wc and shower cubicle. The door opening from hallway to the proposed en-suite will be blocked with the door to remain in place shut fixed.

The rear bedroom will remain in its configuration with new fitted joinery to be installed. The door at the base of the second floor stair will be shut fixed. The direct connection between rear bedroom and bathroom is proposed to be blocked with the door being re-used and positioned along the hallway to provide access from the hallway. The door opening from the hallway to the rear bathroom is repositioned reusing the existing door.

The existing bathroom requires full refurbishment, and removal of all wall and floor finishes and existing fittings. Its layout is slightly altered to open from the hallway to serve as a family bathroom. External plumbing and boxings for pipework will also be removed where possible to enhance the building.

Above the staircase, three new skylights in a row are proposed in the existing roof slope (see roof plan on next page). These will be minimally protruding from the roof slope (see detail AD-05) and will be from a conservation range and will bring natural light to this space.



Proposed First Floor Plan

Not to scale

Second Floor

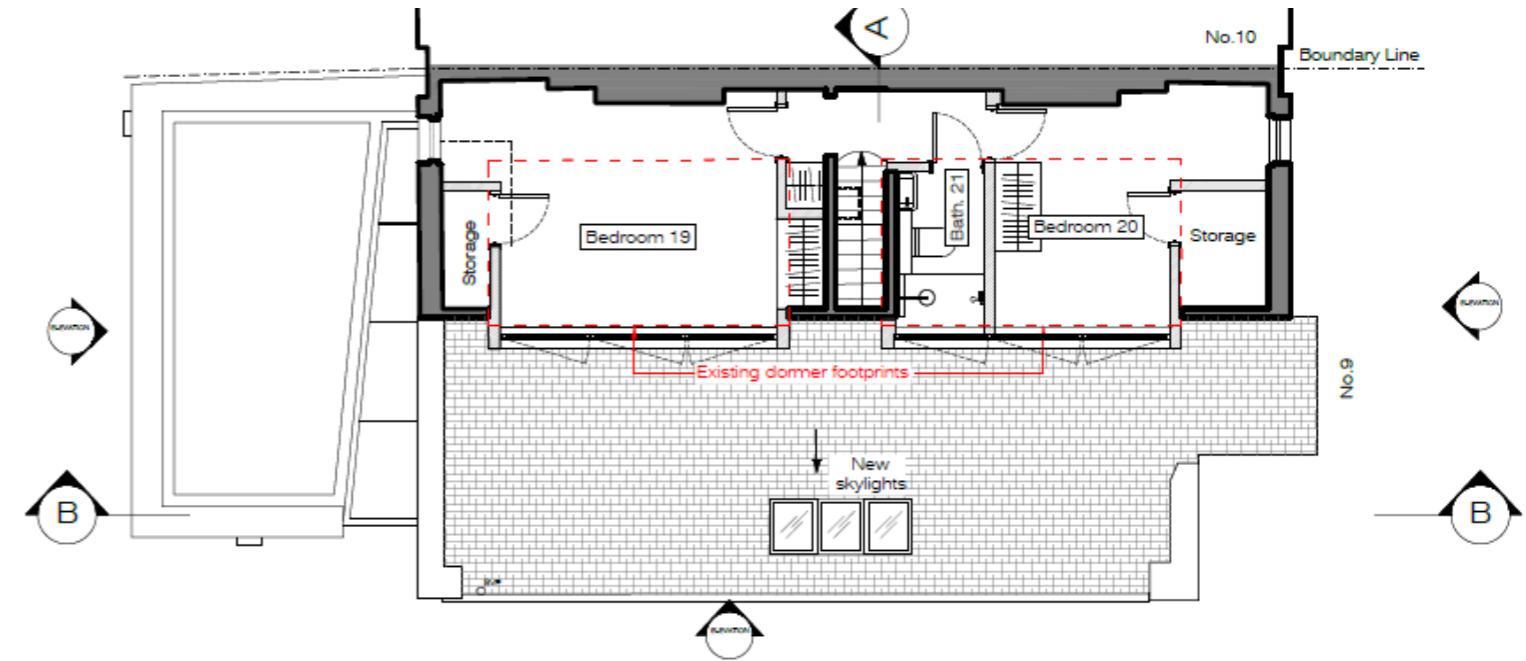
Current Condition

The habitability of the second floor has been greatly improved by the two dormers in the two existing bedrooms. There are no original features of note beyond the legibility of the floor plan. Cast iron fireplace inserts have been retained and are blocked and lined over. The roof is clad in natural slates. The roof build-up generally looks in poor condition with the parapets and leadwork requiring renewal and repair.

Proposed Works:

The proposed scheme includes the minimal enlargement and modernisation of the two dormers, and the creation of a shared shower room. The proposed dormers' new size will match those at no.10 in height and projection to improve the symmetry of this pair of semi-detached houses, and will only be minimally enlarged in depth as to compensate the loss of internal space with the addition of modern build-ups, including new insulation. The width of the dormers is to stay as existing.

The existing dormer windows are unsympathetic to the building and are proposed to be replaced with a more traditional set of painted timber outward opening casement windows.



Proposed Second Floor Plan

Not to scale

External Works:

Roof

The roof requires renewal of its weatherproofing and insulation. It is proposed that the existing slates are being removed and set aside, whilst the roof build-up is being repaired with new insulation between the retained existing timber rafters, with new breather membrane and timber battens. The slate tiles will be refitted following the roof buildup renewal. Lead flashings and weatherings as well as existing copings will be repaired as required. The dormers will be lead clad externally. The internal modern ceiling tiles will be replaced by a painted plastered ceiling.

The existing small rooflight above the second floor stair will be replaced with a slightly larger new rooflight. A new rooflight is proposed above the stair from ground to first floor.

Windows

It is proposed to retain the existing original single glazed windows on the front elevation. The existing double glazed windows to side and rear elevation and at second floor front elevation will be replaced with new painted timber double glazed windows.

The lower ground floor side elevation modern casement window to the Dining area is proposed to be replaced with a traditional painted timber sliding sash window matching the existing sash window details.

Single storey rear extension

Please refer to the lower ground floor proposed alterations.

External walls

Walls will be redecorated only. There appear to be two larger cracks along the side elevation which require helibar stitch repair.

Rainwater good and soil vent pipes

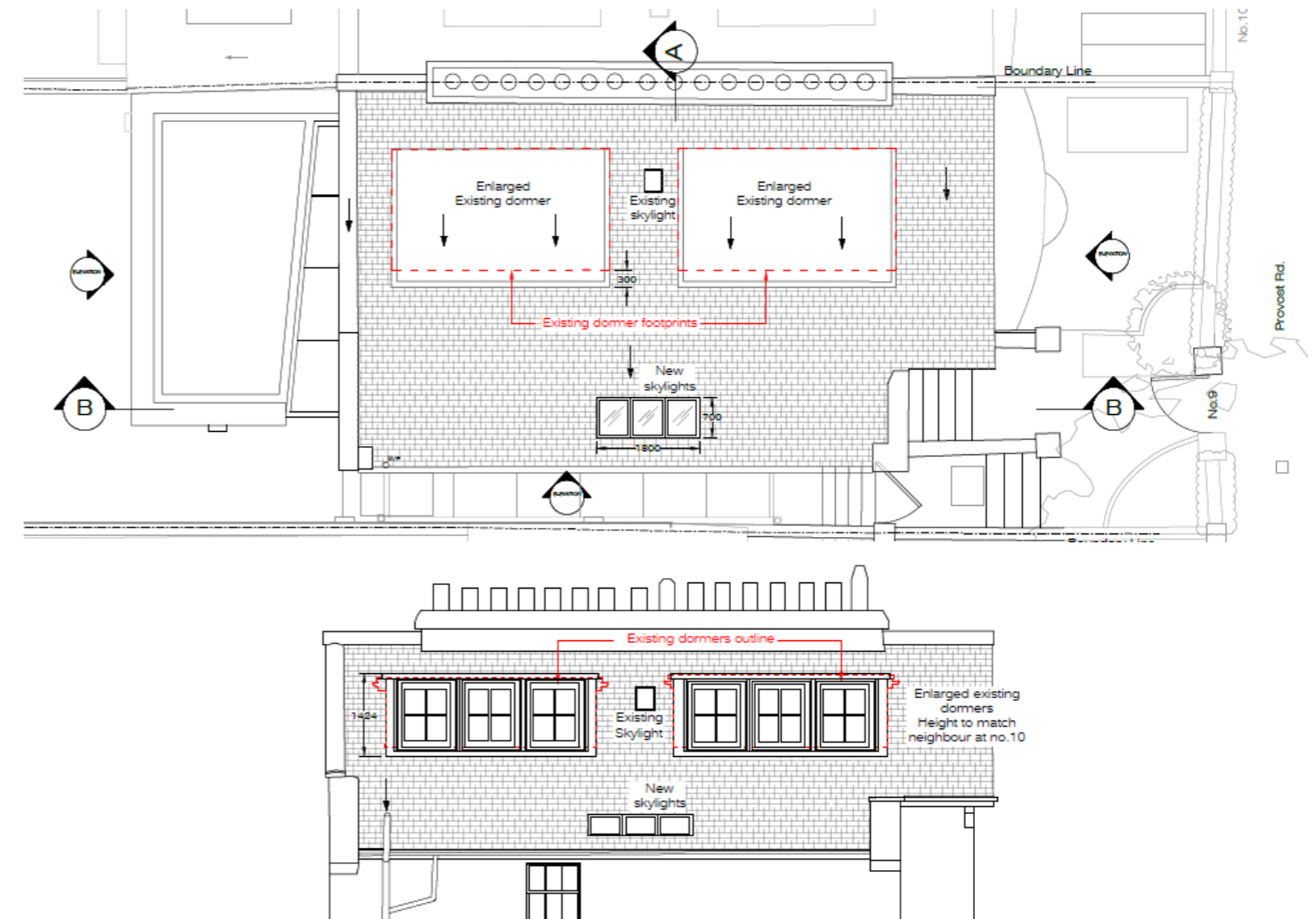
All pipes will be placed along the side elevation. The existing pipework will be replaced to suit the adapted sanitary layout. The appearance will generally be tidied up with only a small number of stub stacks visible on the external side wall. Soil vent pipe and rainwater pipes will be separated.

Landscaping:

A new solid boarded painted timber door is to be installed at the front of side passage way in lieu of the modern steel gate for added security matching the design of nos. 14 & 15.

A slatted timber bin enclosure is proposed to be fitted to the front garden.

The Yorkstone patio to the rear garden around the rear and side of the new rear extension is to be retained. The paving further down the rear garden is proposed to be replaced with grass lawn area and a planter border.



Proposed Roof Plan

Proposed Side elevation (Roof only)

Not to scale

7.0 Access and Other Issues

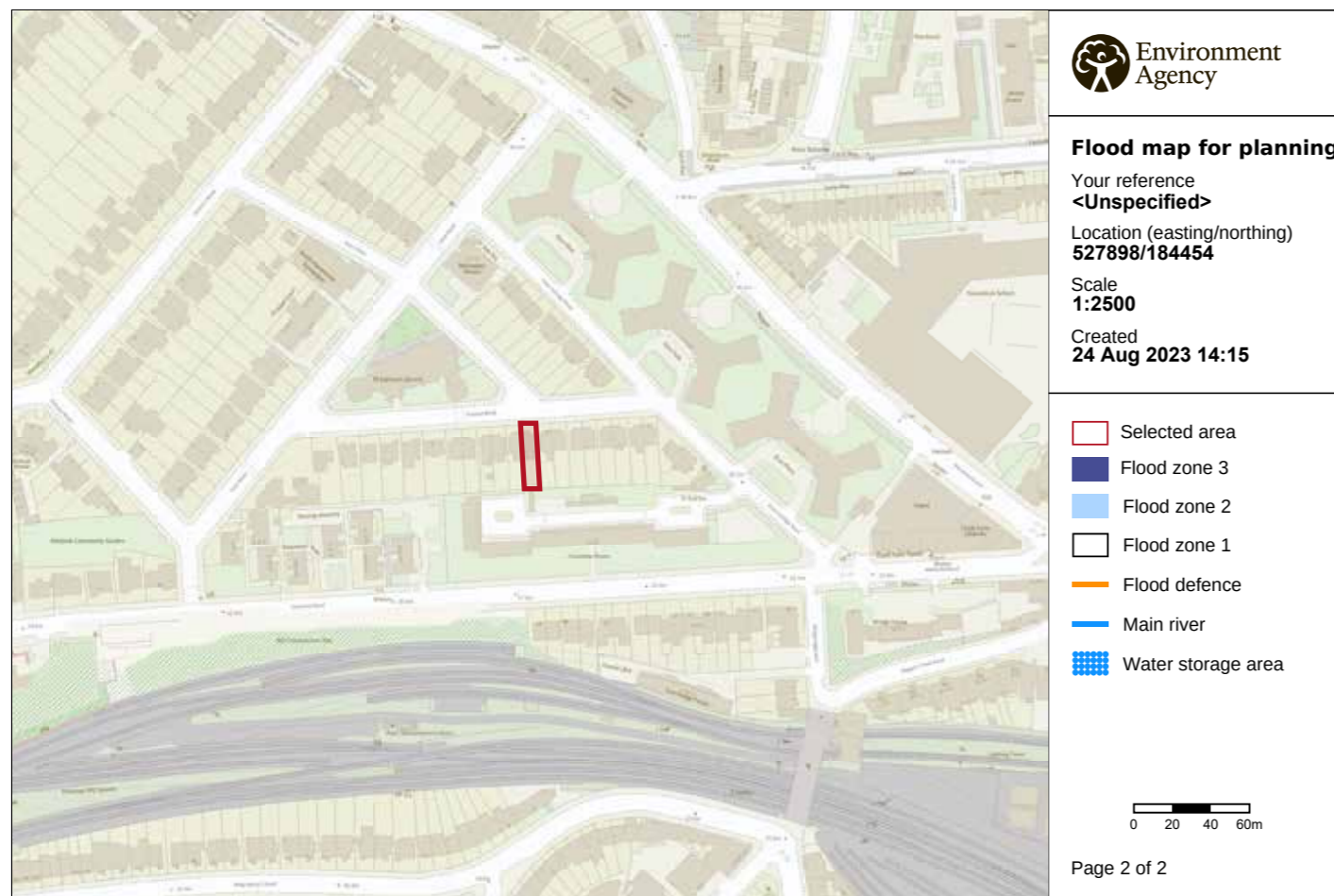
7.1 Access

This application will not affect the existing access arrangements through the front door at the upper ground floor level, or the steps down the side passage way to the side access.

Access to the lower ground floor and to the rear garden through the side passage way will be maintained and improved with the glass covered lean-to structure and associated timber doors.

7.2 Flood Risk

The application site is located within Flood Risk Zone 1, so a Flood Risk Assessment is not required.



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Flood risk map from the Environment Agency

8.0 Conclusion

The new owners of 9 Provost Road intend to live at the house and will use it as their single family dwelling home. A residential occupation by a suitable owner-occupier whose requirements are in tune with the building and who is in possession of sufficient funds to attend to essential maintenance and refurbishment is regarded as the best assurance for a sustainable future for the house. Proposals to allow the house to accommodate this use have been formulated against the assessed significance of the building as a whole and of the various elements within it. Whilst the overwhelming majority of the work proposed consists of the restoration of existing rooms to their original use and quality of finish, it must be clearly understood that this proposal requires limited intervention to provide the basic necessities of modern living.

Interventions are required to equip the house with safe efficient services to current standards. These proposals demonstrate that this is to be achieved unobtrusively and with minimal damage to elements of the existing fabric.

The house must also be provided with kitchen and sanitary facilities suitable for modern use and consistent with the quality of the social and bedrooms which will result from the refurbishment project. Interventions will generally be governed by the principles of minimum interference, reversibility, transparency and discernability.

Most of the works will not be visible from public highways within the Conservation Area. The restoration works of the building and all external changes are positive contributions to the building and the Conservation Area which will otherwise fall into further decrepitude.

The rear extension as well as the new glass covered lean-to structure are contemporary in appearance and have been designed to compliment the host building. The proposed single-storey rear extension will have a minimal impact on the neighbouring gardens. The proposed scheme does not present any overlooking issues beyond those which are already generated by the existing dwelling – which are reasonable given the local density and urban grain.

In conclusion, we believe that the proposed alterations and restoration works will have a positive impact on the host building and the Conservation Area and therefore should be supported.

9.0 XUL Architecture profile

XUL Architecture is an RIBA Chartered award-winning, “commercially minded” and client-centered architecture practice based in Belsize Park in North London. We specialise in bespoke residential projects and have gained a reputation for sensitive and thoughtful interventions. Our vision is to design beautiful buildings that use ingenious ways of bringing natural light to architecture while changing how architectural services are delivered.

We see design as a collaborative process and place great emphasis on our relationships with clients, consultants, and contractors. Combining our energy, extensive knowledge and talents we deliver exciting projects and make a positive difference to each scheme and its local context.

As a RIBA Chartered practice with over 13 years of experience we have successfully worked on circa 300 projects, taking new build and renovation schemes from initial sketches to completion. We have extensive experience working particularly in Camden, Barnet, Haringey and Westminster Councils.

Our innovative design can be seen through our residential portfolio and has been recognized by Barnet Council, who awarded us with the **Barnet Architecture Award 2017** for our Hale Lane project in Mill Hill. In 2014 we also won the **Stuart Grey Award for the best project in Hampstead Garden Suburb** on a listed house (Fig 2).



Fig 2. Hampstead Garden Suburb project



10.0 Appendix 1 - Supporting Planning Policy

10.0 PLANNING POLICY: CONSIDERATION AND EVALUATION

10.1 PLANNING POLICY

The national, regional and local planning documents that are applicable to the Southwark Council and the application site are:

- National Planning Policy Framework 2019;
- The London Plan March 2019;
- Camden Local Plan 2017;
- CPG Design (March 2019)
- CPG Amenity (March 2018)
- CPG Altering and extending your home (March 2019)

Some of the above planning policy documents are introduced below, along with the more relevant policy points.

10.2 NATIONAL PLANNING POLICY FRAMEWORK 2019

The National Planning Policy Framework (NPPF) 2019 replaces the Planning Policy Statements and sets out the Government's planning policies for England. We refer to the NPPF specifically as it is relevant to the application.

As part of its core principles, the NPPF states that:

"Always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings."

Under Section 12, 'Achieving well-designed places', Paragraph 124 states:

"The creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities."

Paragraph 127 states:

"Planning policies and decisions should ensure that developments:

- *will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*
- *are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;"*

In Paragraph 130:

"Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents. Conversely, where the design of a development accords with clear expectations in plan policies, design should not be used by the decision-maker as a valid reason to object to development."

And in Paragraph 131:

"In determining applications, great weight should be given to outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings."

Under Section 16, "Conserving and enhancing the historic environment", Paragraph 185 states:

"Plans should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. This strategy should take into account:

- *the desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation;*
- *the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring; and*
- *opportunities to draw on the contribution made by the historic environment to the character of a place."*

10.0 Appendix 1- Supporting Planning Policy

10.3 CAMDEN LOCAL PLAN 2017

The Camden Local Plan plays a key role in Camden's development plan. In this document we reference points that refer design and heritage, on guidelines to preserve and enhance historic context and the policies regarding working with listed buildings.

On Design and Heritage, Local Plan Policy D1 states that

"The Council will require that development:

- *Respects local context and character;*
- *Preserves or enhances the historic environment and heritage assets in accordance with Policy D2 Heritage;*
- *Comprises details and materials that are of high quality and complement the local character;*
- *Promotes health;*
- *Responds to natural features and preserves gardens and other open space;*
- *Preserves strategic and local views."*

Paragraph 7.2 states:

"The Council will require all developments, including alterations and extensions to existing buildings, to be of the highest standard of design and will expect developments to consider:

- *character, setting, context and the form and scale of neighbouring buildings;*
- *the character and proportions of the existing building, where alterations and extensions are proposed;*
- *the prevailing pattern, density and scale of surrounding development;*
- *the impact on existing rhythms, symmetries and uniformities in the townscape;*
- *the composition of elevations;*
- *the suitability of the proposed design to its intended use;*
- *inclusive design and accessibility;*
- *its contribution to public realm and its impact on views and vistas; and*
- *the wider historic environment and buildings, spaces and features of local historic value."*

Also on Design and Heritage, Local Plan Policy D2 states that to preserve or enhance the borough's listed buildings, the Council will:

e. "require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area.

f. resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area;

g. resist development outside of a conservation area that causes harm to the character or appearance of that conservation area;

h. preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden's architectural heritage. It also states that the Council will resist development that would cause harm to significance of a listed building through an effect on its setting; and