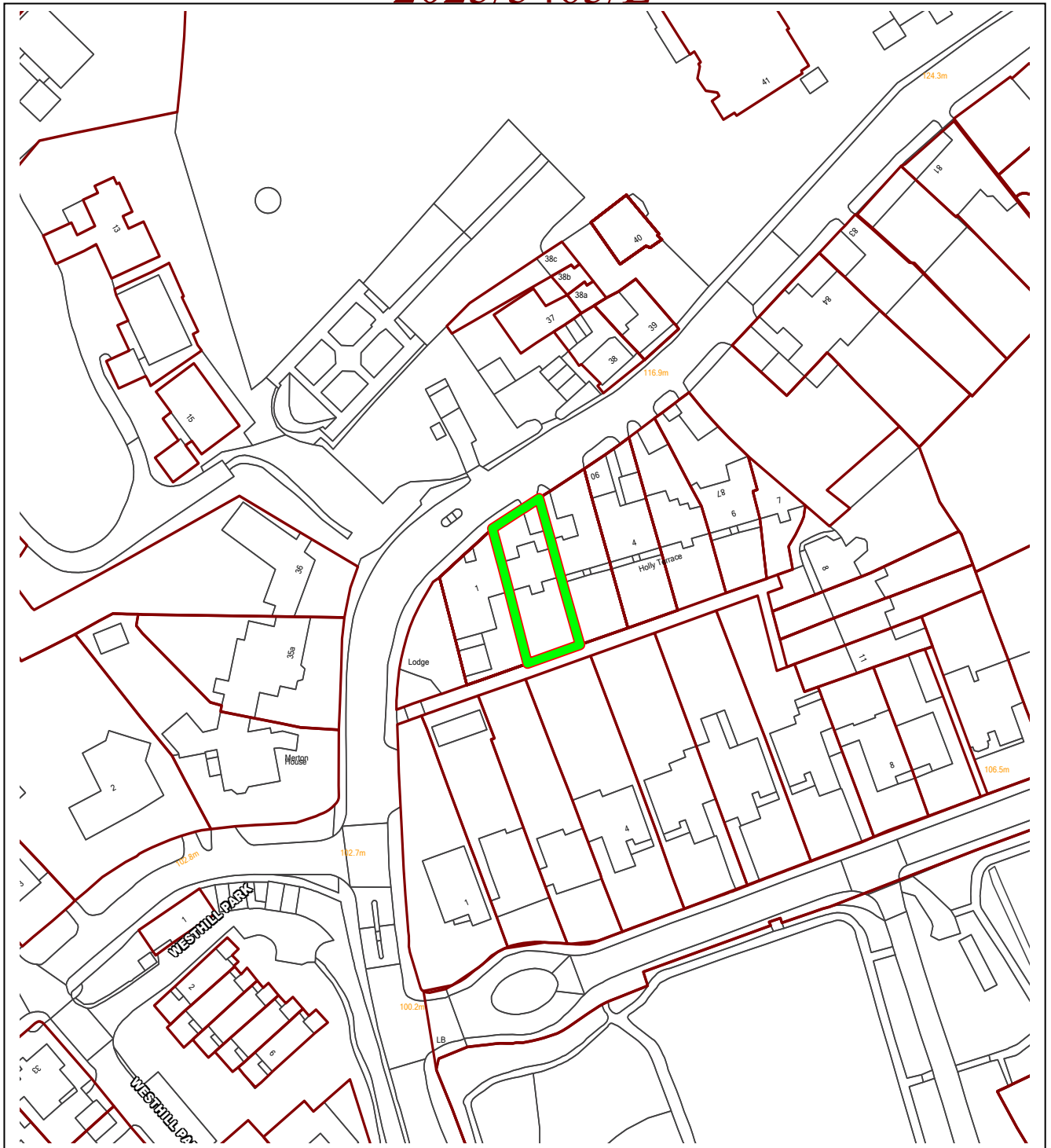


2 Holly Terrace - 2023/3329/P & 2023/3463/L



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Site photos



1. View towards 2 Holly Terrace from Highgate West Hill (red line identifies property boundary) (above)



2. View towards rear closet wing (non-original door to be replaced). The proposed infill extension would be to left of the closet wing and between the existing garage and rear elevation



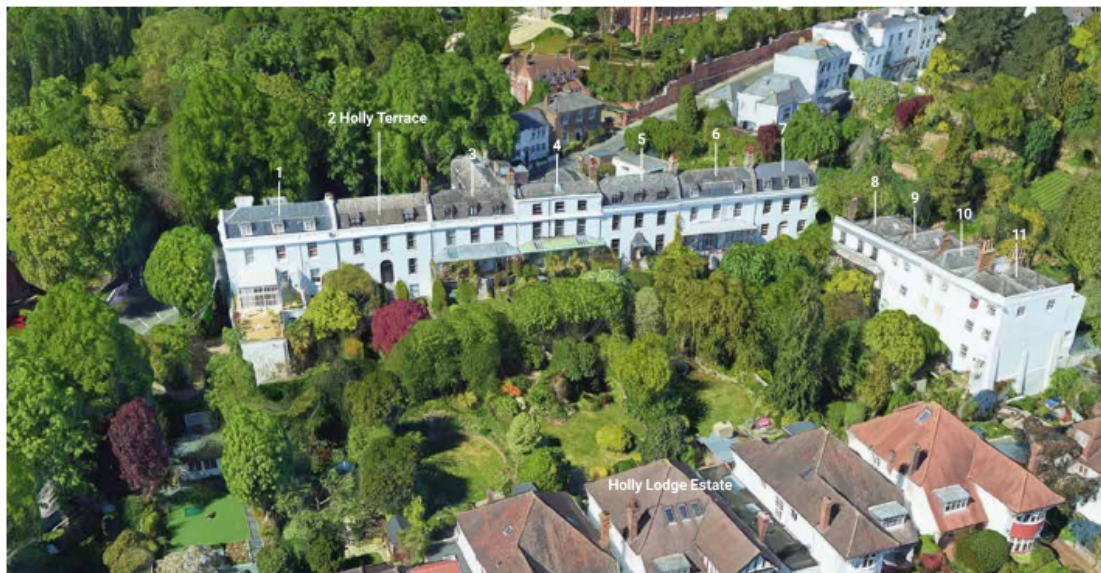
3. View towards rear elevation showing limited visibility of basement level (1) and view of basement level (2) which would be enclosed with glazed roof and door.



4. View of sunken passage towards rear gate (above), part of which would be enlarged



5. View towards south façade of 2 Holly Terrace (above)



3, 4 Holly Terrace



4 Holly Terrace



5 Holly Terrace



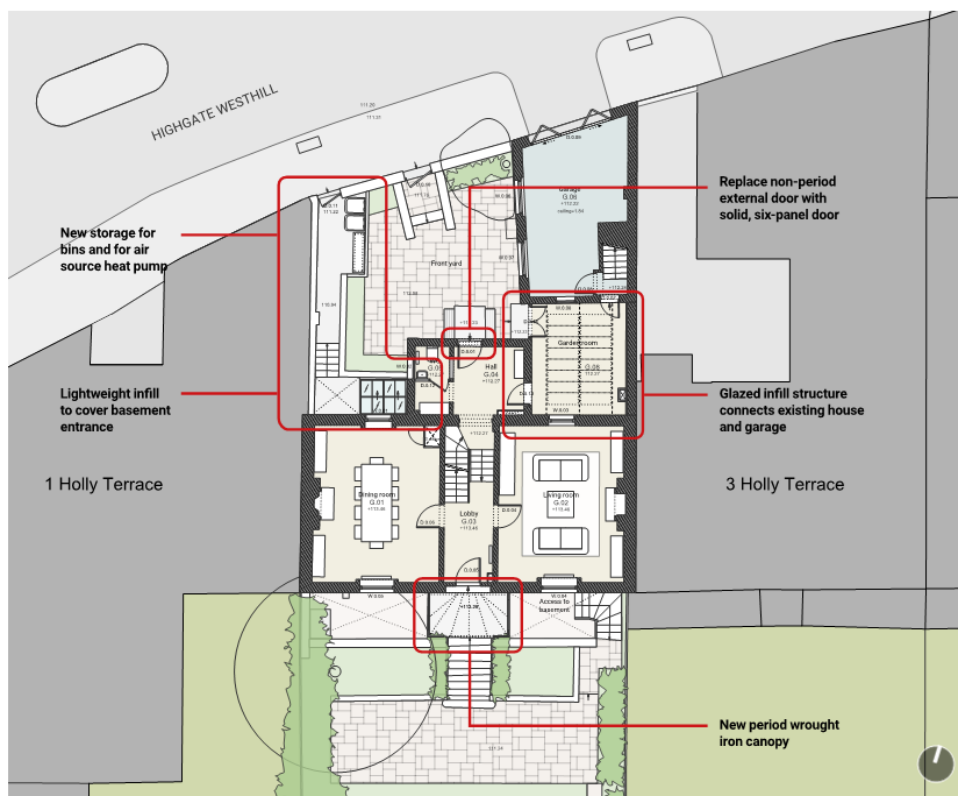
5 Holly Terrace (c. 1961 RIBA)

6. Aerial view of 1-7 Holly Terrace showing existing canopies and porches at numbers 3, 4, 5 and 6 (above)

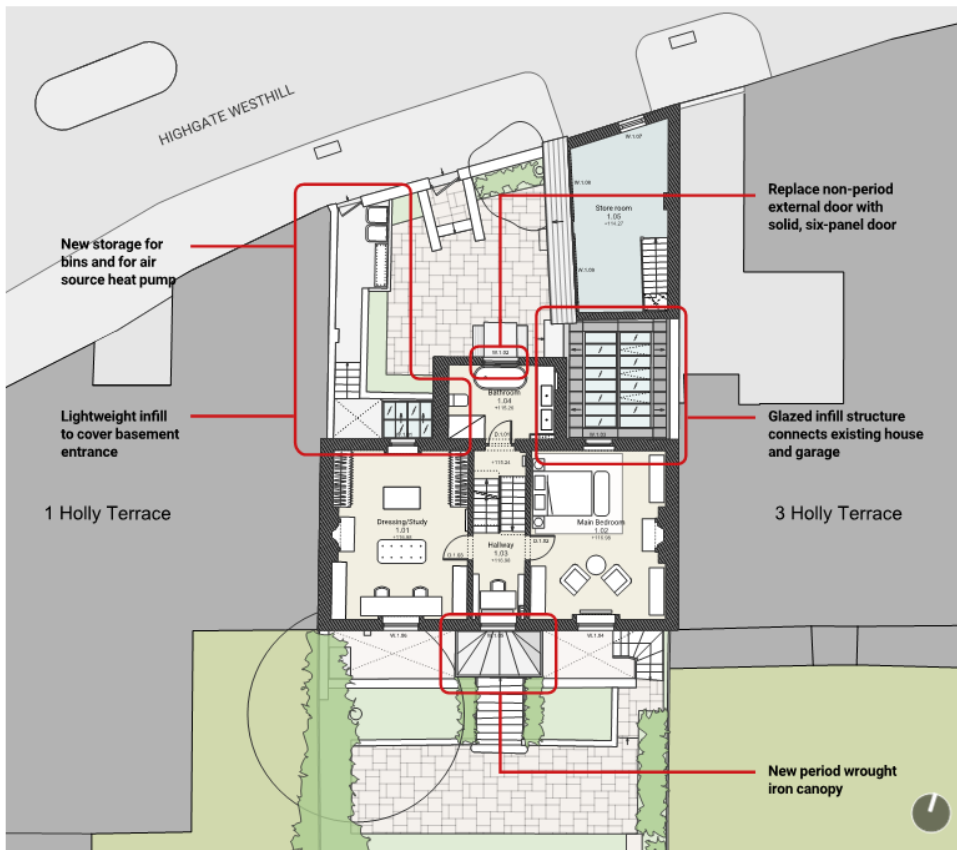
Drawings



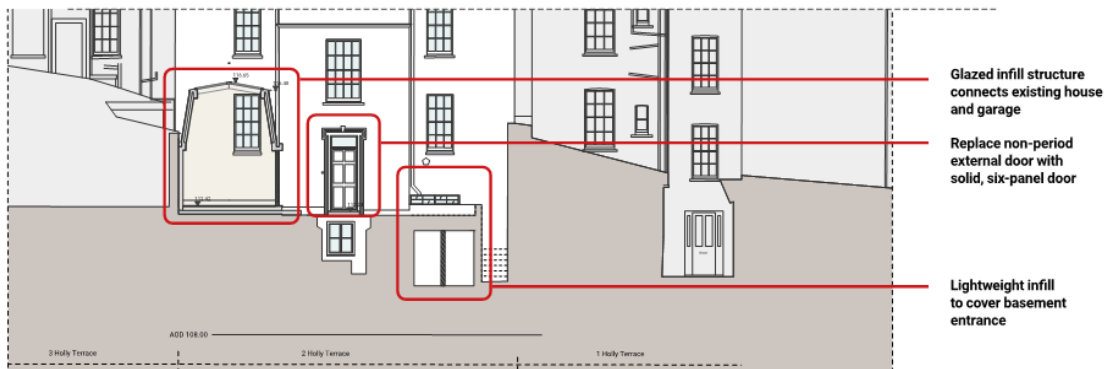
1. Existing ground floor plan



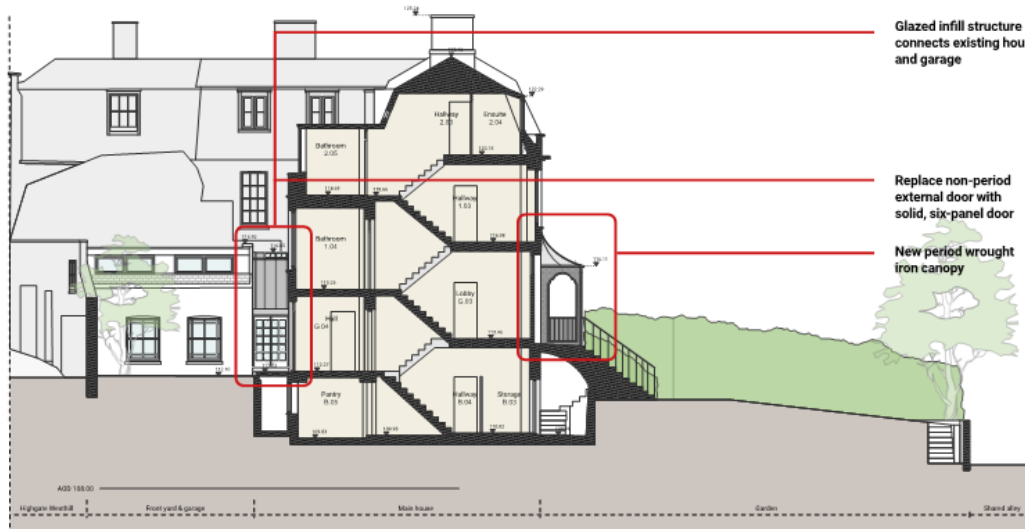
2. Proposed ground floor plan



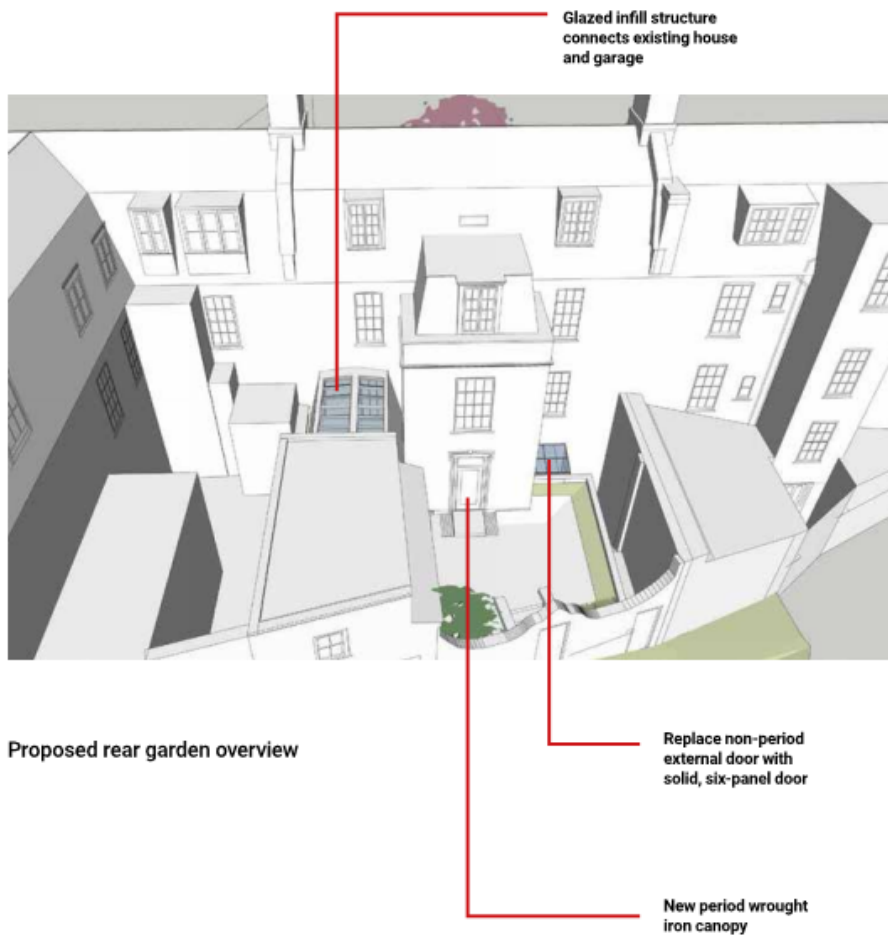
3. Proposed first floor plan



4. Proposed rear (north) elevation (above)



5. Proposed section A-A (above)



6. Axonometric view (above)



7. Existing south elevation

Delegated Report (Members Briefing)		Analysis sheet	Expiry Date:	06/10/2023
		N/A	Consultation Expiry Date:	24/09/2023
Officer			Application Number(s)	
David Peres Da Costa			1) 2023/3329/P 2) 2023/3463/L	
Application Address			Drawing Numbers	
2 Holly Terrace London N6 6LX			Refer to Draft Decision Notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
<p>1) Erection of glazed roof and glazed doors to create lobby at basement level, erection of French doors and mansard roof with glazing to create infill extension between rear (north) elevation and existing garage, replacement rear entrance door at ground floor level, enlargement of courtyard passage at rear to provide area for bin store and insertion of wrought iron canopy above main door on front (south) elevation.</p> <p>2) Erection of glazed roof and glazed doors to create lobby at basement level (including replacement of window with door), erection of French doors and mansard roof with glazing to create infill extension between rear (north) elevation and existing garage (including insertion of door to eastern elevation of existing closet wing), replacement rear entrance door at ground floor level, enlargement of courtyard passage at rear to provide area for bin store and insertion of wrought iron canopy above main door on front (south) elevation.</p>				
Recommendation(s):		1) Grant conditional planning permission 2) Grant listed building consent		
Application Type:		1) Full Planning Permission 2) Listed Building Consent		

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers: 2023/1505/P & 2023/1725/L			No. of responses	00	No. of objections	00
Adjoining Occupiers: 2023/1319/P 2023/1721/L			No. of responses	00	No. of objections	00
Summary of consultation responses:	A site notice was displayed from 25/08/23 to 18/09/23 and the application was advertised in the local paper on 31/08/23 (expiring 24/09/23). No consultation responses have been received.					
CAAC/Local groups comments:	Highgate CAAC – Objection 1. Camden Planning Officers will be aware that the Highgate Conservation Area Committee has been concerned by the large number of Planning Applications, many of them overlapping, concerning this property. It would seem that work started before the proper consents had been granted, see our email to Mr McKinstry and Ms Bond, of 10th January 2023, and seems to have continued ever since. We have objected to and commented on the previous applications with mounting concern at the piecemeal approach to the development. 2. Under these circumstances, we would ask that this application is considered in the context of the previous applications and permissions and that special consideration is given to the preservation and enhancement of the Conservation Area, the integrity of 2 Holly Terrace itself, and the setting and integrity of Holly Terrace, as a whole. The Heritage Listing says, Grade II List Entry Number:1379112 ... 2-11 HOLLY TERRACE ... Terraced houses, Nos 1, 1A and 2-7 facing south and Nos 8-10 west; approached by a gated path leading off Highgate West Hill.....Nos 1, 1A and 2-7, c1806-13; All built by George Smart for the Cooke family. Nos 1, 1A and 2-7: stucco. Mostly round-arched doorways with reeded surrounds, radial fanlights and half glazed doors..... Recessed sashes with good cast-iron balconies to 1st floor windows.No.5 with good delicate and intricate cast-iron porch with canopy, approached by steps with similar cast-iron handrails. Pevsner says, "...eleven houses with some delightful verandas, balconies and gates". [our italics] 3. The drawings should include one of the entire terrace so the proposal can be put into context. Looking at the various houses; 3 and 4 both have full length balconies serving as porches. This seems to be common practice with terrace houses of the period. They are slightly different from each other, but both run the full width of the house. The balcony at number 3 can be seen in a photograph of the late 1920's, so it has been in situ for a long time. The balconies at 6 and 7 are different again but both run the full width of the house.					

The porch at number five, the porch referenced by the applicant, is the only one that is there for the doorway alone. Although attractive in its own right, it does not have the simplicity and elegance of line associated with the late Georgian/ Regency Period. The style is more reminiscent of the more elaborate designs from later in the century.

It would seem the proportions of the house in the drawings is different from the proportions in reality. This affects the relationship of the proposed porch to the house.

We believe the proposed porch is too bulky and dominant. It hides the significant, "round-arched doorways with reeded surrounds, radial fanlights and half glazed doors" noted in the listing. It is unclear whether any kind of porch or balcony is appropriate in this context but certainly little thought has been given to the design of the proposed porch and there is none of the detail that one would expect for such a significant change.

4. Camden may wish to consult with English Heritage on the setting of the listed Holly Terrace.
5. Upon closer inspection, it would seem that the fenestration of the lower windows will have been significantly altered. We would ask whether permission to change these windows has been given in a previous application?

Officer's Comments:

1. *Officers are not aware of relevant works taking place without consent. The Heritage Impact Assessment submitted with this application sets out the various works which have occurred and the consents under which they occurred, which accords with the Council's records.*

The Conservation officer has been on site twice earlier this year following concerns raised by HCAAC and has written to the CAAC to explain the nature of the works and to advise that Conservation officers have been in discussion with the applicant on the scope of like for like repairs. The applicant has been made aware that other works will require planning permission / listed building consent.

2. *Details of previous applications are set out in the Planning History below. The Conservation officer who provided observations on this application has also provided advice on previous applications, ensuring that works are considered in the round. The statutory requirements for assessment are set out in paragraph 2.2 and the setting and integrity of Holly Terrace as a whole, has been considered.*
3. *The principle of a porch is acceptable given that this feature is found on other properties in this terrace. Details of the porch would be secured by condition. For a full assessment of the porch, please refer to paragraph 2.19-2.22.*
4. *Government Direction sets out when Historic England should be consulted. For a Grade II listed building such as this property, Historic*

	<p><i>England should only be consulted on “relevant works”. The definition of relevant works includes internal or external demolition but does not include the proposed works which are the subject of this application.</i></p>
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- | | |
|--|--|
| | <p>5. <i>There has been no consent to alter the main windows to the dwelling (aside from the replacement of a later window with a doorway in the lightwell part of the closet wing) either proposed under this application or within any previous application.</i></p> |
|--|--|

Site Description

The site is a three storey mid-terrace property on the south side of Highgate West Hill with its principal elevation facing south towards a gated pedestrian access leading off Highgate West Hill. The property is occupied as a single dwelling house. The property forms part of a terrace which is Grade II listed (1, 1A and 2-11 Holly Terrace including 87 And 89 Highgate West Hill and 9a Holly Lodge Gardens). Numbers 1, 1A and 2-7 date from c1806-13 and are stucco with slate mansard roofs with dormers and basements.

The site falls within the Highgate Village Conservation Area. Immediately to the south of Holly Terrace is the Holly Lodge Estate Conservation Area. The site also falls within the Highgate Neighbourhood Plan Area.

Relevant History

2023/0082/P: Erection of dormer (south elevation) and replacement rooflight (north elevation). Granted 08/06/2023

2023/0467/L: Works to roof comprising new slates, lead work, insulation, repair to existing dormers, formation of dormer (south elevation), replacement rooflight (north elevation) and the repair and replacement of windows. Granted 08/06/2023

2023/1505/P: Works to garage, including replacement insulated roof and installation of electric sectional sliding garage door (to replace bi-fold garage door). Granted 08/08/2023

2023/1725/L: Works to garage, including replacement insulated roof, replacement windows at ground and first floor to rear and side elevation, repair windows at ground and first floor to side and front elevation, installation of electric sectional sliding garage door (to replace bi-fold garage door), and installation of bathroom and internal insulation at first floor level. Granted 08/08/2023

2023/1319/P: Repaving of lightwell and enlargement of paved garden area to south of existing dwelling. Granted 08/08/2023

2023/1721/L: Repaving and enlargement of paved area in garden and works to lightwell, including repaving, repair to steps and removal of redundant water storage tank, all works to south of existing dwelling. Granted 08/08/2023

2022/5517/L: Internal works to building to include works to existing vaults and basement, works to kitchen fireplace, new flooring works to basement floor, removal of glazed screen on stair, electrical works (rewiring and lighting) reconfiguration of doorway (block existing and new opening) to WC off Hall, and the repair and replacement of internal doors. Granted 14/02/2023

Relevant policies

NPPF 2023

London Plan 2021

Camden Local Plan 2017

Policy A1 Managing the impact of development

Policy D1 Design

Policy D2 Heritage

Highgate Neighbourhood Plan

Policy DH2: Development Proposals in Highgate's Conservation Areas

Policy DH3: Rear Extensions

Policy DH4: Side Extensions

Camden Planning Guidance

Highgate Conservation Area Appraisal and Management Strategy

Assessment

1. Proposal

1.1. The applications seek approval for:

- The insertion of a glazed roof and glazed doors to create a lobby (2.2sqm) at basement level (this would include the replacement of an existing window with a door);
- The creation of an infill extension in the space between the rear (north) elevation and the existing garage. This area is already enclosed on three sides and partially enclosed on the western side, so this part of the development proposal only consists of the insertion of French doors and a mansard roof (standing seam zinc) with glazing. The infill extension would measure approximately 3.4m by 4m. It would include the insertion of a door to the eastern elevation of existing closet wing linking the extension to the existing rear hall;
- Replacement rear entrance door at ground floor level;
- Enlargement of courtyard passage at rear to provide area for bin store; and
- Insertion of wrought iron canopy above main door on front (south) elevation.

2. Assessment

2.1. The main issue is the impact of the proposed alterations on the listed building and the listed terrace of which it forms a part, as well as the impact on the wider conservation area.

2.2. Statutory Requirements

2.3. Sections 16(1) and 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that special regard be given to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses when considering applications for development which affects a listed building or its setting.

2.4. Likewise, Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area when considering applications relating to land or buildings within that Area.

2.5. Heritage and Design

2.6. The property is a Grade II listed building within the Highgate Village Conservation Area. Its significance includes its architectural design and materials, plan form, evidential value as an early C19th house and its positive contribution to the character and appearance of the conservation area. The conservation area statement notes the following:

2.7. *"The Holly Terrace properties overlook the south-facing slope, forming a line of houses of extensive group value, with an entity in their own right in terms of scale, date and aura of independence".*

- 2.8. *"There is a great contrast between the front and rear of the terrace. The rear of Holly Terrace backing onto Highgate West Hill has an assortment of rear extensions, garages, service yards and rear boundary walls".*
- 2.9. Creation of rear lobby at basement level
- 2.10. At pre-application stage it was advised that the total enclosure of the rear lightwell would cause harm to the significance of the listed building and would not be supported. This element of the proposals has been revised to become a covered lobby between the kitchen and the wine cellar in the vaults. The roof design has been changed to a shallower pitch and lower overall height, with the top parts of the lean-to roof just rising over the existing retaining wall. The result is a structure with far less visual impact than the pre-application proposals which reads more clearly as a porch to the rear door as opposed to a completely infilled lightwell. As such, the proposals are not considered to cause harm to the significance of the listed building.
- 2.11. Creation of rear infill extension (north elevation)
- 2.12. The proposed extension is considered to be acceptable in principle, given the location to the rear and given the extension would be no greater in height than the extant garage.
- 2.13. The materials of the extension would be chiefly composed of traditional small-pane French windows with timber glazing bars, with roof in standing-seam zinc. The rooflights would be confined to the top centre of the roof.
- 2.14. The existing rear drawing room window would be retained meaning the planform of the principal rooms and existing circulation between rooms would be retained. The access into the extension would be from an opening made in the eastern elevation of the later closet wing extension. The proposal would not cause harm to the planform or historic fabric given the point of access is through a later addition to the building designed to aid circulation.
- 2.15. Rear entrance door
- 2.16. It is proposed to replace the existing, modern, glazed and metal door to the ground-floor entrance in the closet wing with a solid, timber, six-panelled door. This is considered to be appropriate to the character of the main house and is not considered to cause harm to significance.
- 2.17. Enlargement of rear courtyard passage
- 2.18. The enlargement of the rear sunken passage to accommodate bins is considered acceptable. This is one of the most concealed and ancillary parts of the site, being near the back gate, and the wall affected has been altered already. Within the confines of the site it is the least harmful location for the proposed bin storage/services area.
- 2.19. Canopy above front door (south elevation)
- 2.20. It is proposed to erect a metal entrance porch in the "veranda" style of later porches found elsewhere on the listed Holly Terrace properties (numbers 3, 4, 5 and 6 Holly Terrace). This would be a reversible alteration, in the style of the C19th, similar to the arrangement seen on Number 5 Holly Terrace. It is not considered to cause harm to the significance of the listed building or its contribution to the character and appearance of the conservation area. It is also noted that the terrace is not readily appreciated as a uniform composition when seen from the southern approach.
- 2.21. The Highgate CAAC has raised concerns with the bulkiness and dominance of the proposed canopy and that it would hide significant features noted in the listing.

2.22. The proposed porch would be a reversible addition and is considered acceptable subject to appropriate design and materials. There is insufficient detail to explain how the porch would be attached to the listed fabric of the building and its steps, railings etc, and there is not enough information on the materials of the porch. It is also unclear why the apex of the canopy on the proposed porch needs to be as high as shown on the drawings, given that the apex of the existing porch on Number 5 is considerably lower. A condition is therefore recommended to secure full details of the porch and its method of attachment to ensure these details are acceptable.

2.23. Amenity

2.24. Given the limited scope of the proposed alterations there would be minimal impact on neighbouring amenity.

2.25. Conclusion

2.26. The proposed works do not affect the significance of the listed building or harm its contribution to the character and appearance of the conservation area. Therefore, it is recommended that planning permission and listed building consent be granted.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 16th October 2023, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2023/3329/P
Contact: David Peres Da Costa
Tel: 020 7974 5262
Email: David.PeresDaCosta@camden.gov.uk
Date: 9 October 2023

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk

Planning Resolution Ltd
67 High Street
Leatherhead
KT22 8AH
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
2 Holly Terrace
London
Camden
N6 6LX

DECISION

Proposal:

Erection of glazed roof and glazed doors to create lobby at basement level, erection of French doors and mansard roof with glazing to create infill extension between rear (north) elevation and existing garage, replacement rear entrance door at ground floor level, enlargement of courtyard passage at rear to provide area for bin store and insertion of wrought iron canopy above main door on front (south) elevation.

Drawing Nos:

Existing drawings: DR_010; DR_090; DR_099; DR_0100; DR_0101; DR_0102; DR_0103;
DR_0120; DR_0122; DR_0140;

Proposed drawings: DR_190-1; DR_199-1; DR_0200-1; DR_0201-1; DR_0202-1;
DR_0203-1; DR_0220-1; DR_0222-1; DR_0240-1; BA180 - 04 - 480; BA180 - 04 - 481

Supporting documents: Heritage Impact Assessment prepared by Asset Heritage Consulting dated August 2023; Design and Access Statement prepared by Alistair Downie dated 11 August 2023; Statement of Significance prepared by Asset Heritage Consulting dated June 2022

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Existing drawings: DR_010; DR_090; DR_099; DR_0100; DR_0101; DR_0102; DR_0103; DR_0120; DR_0122; DR_0140;

Proposed drawings: DR_190-1; DR_199-1; DR_0200-1; DR_0201-1; DR_0202-1; DR_0203-1; DR_0220-1; DR_0222-1; DR_0240-1; BA180 - 04 - 480; BA180 - 04 - 481

Supporting documents: Heritage Impact Assessment prepared by Asset Heritage Consulting dated August 2023; Design and Access Statement prepared by Alistair Downie dated 11 August 2023; Statement of Significance prepared by Asset Heritage Consulting dated June 2022

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where

development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

- 3 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.
- 4 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 5 This permission does not grant approval for any plant and you are reminded to apply for planning permission for air source heat pumps or similar and that such an application would need to be accompanied by an acoustic assessment carried out by a suitably qualified and competent consultant with reference to the noise and vibration thresholds in Appendix 3 of the Camden Local Plan and conforming to the relevant British standards.

DECISION

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer

Application ref: 2023/3463/L
Contact: David Peres Da Costa
Tel: 020 7974 5262
Email: David.PeresDaCosta@camden.gov.uk
Date: 9 October 2023

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk

Planning Resolution Ltd
67 High Street
Leatherhead
KT22 8AH
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
2 Holly Terrace
London
N6 6LX

DECISION

Proposal:

Erection of glazed roof and glazed doors to create lobby at basement level (including replacement of window with door), erection of French doors and mansard roof with glazing to create infill extension between rear (north) elevation and existing garage (including insertion of door to eastern elevation of existing closet wing), replacement rear entrance door at ground floor level, enlargement of courtyard passage at rear to provide area for bin store and insertion of wrought iron canopy above main door on front (south) elevation.

Drawing Nos:

Existing drawings: DR_010; DR_090; DR_099; DR_0100; DR_0101; DR_0102; DR_0103;
DR_0120; DR_0122; DR_0140;

Proposed drawings: DR_190-1; DR_199-1; DR_0200-1; DR_0201-1; DR_0202-1;
DR_0203-1; DR_0220-1; DR_0222-1; DR_0240-1; BA180 - 04 - 480; BA180 - 04 - 481

Supporting documents: Heritage Impact Assessment prepared by Asset Heritage Consulting dated August 2023; Design and Access Statement prepared by Alistair Downie dated 11 August 2023; Statement of Significance prepared by Asset Heritage Consulting dated June 2022

The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans:

Existing drawings: DR_010; DR_090; DR_099; DR_0100; DR_0101; DR_0102; DR_0103; DR_0120; DR_0122; DR_0140;

Proposed drawings: DR_190-1; DR_199-1; DR_0200-1; DR_0201-1; DR_0202-1; DR_0203-1; DR_0220-1; DR_0222-1; DR_0240-1; BA180 - 04 - 480; BA180 - 04 - 481

Supporting documents: Heritage Impact Assessment prepared by Asset Heritage Consulting dated August 2023; Design and Access Statement prepared by Alistair Downie dated 11 August 2023; Statement of Significance prepared by Asset Heritage Consulting dated June 2022

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 4 Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

a) Details of the connections of the proposed front entrance porch to existing fabric, including drawings (plan, elevation and section) at a scale of 1:10, materials, finish and method of fixing into the plinth, wall, railings and any other part of the building where connection is proposed.

b) Samples and/or manufacturer's details of all materials to be used in respect of the erection of the front entrance porch;

c) Section and elevation drawings of the proposed front entrance porch indicating

the height and width in relation to the façade of the main elevation.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

Informative(s):

- 1 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification may require a further application for listed building consent.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer

DECISION