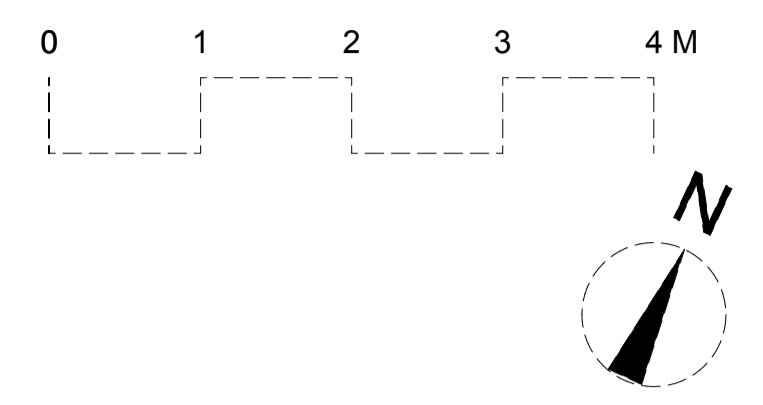


4 WADHAM GARDENS

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Off-street bin storage area, within timber leak structure to minimise visual impact in Conservation Area as well as screening with plants is proposed.

Proposed front elevation, set back from main original house. Bay window is proposed, rather than large garage door, more in keeping with the house front facade architecture and Conservation Area.

Line of existing building / internal car garage space.

Relocation of garage to below ground space. Car lift in finished paving in granite or similar, pattern and colour to be agreed. No increase in parking provision, only relocation.

New proposed entrance portico in stone same as facade details.

Paved area in stone to match existing.

New paved driveway in granite or similar, pattern and colour to be agreed.

Line of projected ceiling of proposed portico, only in front of door.

Existing raised stone paved area.

Existing section demolished and rebuilt to be in keeping with proposed scheme design.

Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P

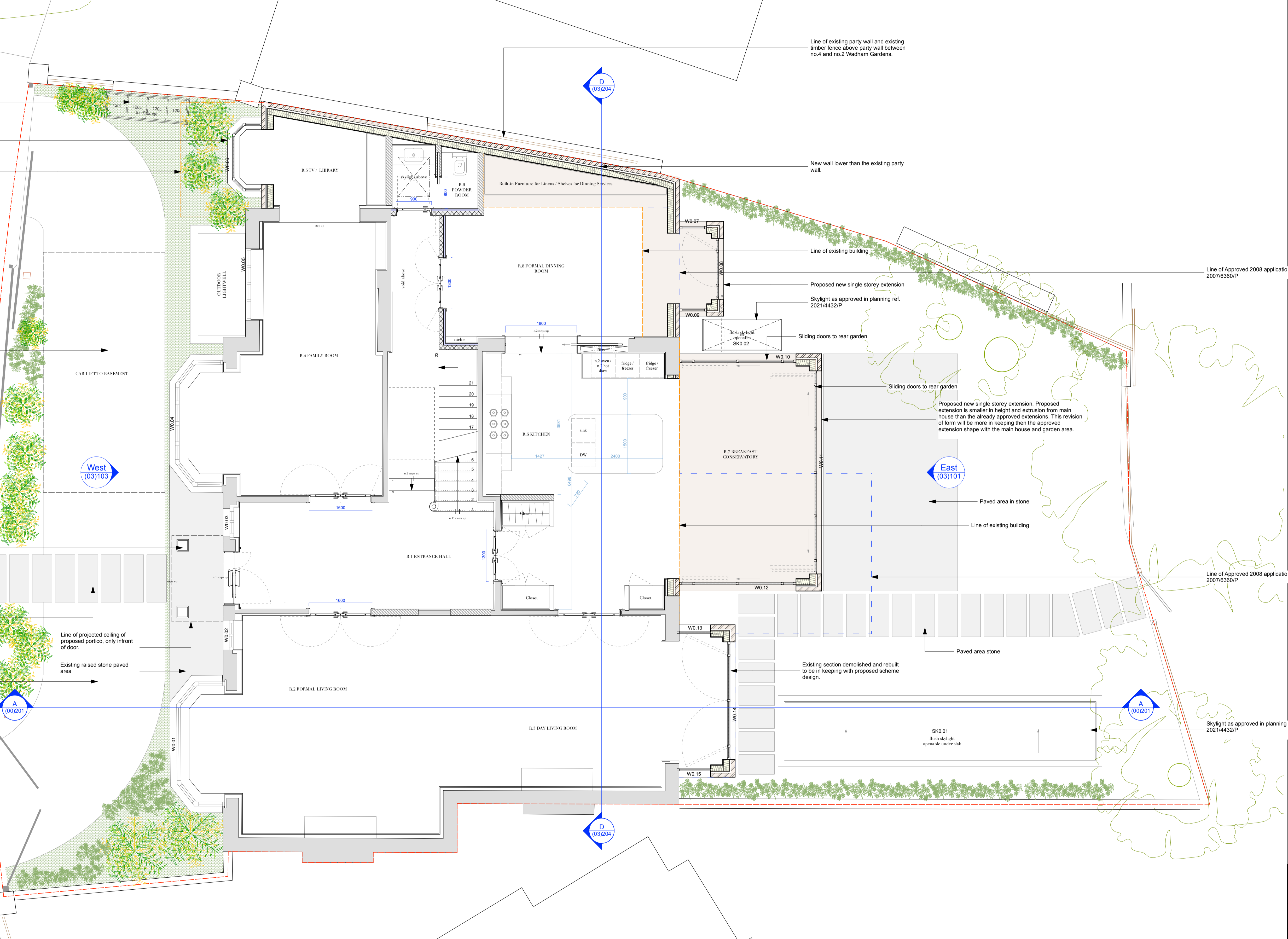
Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P



Line of Approved 2008 application 2007/6360/P

Line of Approved 2008 application 2007/6360/P

Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P

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Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P

Skylight as approved in planning ref. 2021/4432/P

64 ELSWORTHY ROAD

**Key:**

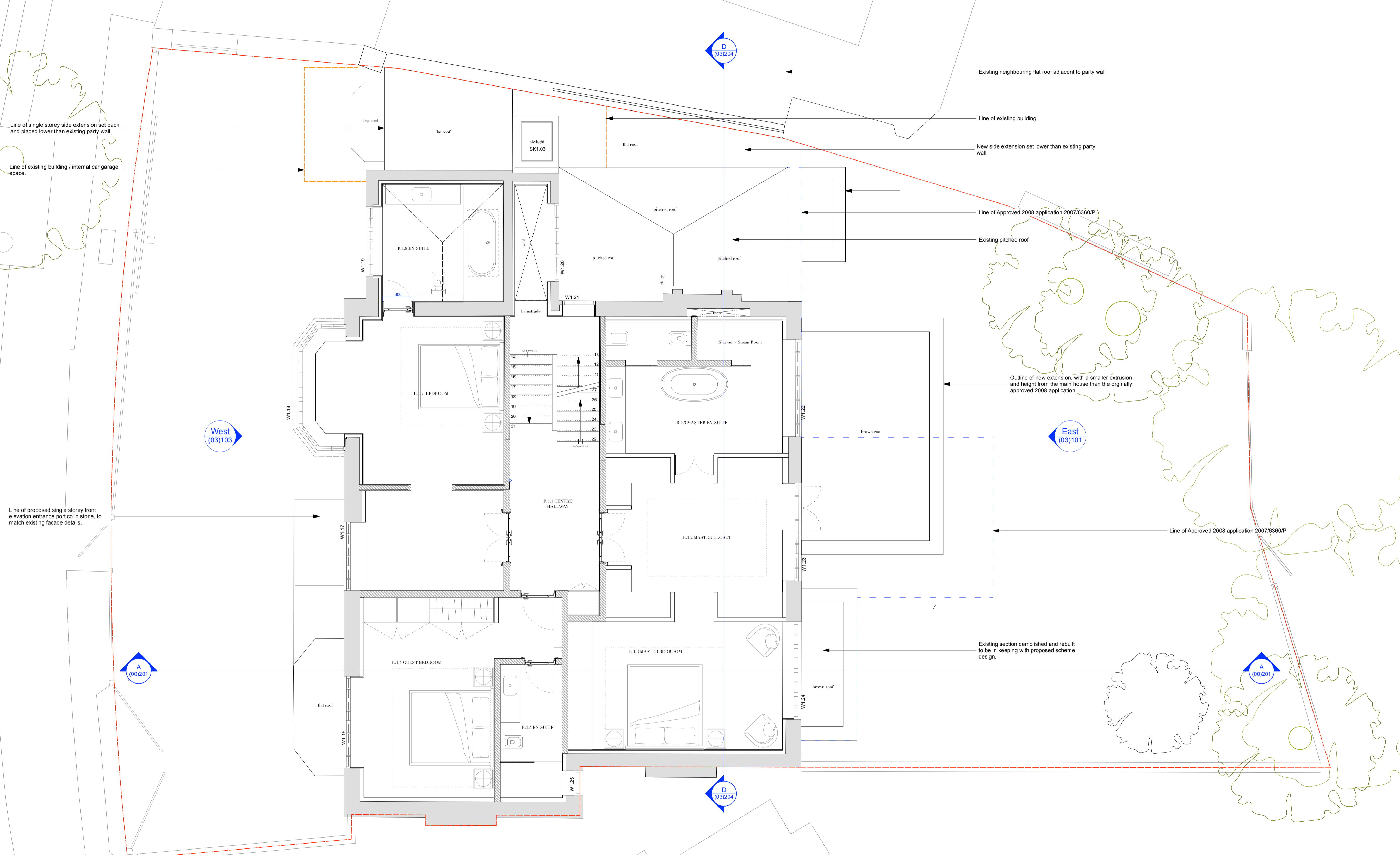
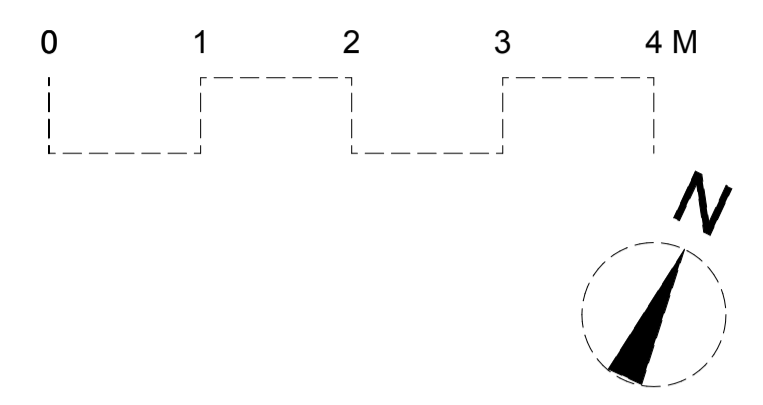
- - - - -	Site Boundary	Existing Structure
- - - - -	Approved Planning outline 2008	New structure
- - - - -	Existing Outline	Demolition

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project:	2 Wadham Gardens, NW3 3DP, London	project no:	2105
scale:	1:50 @ A1	drawn by:	Giuseppa M.
rev:	A	date:	January 23
drawing no:	2105(02)000	dwg status:	Planning

Rev	Date	Notes
-	30.01.23	Issue to Camden Council
A	09.08.23	Issue to Camden Council for approval

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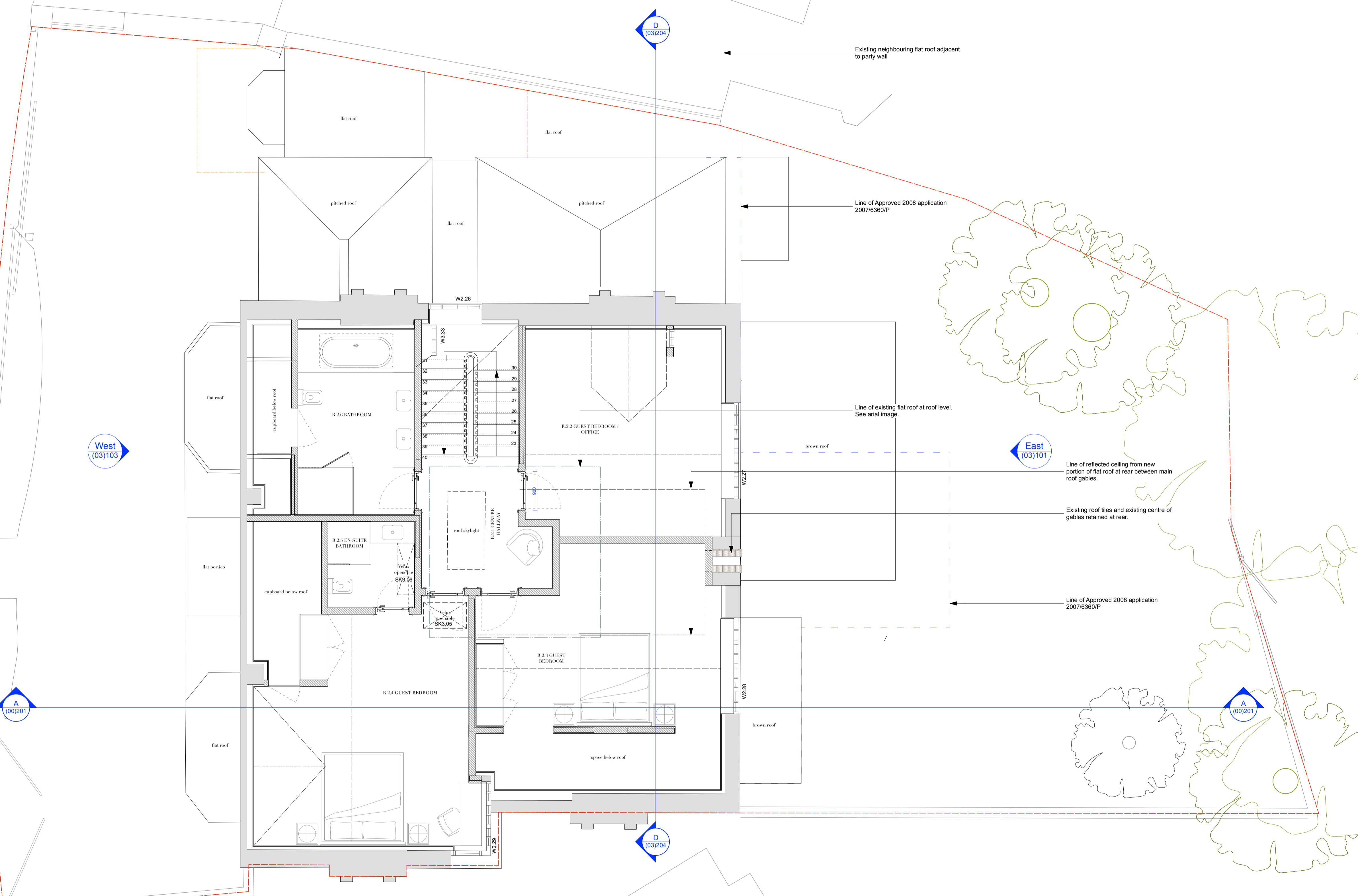
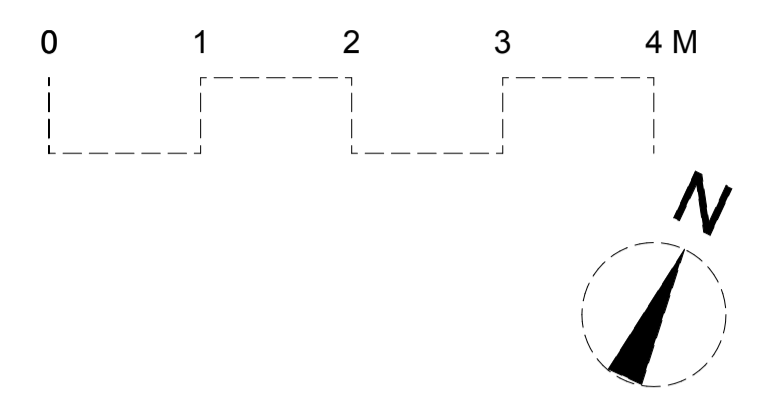
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project:	2 Wadham Gardens, NW3 3DP, London	project no:	2105
drawing:	Proposed First Floor	scale:	1:50 @ A1
drawing no:	2105(02)001	drawn by:	Giuseppa M.
rev:	A	date:	January 23
dwg status:	Planning		

Rev	Date	Notes
-	30.01.23	Issue to Camden Council
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**Key:**

	Site Boundary		Existing Structure
	Approved Planning outline 2008		New structure
	Existing Outline		Demolition

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project:	2 Wadham Gardens, NW3 3DP, London	project no:	2105
drawing:	Proposed Second Floor	scale:	1:50 @ A1
drawing no:	2105(02)002	drawn by:	Giuseppa M.

Rev	Date	Notes
-	30.01.23	Issue to Camden Council for approval
A	09.08.23	Issue to Camden Council for approval

**NOTES**

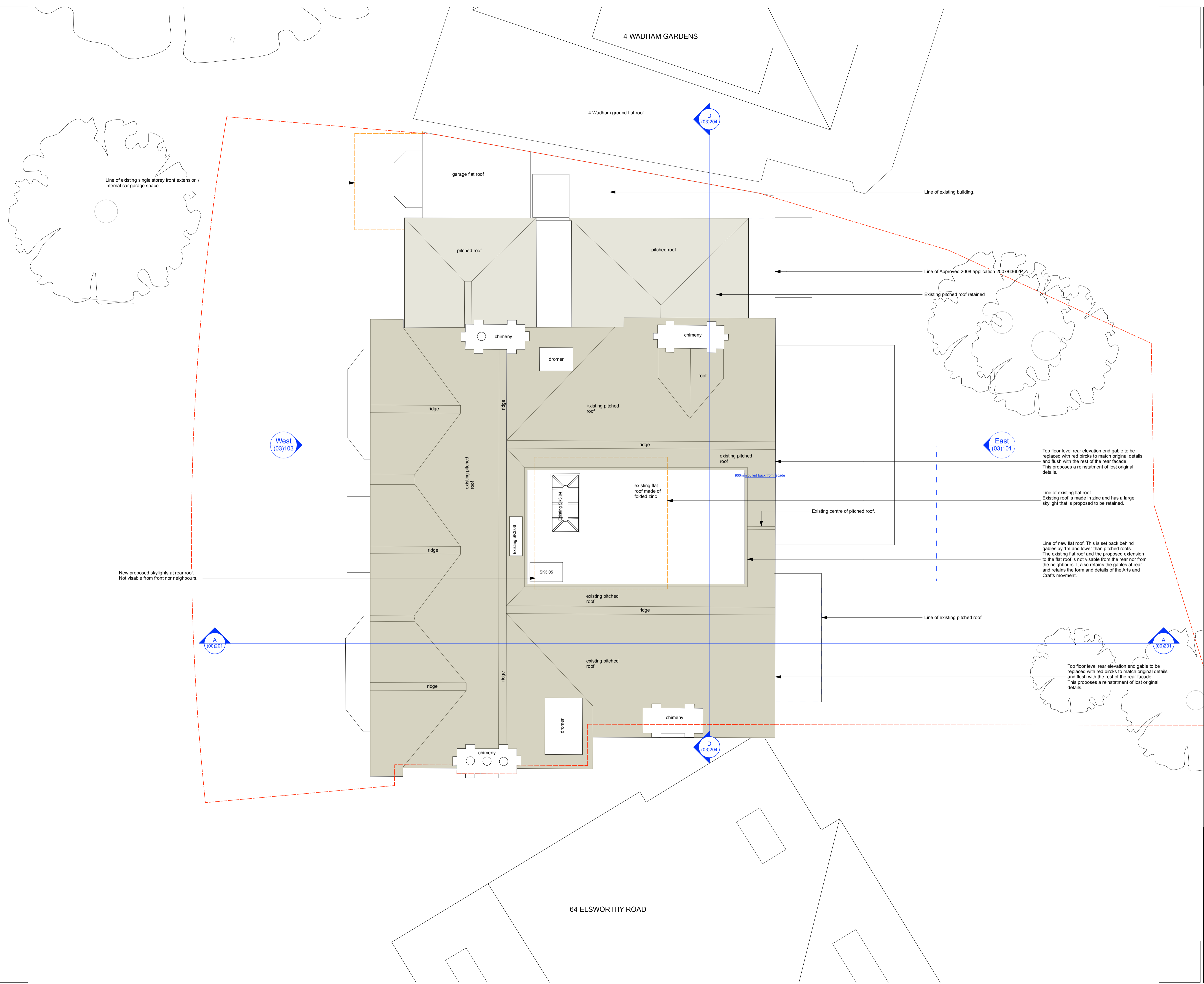
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- - - - -	Approved Planning outline 2008	New structure
- - - - -	Existing Outline	Demolition

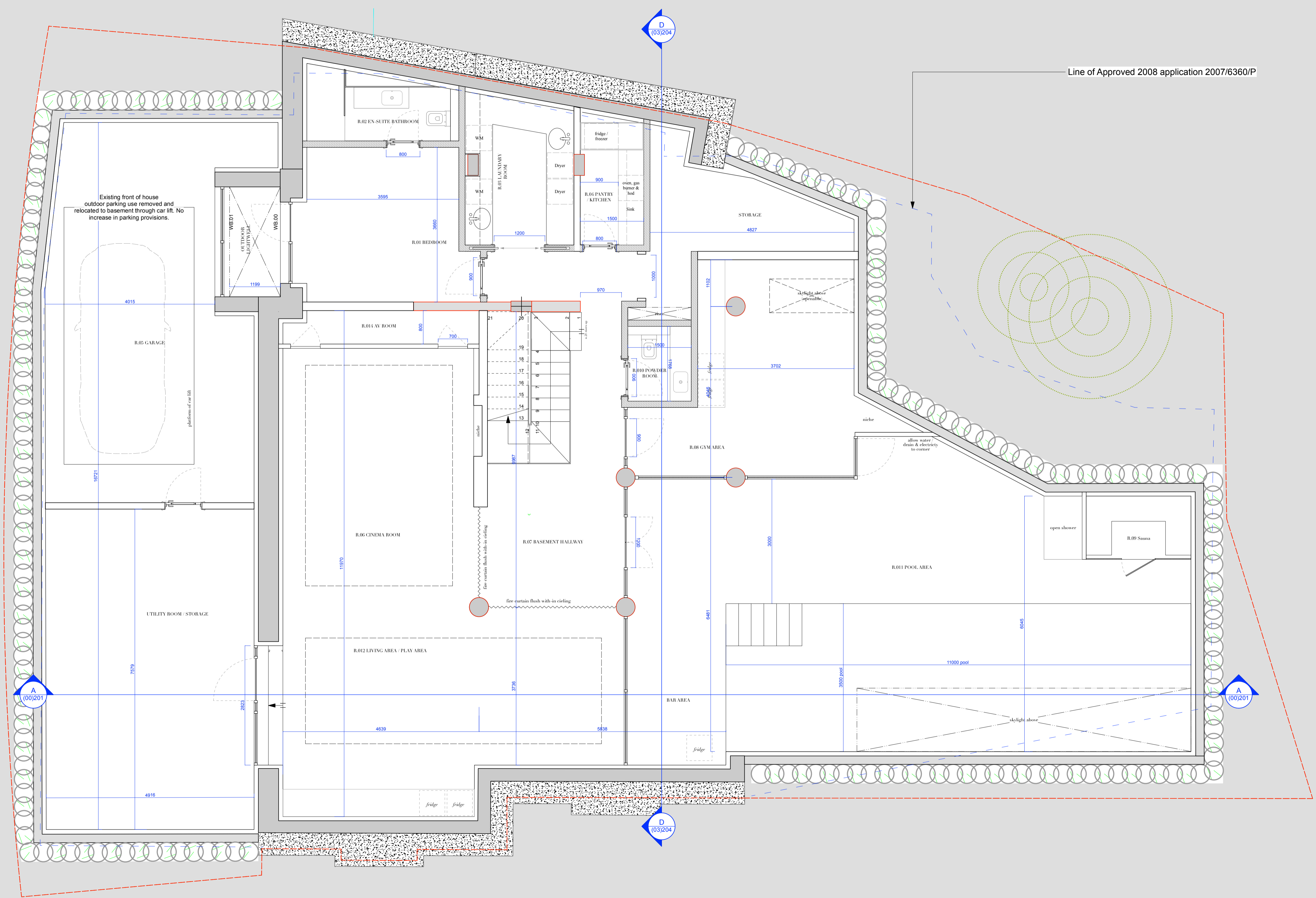
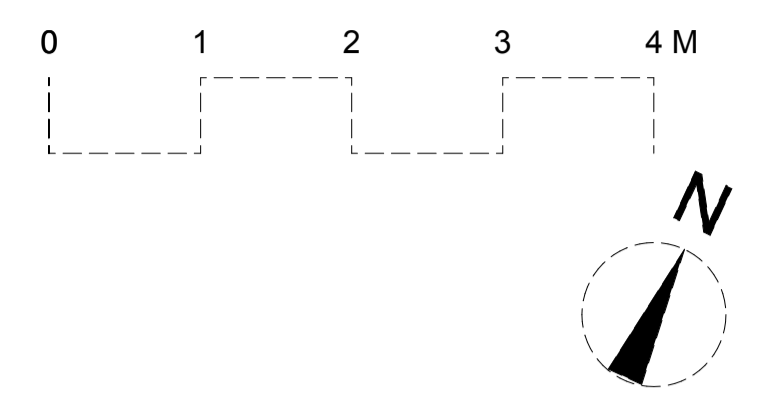
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project:	2 Wadham Gardens, NW3 3DP, London	project no:	2105
drawing:	Proposed Roof Plan	scale:	1:50 @ A1
drawing no:	2105(03)003	drawn by:	Giuseppa M.
rev:	B	date:	January 23
		dwg status:	Planning

Rev	Date	Notes
-	30.01.23	Issue for Camden Council for Approval
A	09.08.23	Issue to Camden Council for approval
B	11.10.23	Issue to Camden Council for approval

Basement approved in 2008 application 2007/6360/P and approved variation in planning ref. 2021/4432/P.  
 No changes to approved application in shape or form.  
 Only proposed change is for the provision of a car lift within the existing space and existing approved foundations.  
 No structural changes are need to accommodate this.

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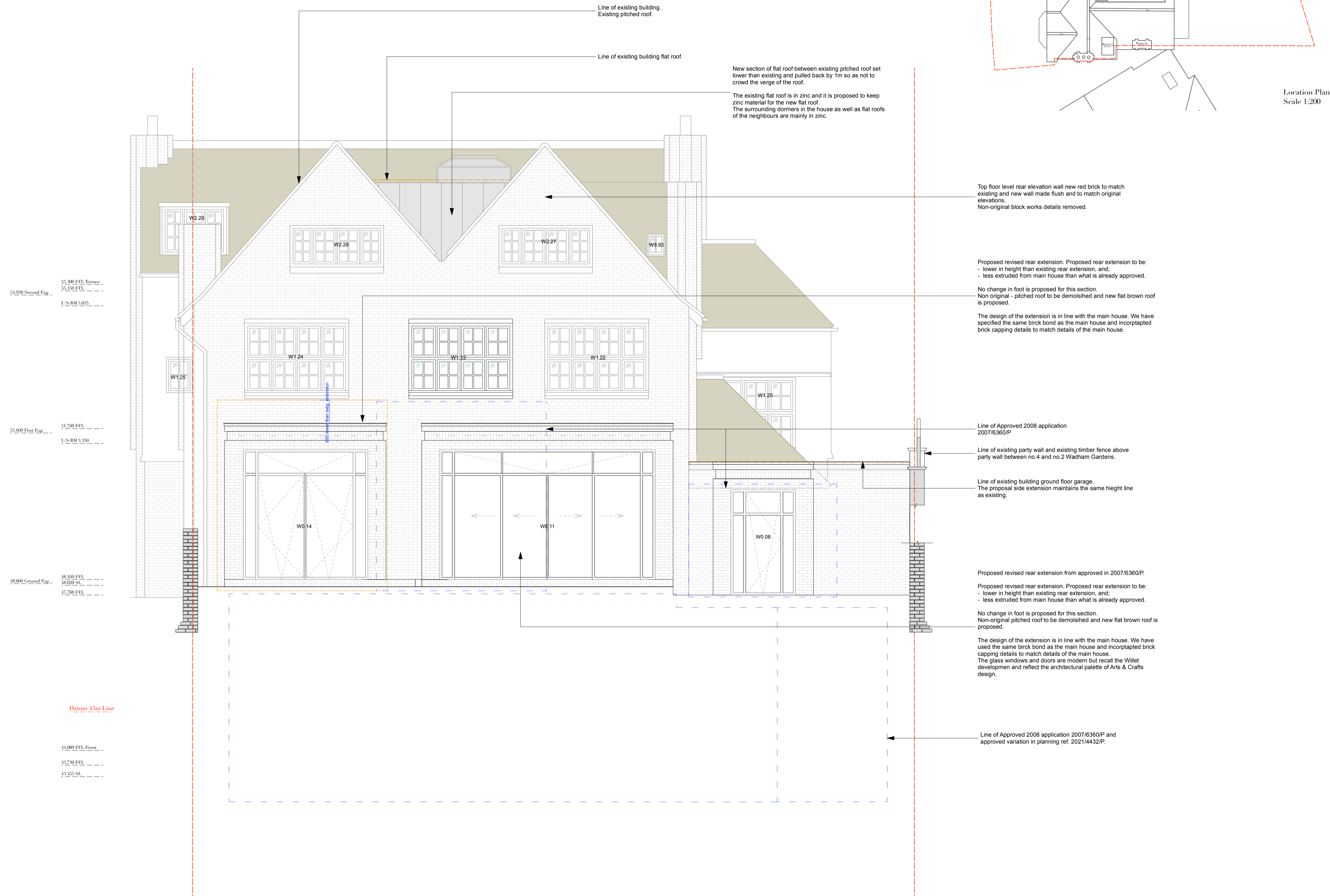
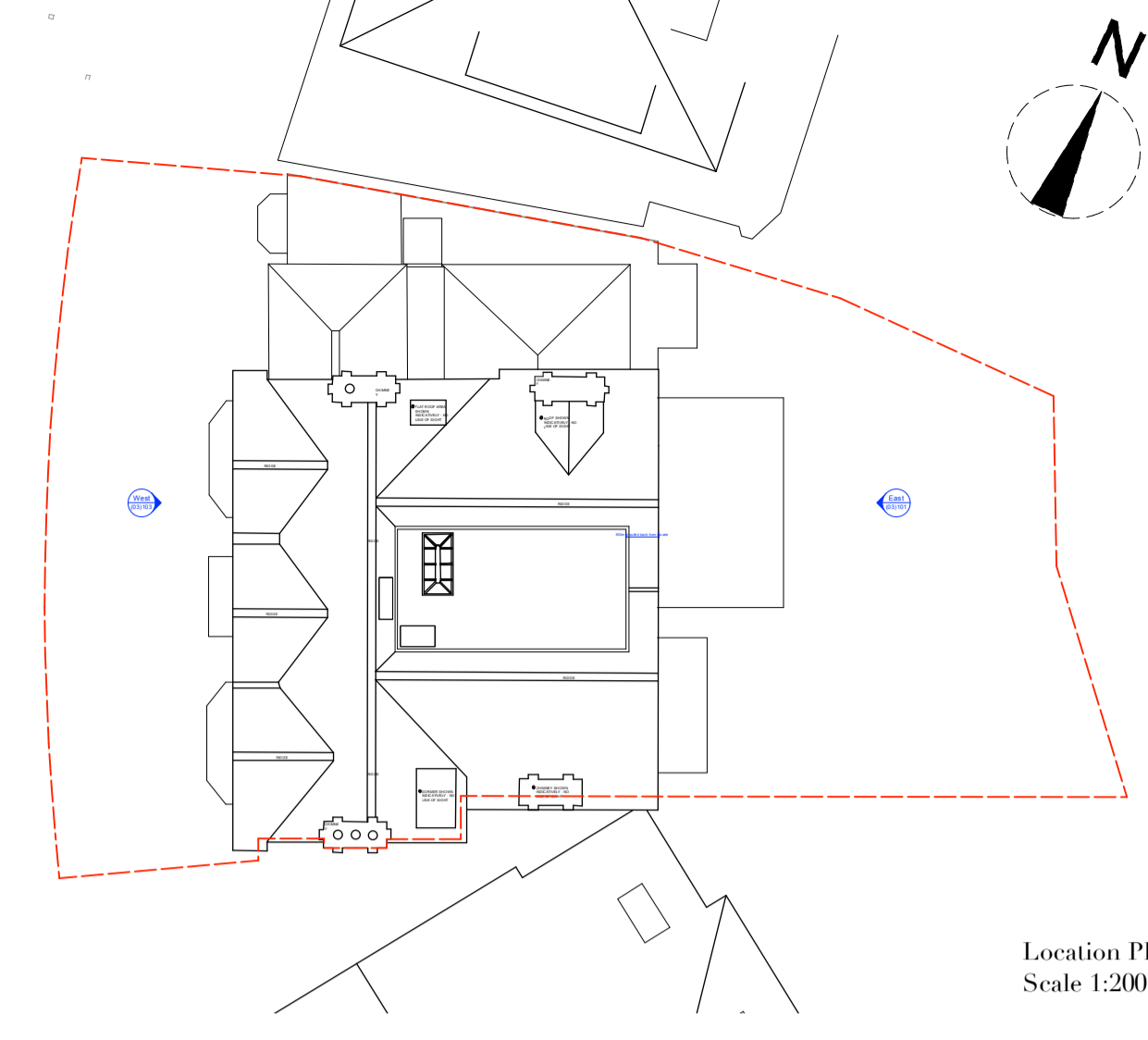
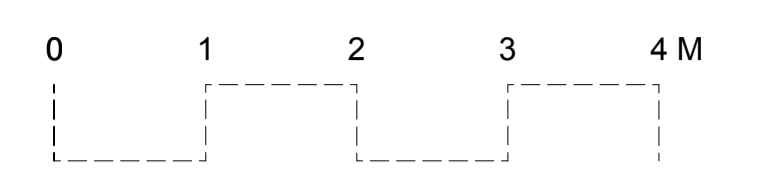
	Site Boundary		Existing Structure
	Approved Planning outline 2008		New structure
	Existing Outline		Demolition

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project:	2 Wadham Gardens, NW3 3DP, London	project no:	2105
drawing:	Existing and Proposed Basement Level	scale:	1:50 @ A1
drawing no.:	2105(00/02)005	drawn by:	Giuseppina M.
rev:		date:	January 23
		dwg status:	Planning

Rev	Date	Notes
-	30.01.23	Issue to Camden Council for approval
-	09.08.23	Issue to Camden Council for approval

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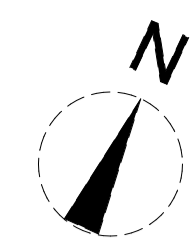
Key:

- - - - -	Site Boundary	Existing Structure
- - - - -	Approved Planning outline 2008	New structure
- - - - -	Existing Outline	Demolition

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project:	2 Wadham Gardens, NW3 3DP, London	project no:	2105
scale:	1:50 @ A1	drawn by:	Giuseppa M.
Drawing no:	2105(02)101	rev:	B
date:	January 23	dwg status:	Planning

Rev	Date	Notes
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Existing garage structure demolished.  
 New side structure / extension rebuilt to match existing house red brick details.  
 New bay window proposed similar in design as existing bay windows to front facade. Windows to allow for multi-paned glazing.  
 New structure set back from main house to be more in keeping with the architecture of the house and the conservation area.

All first and second floor tiles restored and missing details added.

Front entrance stone details restored where damaged.  
 No changes to design.

Existing front of house outdoor parking use removed and relocated to basement through car lift. No increase in parking provisions.

Line of Approved 2008 application 2007/6360/P and approved variation in planning ref. 2021/4432/P.



Key:

	Site Boundary		Existing Structure
	Approved Planning outline 2008		New structure
	Existing Outline		Demolition

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project:	2 Wadham Gardens, NW3 3DP, London	project no:	2105
drawing:	Proposed West Elevation (Front)	scale:	1:50 @ A1
drawing no.:	2105(02)103	drawn by:	Giuseppa M.
rev:	B	date:	January 23
		dwg status:	Planning

Rev	Date	Notes
-	30.01.23	Issue to Camden for approval
A	09.08.23	Issue to Camden Council for approval
B	11.10.23	Issue to Camden Council for approval

NOTES

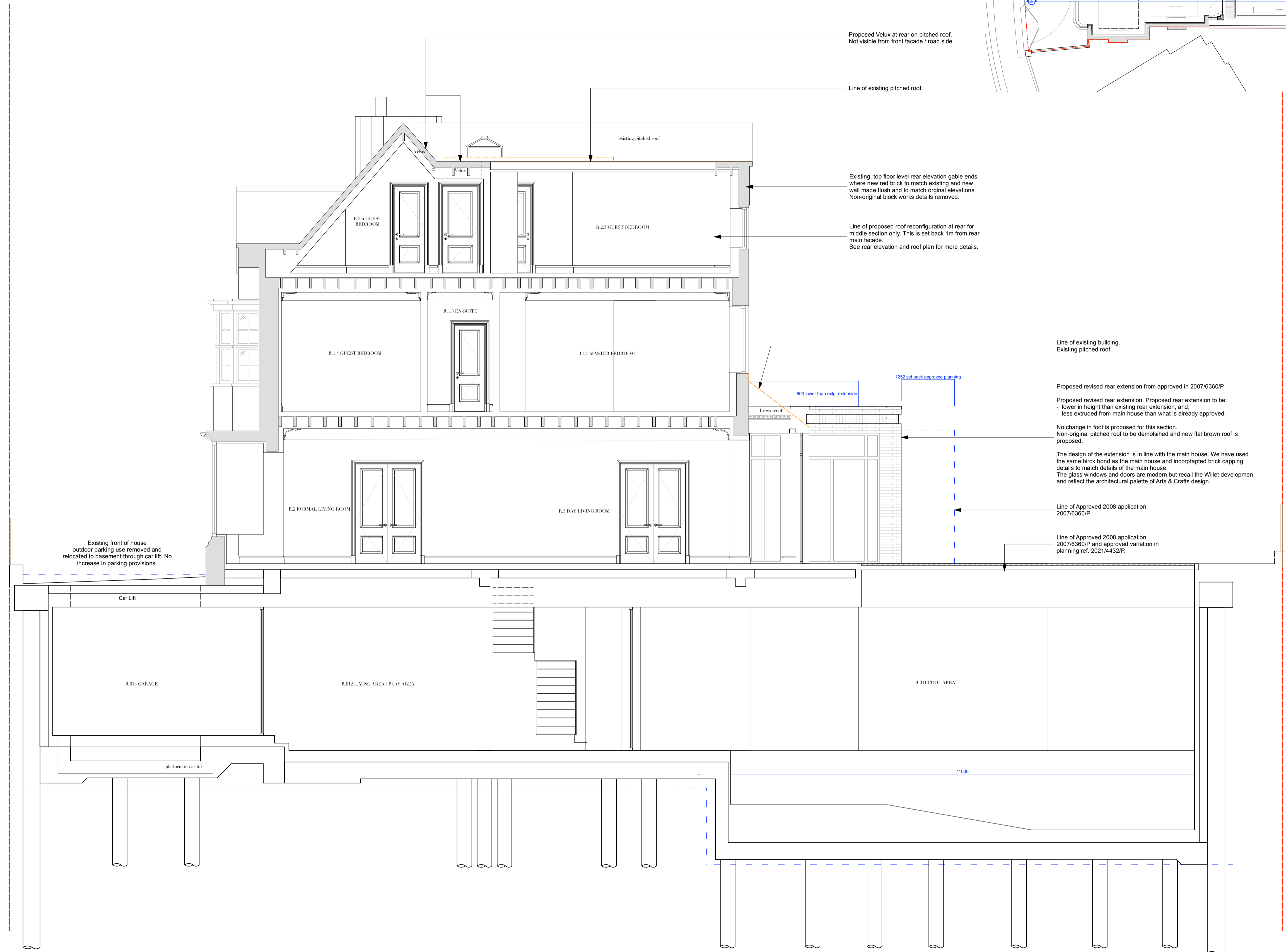
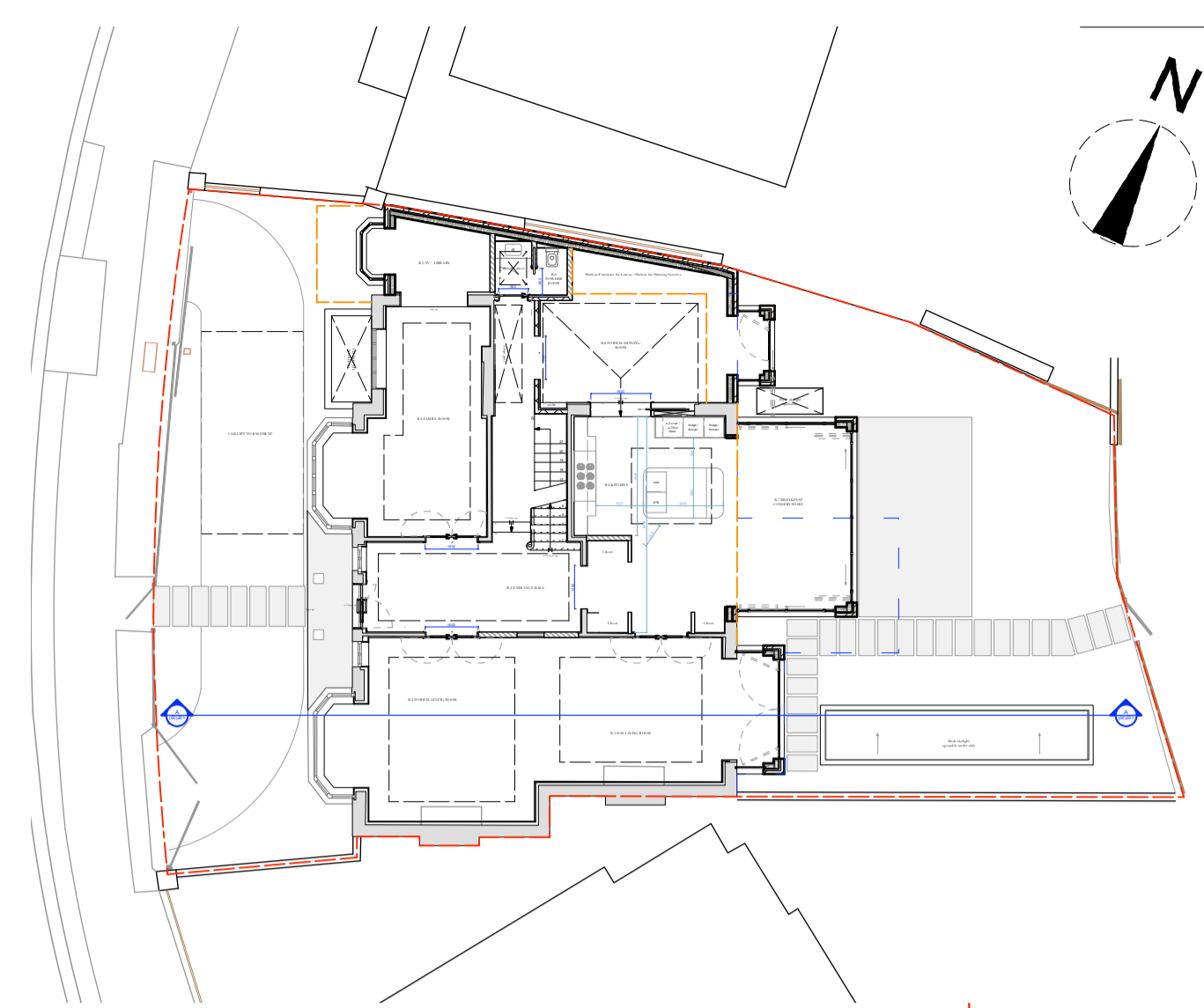
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55.300 FFL Terrace  
55.150 FFL  
U.S. BM 5.072

4.950 Second Flg.  
U.S. BM 5.072

1.600 First Flg.  
51.290 FFL  
U.S. BM 5.320

8.000 Ground Flg.  
48.100 FFL  
48.000 SL  
47.288 FFL

Datum 45m Line

54.080 FFL Front  
43.290 FFL  
43.455 SL

Key:

	Site Boundary		Existing Structure
	Approved Planning outline 2008		New structure
	Existing Outline		Demolition

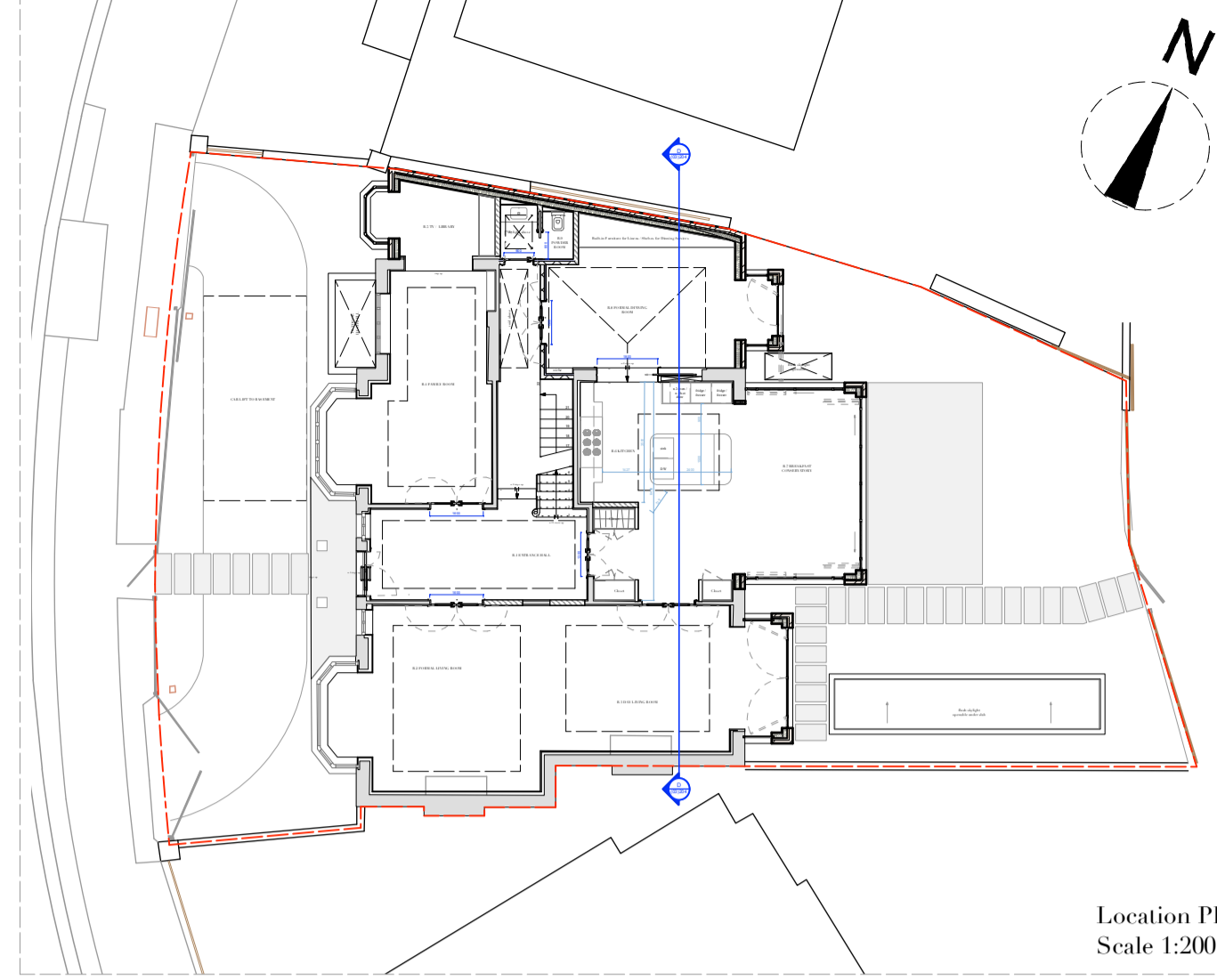
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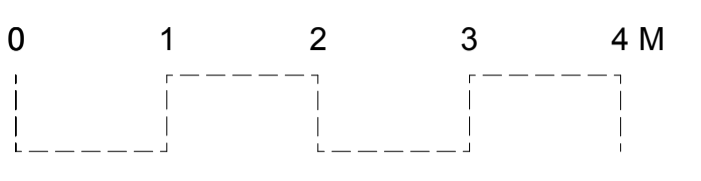
project:	2 Wadham Gardens, NW3 3DP, London	project no:	2105
drawing:	Proposed Section A-A'	scale:	1:50 @ A1
drawing no:	2105(02)201	drawn by:	Giuseppa M.
rev:	B	date:	January 23
		dwg status:	Planning

Rev	Date	Notes
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- - - - -	Approved Planning outline 2008	New structure
- - - - -	Existing Outline	Demolition

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project:	2 Wadham Gardens, NW3 3DP, London	project no:	2105
drawing:	Proposed Section D-D	scale:	1:50 @ A1
drawing no:	2105(02)204	drawn by:	Giuseppa M.
rev:	A	date:	January 23
rev:	-	date:	30.01.23
rev:	A	date:	09.08.23

Rev	Date	Notes
-	30.01.23	Issue to Camden Council for Approval
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