

NOTES

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DO NOT SCALE FROM THE DRAWING

0 1 2 3 4 M

N

Key:

- Site Boundary
- Approved Planning outline 2008
- Existing Outline
- Existing Structure
- New structure
- Demolition

F I M A

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+44 (0) 20 3172 5331 | +44 (0) 777 529 5818 | www.fimaarchitects.com | info@fimaarchitects.com

project:	2 Wadham Gardens, NW3 3DP, London	project no:	2105
drawing:	Existing Ground Floor	scale:	1:50 @ A1
drawing no:	2105(00)000	drawn by:	Giuditta M.
rev:	A	date:	January 23
status:	Planning	dwg status:	Planning

Rev	Date	Notes
-	30.01.23	Issue to Camden Council for approval
A	09.08.23	Issue to Camden Council for approval

NOTES

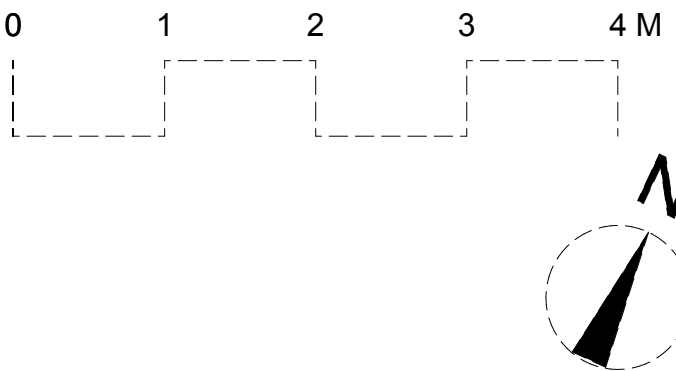
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Line of existing single storey side extension / internal car garage space.

Flat Roof above garage

Line of existing building.

Pitched Roof

Line of Approved 2008 application 2007/6360/P

Existing pitched roof

EN-SUITE

BEDROOM

CENTRE HALLWAY

OFFICE

BATHROOM

Line of Approved 2008 application 2007/6360/P

Existing rear extension.

Flat Roof

GUEST BEDROOM

MASTER BEDROOM

Pitched Roof

West
(03)103

East
(03)101

A
(00)201

A
(00)201

Key:

--- Site Boundary

- - - Approved Planning outline 2008

- - - Existing Outline

Existing Structure

New structure

Demolition

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project:	2 Wadham Gardens, NW3 3DP, London	project no	2105
drawing:	Existing First Floor	scale	1:50 @ A1
drawing no:	2105(00)003	drawn by	Giuditta M.
rev	A	date	January 23
dwg status	Planning		

Rev	Date	Notes
-	30.01.23	Issue to Camden Council for approval
A	09.08.23	Issue to Camden Council for approval

4 WADHAM GARDENS

64 ELSWORTHY ROAD

NOTES

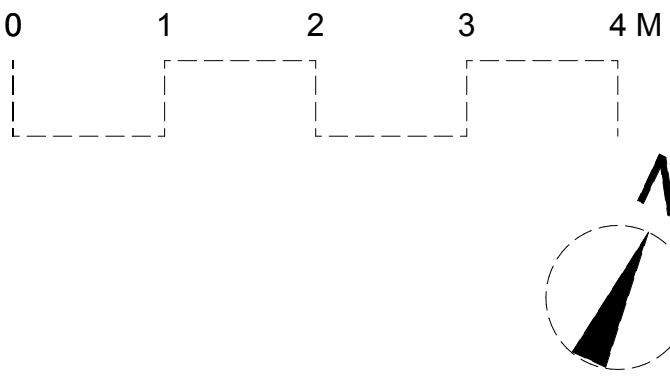
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West
(03)103

East
(03)101

D
(03)204

A
(00)201

D
(03)204

Existing neighbouring flat roof adjacent to party wall

Line of Approved 2008 application 2007/6360/P

Line of existing flat roof at roof level. See arial image.

Portion of pitched roof at rear between main roof to be partially removed to allow for new roof to connect into existing flat roof.
The extension of the flat roof is set back from rear facade by 1m in order to retain the aesthetics of the separated gables, traditional of the Arts and Crafts movement.

Above top floor level rear window elevation, the end gable are to be replaced with red bricks to match original details and flush with the rest of the rear facade.

Line of Approved 2008 application 2007/6360/P

Existing roof tiles and roof gutter. See images in Heritage Statement of rear elevation and internal top floor roof gables in block works as well as existing details of pitched roof connection.

Line of existing flat roof at roof level. See arial image.

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project:	2 Wadham Gardens, NW3 3DP, London		project no 2105
drawing:	Existing Second Floor		scale 1:50 @ A1 drawn by Giuditta M.
drawing no: 2105(00)002	rev A	date January 23	notes 59g status Planning
Rev	Date	Notes	
-	30.01.23	Issue to Camden Council for planning	
A	09.08.23	Issue to Camden Council for approval	

34,350 Second Evg. _

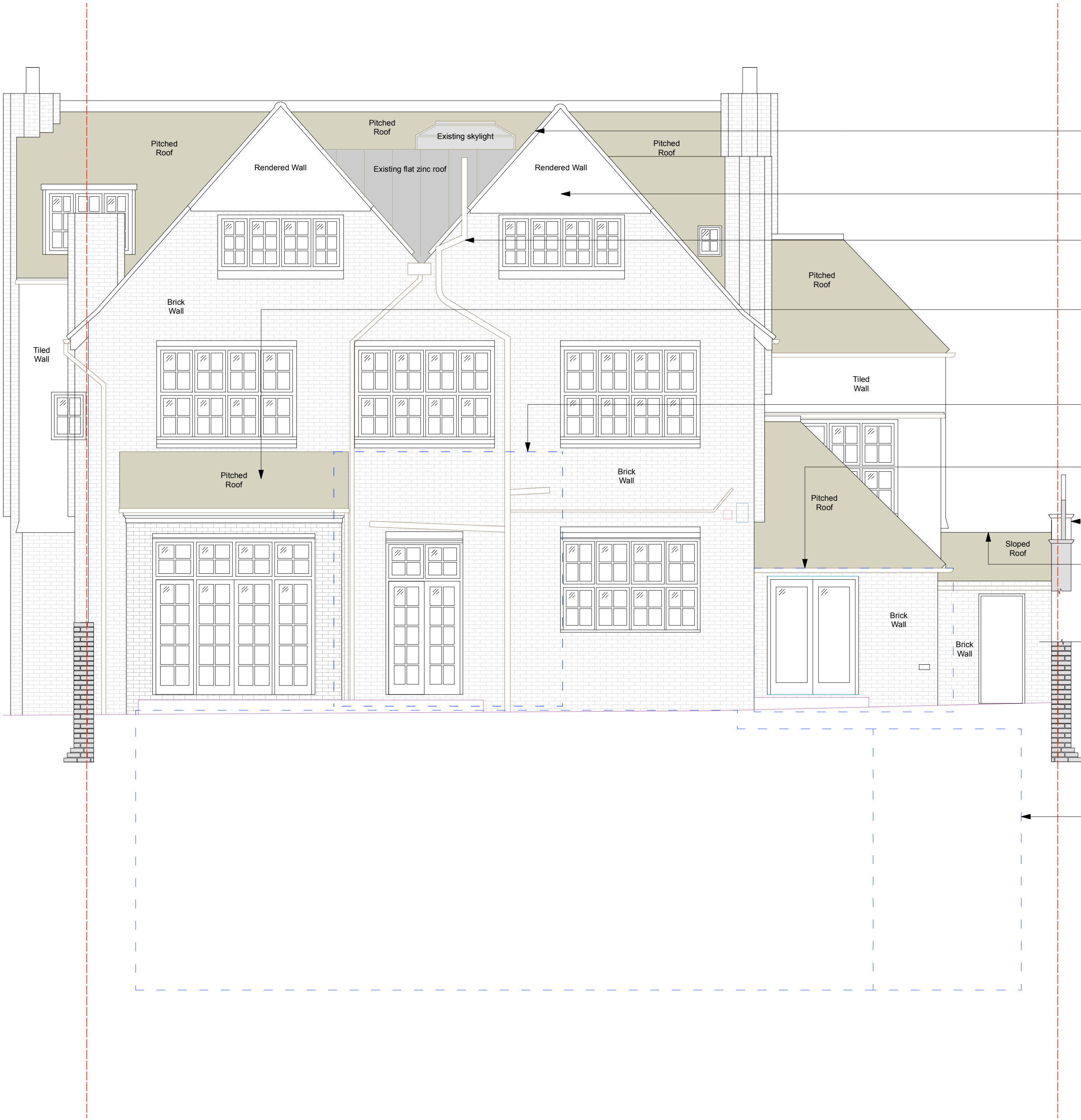
52,686 Rear Extension Evg. & Approved Pitched Roof

51,690 First Evg. _

51,327 Rear Extension Approved Extension

58,000 Ground Evg. _

Datum 45m Line



Middle portion of pitched roof at rear between roof to be removed to allow for new roof. See proposed elevation for details. Not visible for neighbours. Gables to be retained.

Top floor level rear elevation end gable has been replaced by previous owners with block work and render above original red bricks. These non-original details are proposed to be removed and brick work reinstated flush with the rest of the rear facade.

Random gutters and rainwater pipes to be removed and repositioned to allow for cleaner facade treatment

Existing rear extension. Proposed rear extension to be lower in height than existing rear extension. No change in foot is proposed for this section. Pitched roof to be demolished and new flat brown roof is proposed. See Proposed Elevations for details.

Line of rear extension approved in 2007/6360/P. Proposed extension to be lower than approved rear extension overall height. The new proposal varies also in extrusion from main house, where it is proposed to have less of a projection from main house into garden.

Line of Approved 2008 application 2007/6360/P

Line of existing party wall and existing timber fence above party wall between no.4 and no.2 Wadham Gardens.

Line of existing building of ground floor garage. Existing roof is sloped.

Line of Approved 2008 application 2007/6360/P and approved variation in planning ref. 2021/4432/P

Location Plan
Scale 1:200

NOTES

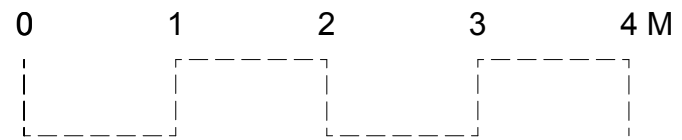
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project:	2 Wadham Gardens, NW3 3DP, London		project no 2105
drawing:	Existing East Elevation (Rear)		scale 1:50 @ A1
drawing no: 2105(00)101	rev A	date January 23	dwg status Planning
Rev	Date	Notes	
-	30.01.23	Issue to Camden Council for approval	
A	09.08.23	Issue to Camden Council for approval	

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Existing garage structure demolished. Existing garage not fit for purpose. Cars do not fit inside due to small size of space. Previously cars were left on the drive way and off-street parking. Existing structure protrudes in front of main facade of the house, sitting outside of harmonious design parameters, affecting the design of the main house and conservation area.

— All first and second floor tiles restored and missing details added.

54,950 Second Exg.

52.486 Rear Extension Exg.
& Approved Pitched Roo

51,600 First Exp.

51.327 Rear Extension
Approved Extrusion

48,060 Ground Exp.

Datum 45m Line

- Random gutters and rainwater pipes – to be removed and repositioned to allow for cleaner facade treatment

— All existing stone facade details retained and restored.

Line of existing stone floor. Step up to entrance.

Line of Approved 2008 application
— 2007/6360/P and approved variation in
planning ref. 2021/4432/P.

Key:

--- Site Boundary

Approved Plan
outline 2008

Existing Outline Demolition

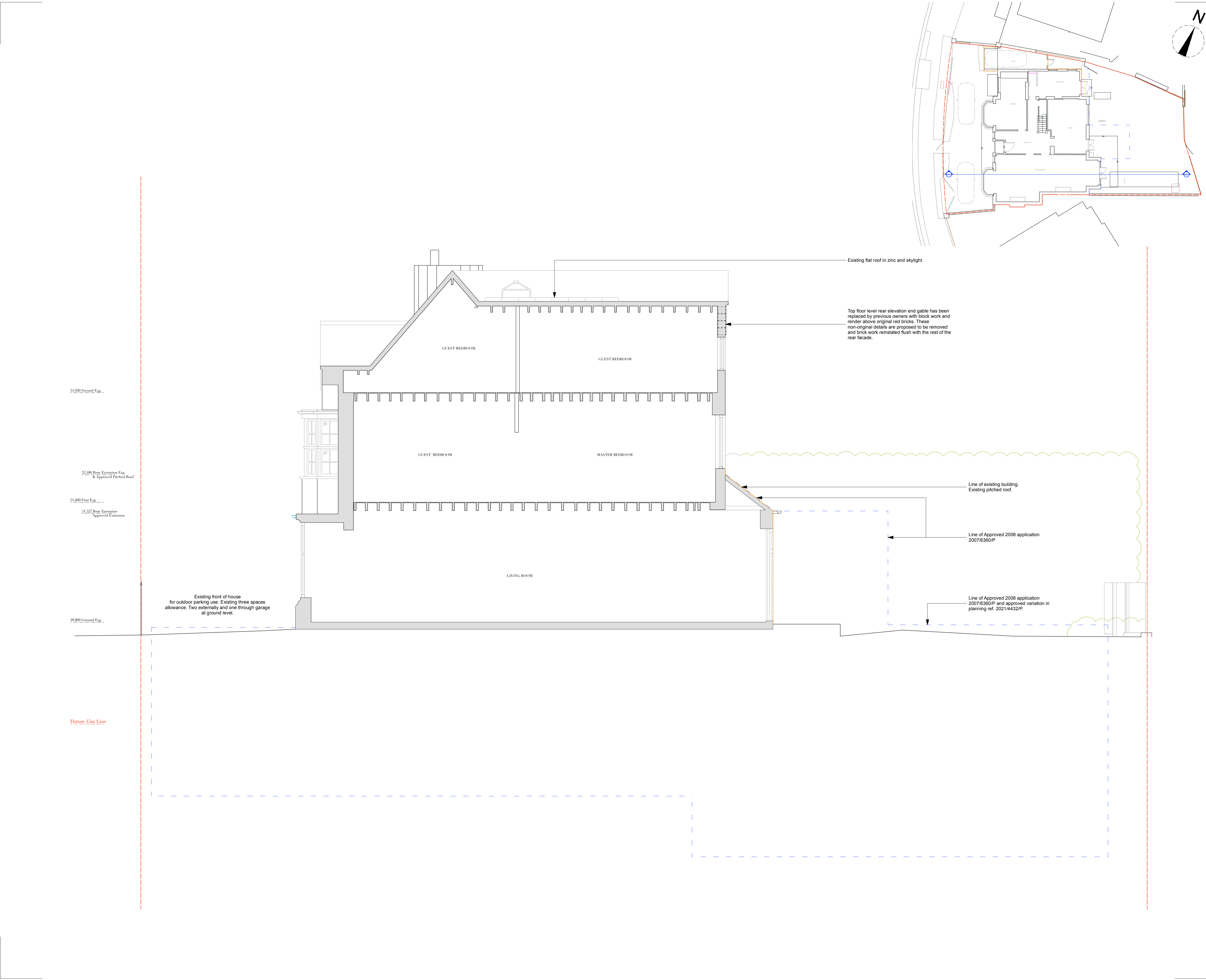
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project:	project no
2 Wadham Gardens, NW3 3DP, London	2105

Existing West Elevation (Front)

drawing no: 2105(02)103	rev B	date January
		dwg status Planning

Rev	Date	Notes
-	30.01.23	Issue to Camden for approval
A	09.08.23	Issue to Camden Council for approval
B	11.10.23	Issue to Camden Council for approval



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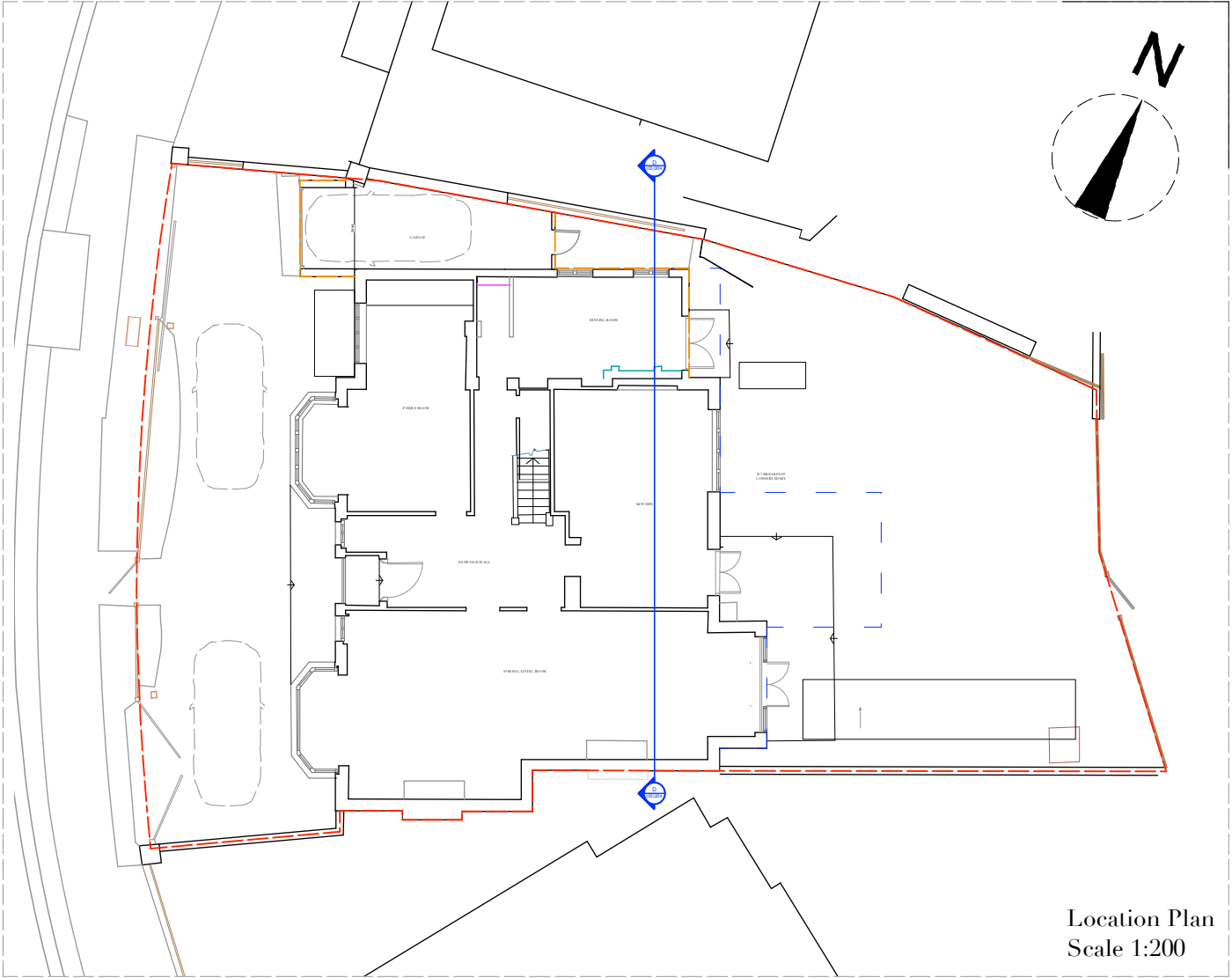
---	Site Boundary		Existing Structure
- - -	Approved Planning outline 2008		New structure
- - -	Existing Outline		Demolition

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project:	2 Wadham Gardens, NW3 3DP, London			project no	2105
drawing:	Existing Section A-A'			scale	1:50 @ A1
drawn by	Giuditta M.			drawn by	Giuditta M.
drawing no:	2105(00)201			rev	A
date	January 23			status	Planning

Rev	Date	Notes
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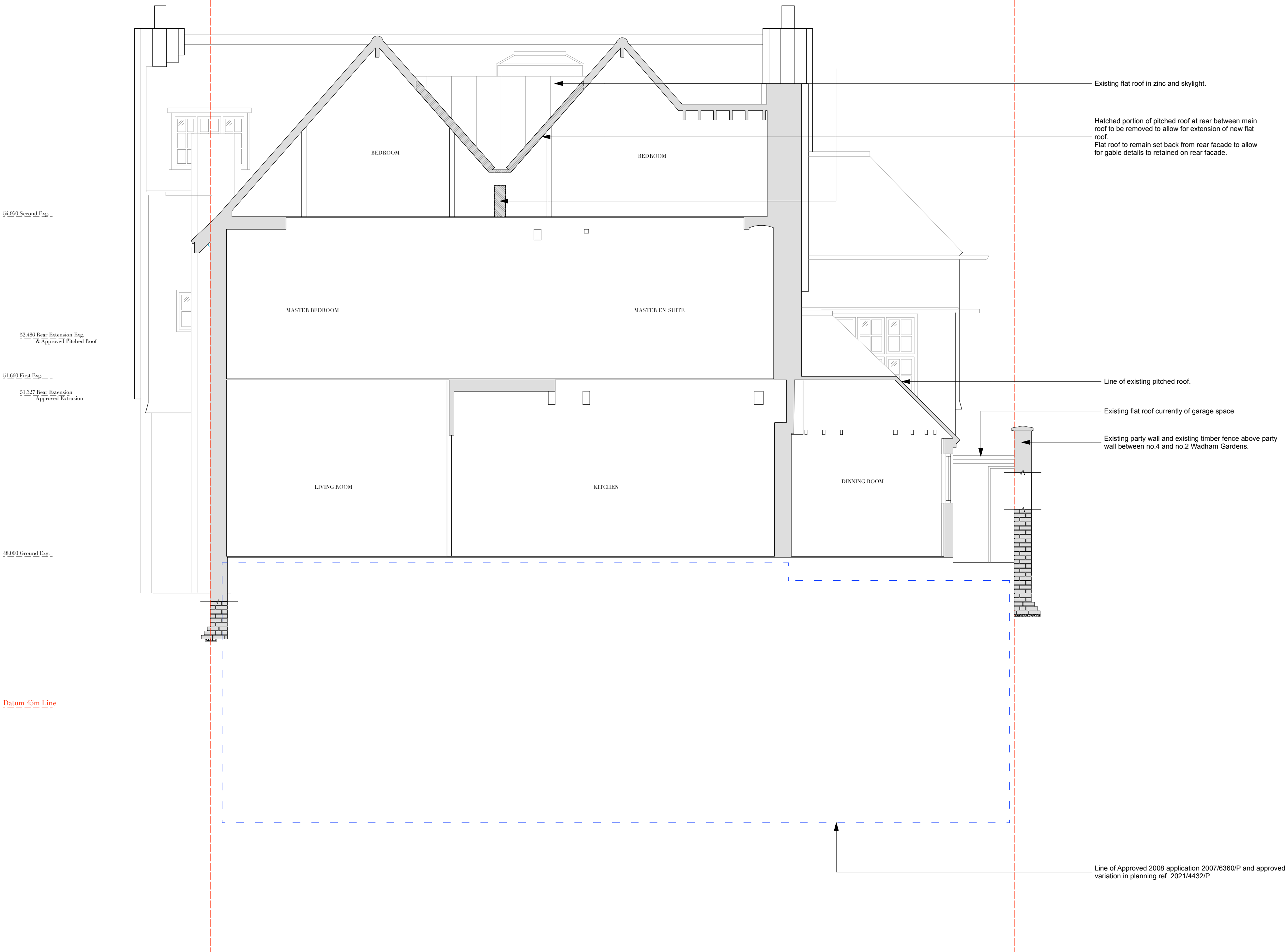
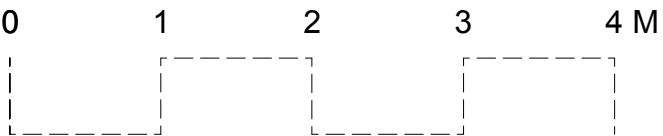
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51.000 Second Fag

52.486 Rear Extension Fag
& Approved Pitched Roof

51.600 First Fag

51.327 Rear Extension
Approved Extension

58.000 Ground Fag

Datum 45m Line

Key:

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project:	project no		
2 Wadham Gardens, NW3 3DP, London	2105		
drawing:	scale		
Existing Section D-D	1:50 @ A1		
drawing no:	rev		date
2105(00)204	A		January 23
			5wg status
			Planning
Rev	Date	Notes	
-	31.01.23	Issue to Camden Council for approval	
A	09.08.23	Issue to Camden Council for approval	