

/ 8 GUILFORD STREET ROOM SCHEDULE

6569

REV 01

26/09/2023

8 GUILFORD STREET ROOM SCHEDULE

6569
REV 01
21/08/2023

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/ CONTENTS

01 ROOM SCHEDULE

01.1	ROOMS LG.01/LG.02	8
01.2	ROOMS LG.03	12
01.3	ROOMS LG.04	16
01.4	ROOMS LG.05	20
01.5	ROOMS LG.06	24
01.6	ROOMS LG.07	28
01.7	ROOMS G.01 / G.02	32
01.8	ROOMS G.03	36
01.9	ROOMS G.04	40
01.10	ROOMS G.05 / G.06	44
01.11	ROOMS G.07	48
01.12	ROOMS 01.01	52
01.13	ROOMS 01.02	56
01.14	ROOMS 01.03	60
01.15	ROOMS 01.04 / 01.05	64
01.16	ROOMS 02.01	68
01.17	ROOMS 02.02	72
01.18	ROOMS 02.03	76
01.19	ROOMS 02.04 / 02.05	80
01.20	ROOMS 03.01	84
01.21	ROOMS 03.02	88

/ ROOM SCHEDULE

01

01.1 ROOMS LG.01/LG.02

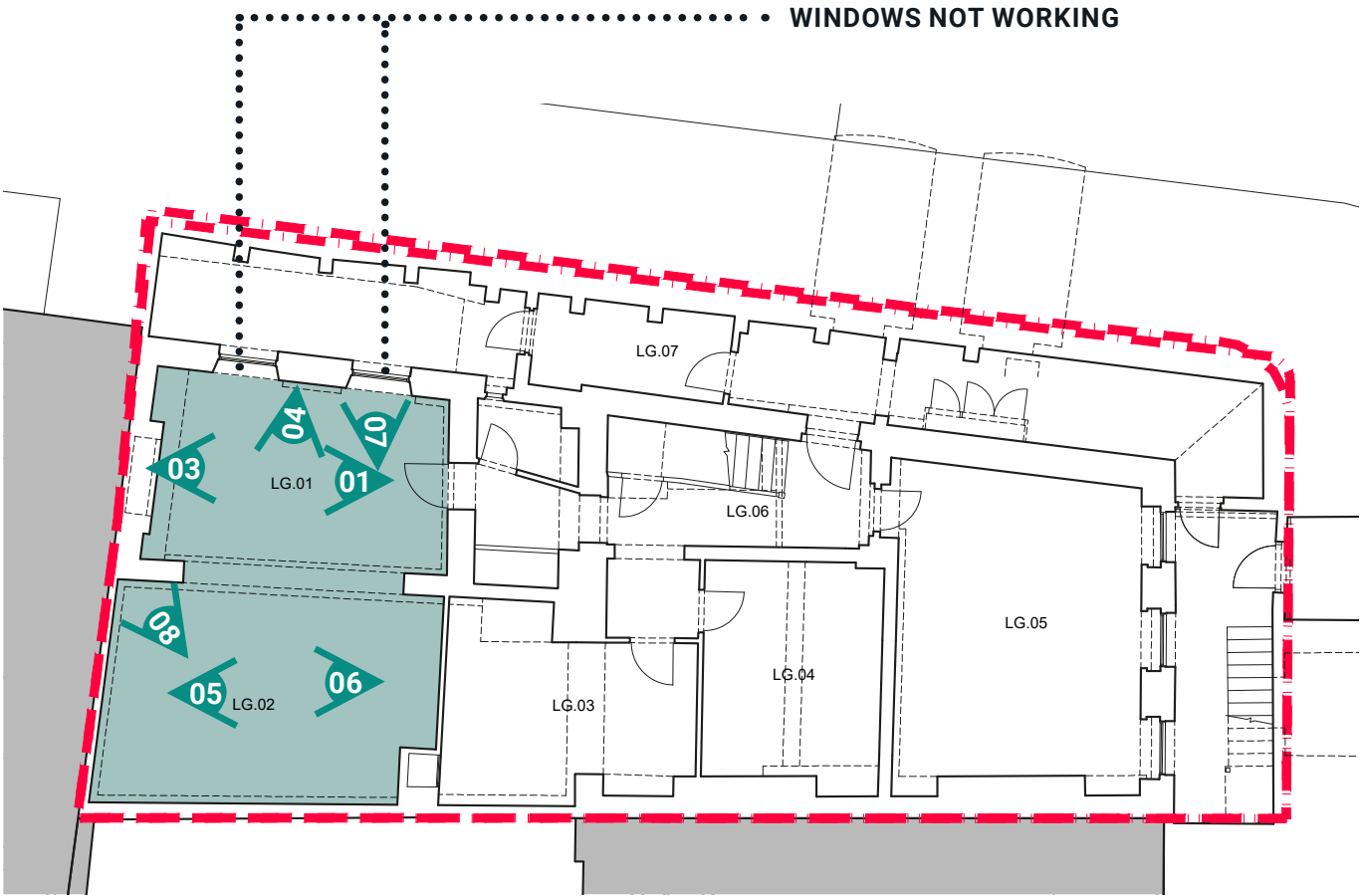
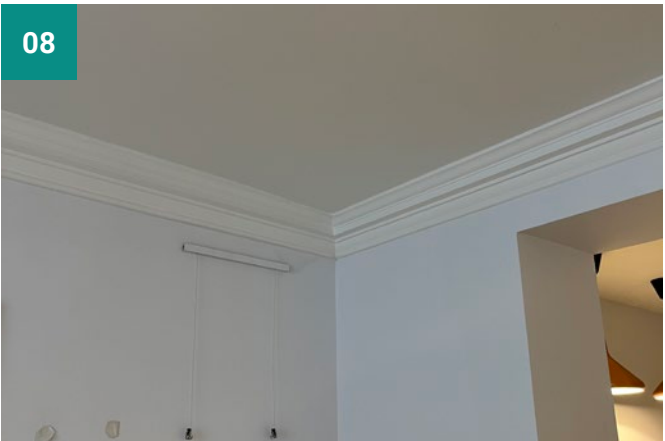


FIGURE 01 ROOM LG.01/02

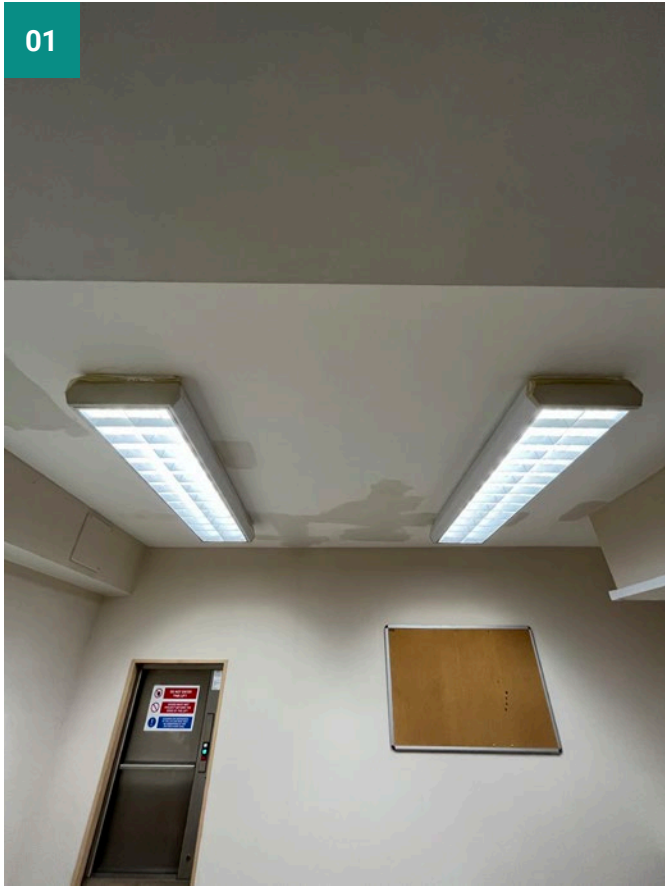
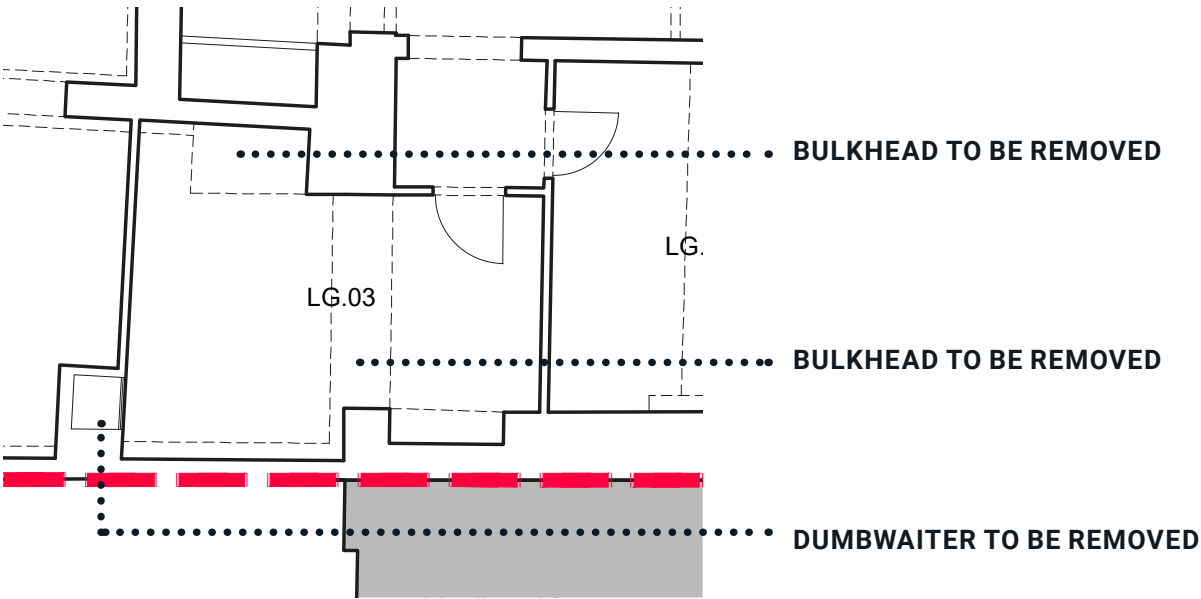


LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
LG.01 / LG.02	Ceiling / Cornice	<ul style="list-style-type: none">Modern suspended ceiling with recessed spotlightsModern cornice only partially present,	<ul style="list-style-type: none">All to be adapted to suit layout of conversion to residential use
LG.01 / LG.02	Floor	Carpet covering poor condition concrete slab	<ul style="list-style-type: none">All to be adapted to suit layout of conversion to residential use
LG.01 / LG.02	Walls / Skirting	<ul style="list-style-type: none">Good conditionModern skirting, architraves and fixture & fittings	<ul style="list-style-type: none">All to be adapted to suit layout of conversion to residential useWalls to be repaintedSkirting to be replaced
LG.01 / LG.02	Windows	<ul style="list-style-type: none">Existing timber sliding Sash windows, single glazed to be retained and refurbished.Windows do not work and present several layers of paint	<ul style="list-style-type: none">Windows to be kept and secondary glazing to be installedExternal metal bars to be removed
LG.01 / LG.02	Internal Doors	Modern door with vision panel and architrave	All to be adapted to suit layout of conversion to residential use
LG.01 / LG.02	Fireplace	Exposed bricks fireplace, no insert	Clean the bricks and possibly reinstate an original reclaimed Victorian fireplace insert
LG.01 / LG.02	Radiators	Modern water filled radiators and surface mounted pipework	All to be adapted to suit layout of conversion to residential use

01.2 ROOMS LG.03



FIGURE 02 ROOM LG.03

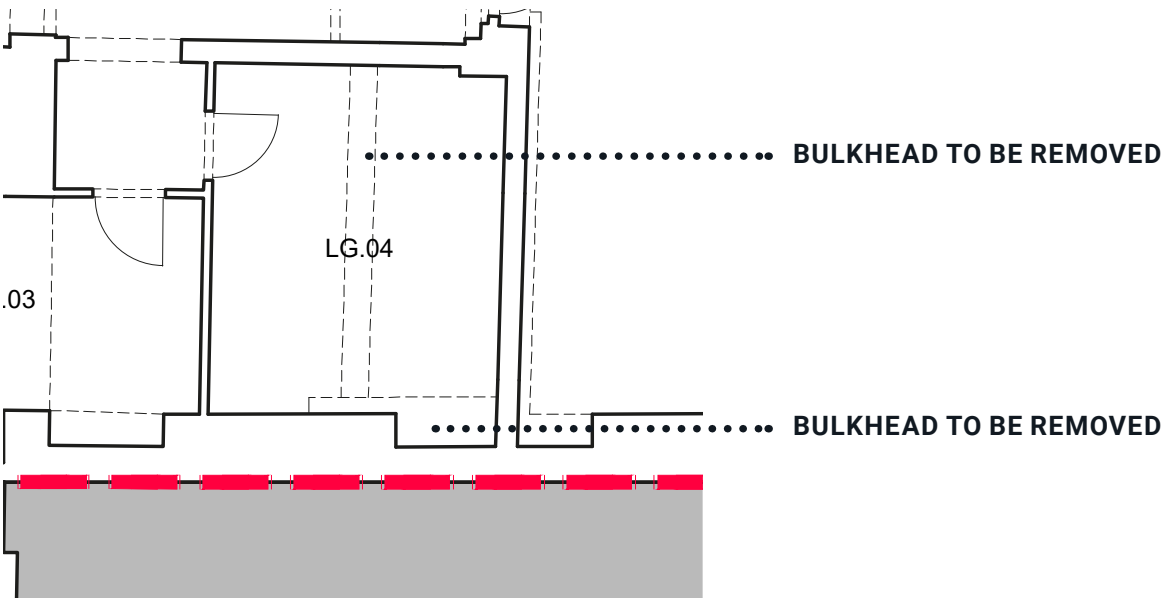


LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
LG.03	Ceiling	Modern plasterboard ceiling, poor condition with various bulkheads	All to be adapted to suit layout of conversion to residential use
LG.03	Floor	Modern vinyl floor, covering concrete slab	All to be adapted to suit layout of conversion to residential use
LG.03	Walls / Skirting	<ul style="list-style-type: none">• Modern plasterboard• Modern skirting, poor condition	All to be adapted to suit layout of conversion to residential use
LG.03	Internal Doors	Modern doors and fittings	All to be adapted to suit layout of conversion to residential use

01.3 ROOMS LG.04



FIGURE 03 ROOM LG.04

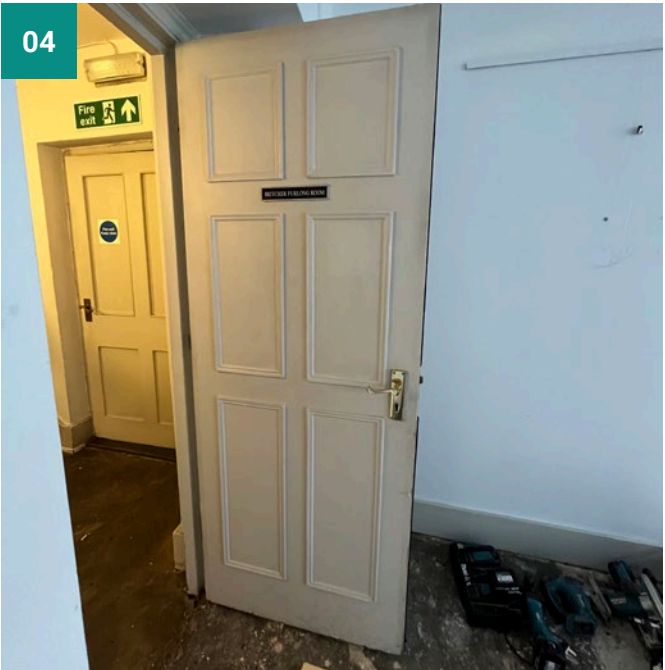
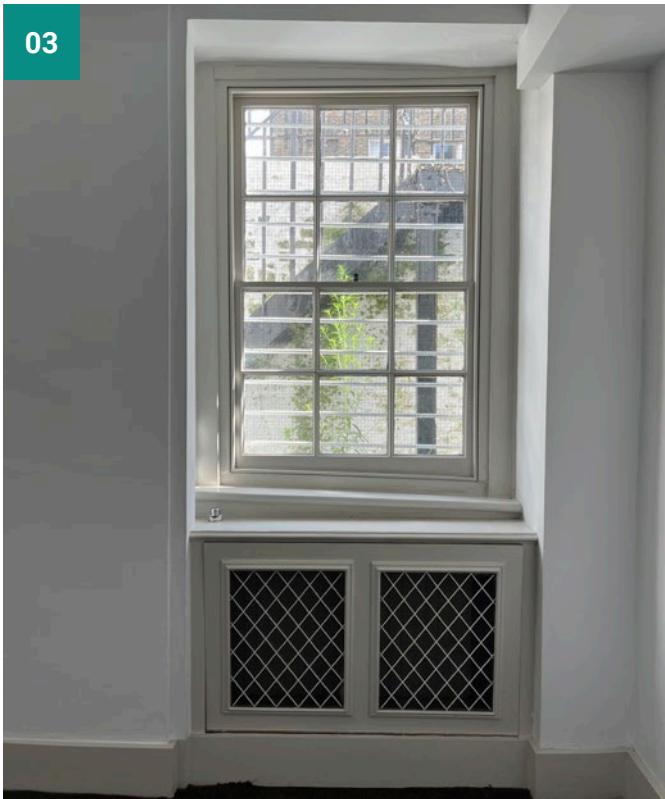
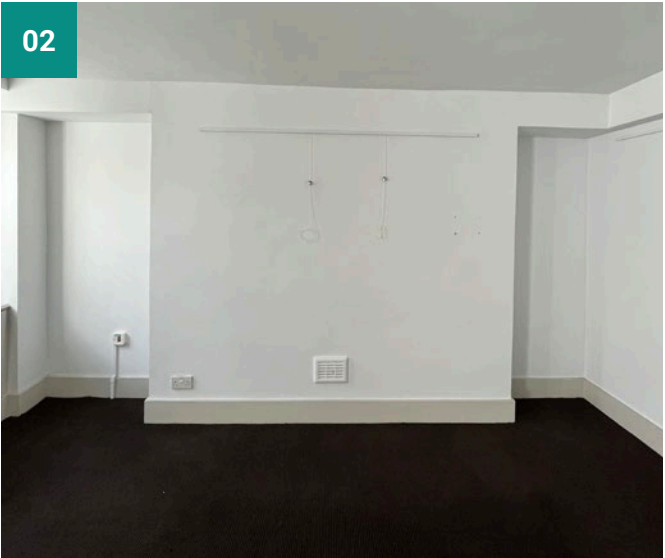


LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
LG.04	Ceiling	Modern ceiling in bad condition with cracks and black spots in corners. A bulkhead spans from North wall to the chimney breast (now closed up with modern vent louvre)	Restore the ceiling plaster, repaint, check option of creating a suspended ceiling to conceal bulkhead (subject to bulkhead height)
LG.04	Floor	Poor condition modern carpet, covering concrete slab	Carpet to be removed, new floor to be installed above existing concrete.
LG.04	Walls / Skirting	<ul style="list-style-type: none">Shelving & Fixings to be removedModern skirting, poor condition	<ul style="list-style-type: none">Walls to be made good and repainted where keptSkirting to be replacedSince LG03 and LG04 are to be connected, option to reinstate fireplace
LG.04	Internal Doors	Modern door and ironmongery	Door to be removed
LG.04	Radiators	Modern panel radiators with surface mounted pipework	To be removed

01.4 ROOMS LG.05



FIGURE 04 ROOM LG.05



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
LG.05	Ceiling / Cornice	<ul style="list-style-type: none">• Modern plasterboard ceiling with modern fittings• Bulkheads running around room perimeter to conceal services	Ceiling to be renewed
LG.05	Floor	Poor condition modern carpet, covering concrete slab	Carpet to be removed, new floor to be installed above existing concrete.
LG.05	Internal Door	Existing door to be retained	modern fixtures and fittings to be removed and replaced
LG.05	Walls / Skirting	<ul style="list-style-type: none">• White painted walls• Modern skirting	<ul style="list-style-type: none">• Where walls are to be kept, make good and repaint• Option to reinstate fireplace• Skirting to be retained and redecorated
LG.05	Windows	<ul style="list-style-type: none">• Existing timber sliding sash windows to be retained• Windows do not work and present several layers of paint	<ul style="list-style-type: none">• Windows to be kept and secondary glazing to be installed.• External metal bars to be removed
LG.05	Radiators and covers	Modern radiators and covers are located beneath each window	to be removed and replaced

01.5 ROOMS LG.06



FIGURE 05 ROOM LG.06



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
LG.06	Stairs	Steps covered by modern carpet	Carpet to be removed and stairs to be repaired and redecorated
LG.06	Hand rails, newel posts and balusters	All to be retained	All to be repaired and redecorated
LG.06	Floor	Modern carpet, covering concrete slab	Carpet to be removed, new floor to be installed above existing concrete.
LG.06	Walls	White painted walls	To be made good and repainted
LG.06	Internal door to services cupboard	Existing door to be retained	To be repaired and redecorated with new ironmongery & fittings

01.6 ROOMS LG.07



FIGURE 06 ROOM LG.07



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
LG.07	Ceiling	Vaulted ceiling with partially exposed bricks and partially concealed by a plaster layer	All to be repaired and redecorated
LG.07	Floor	Modern terracotta tiles and exposed concrete slab in boiler room	Tiles to be stripped out and all the floor to be repaved
LG.07	Walls	Modern wall tiles and painted brickworks	Tiles to be removed and walls to be repaired and repainted
LG.07	Internal Door	Door beween LG06 & LG07 to be retained	<ul style="list-style-type: none">Doors to be retained, replaced and redecoratedNew ironmongery to be installed
LG.07	External Doors	All modern doors to be removed and renewed	To be removed and replaced
LG.07	Kitchen	Poor quality modern kitchen and shelving	All removed and replaced

01.7 ROOMS G.01 / G.02

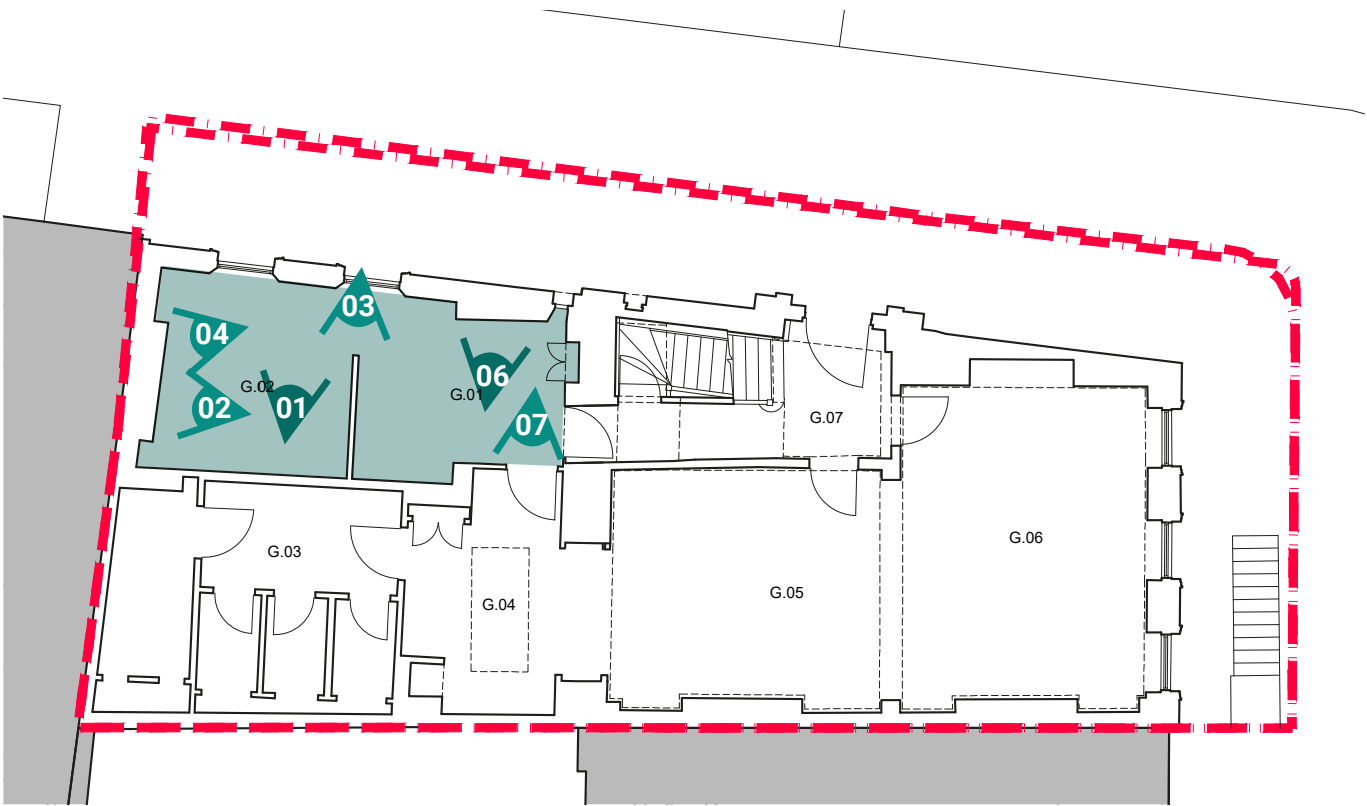
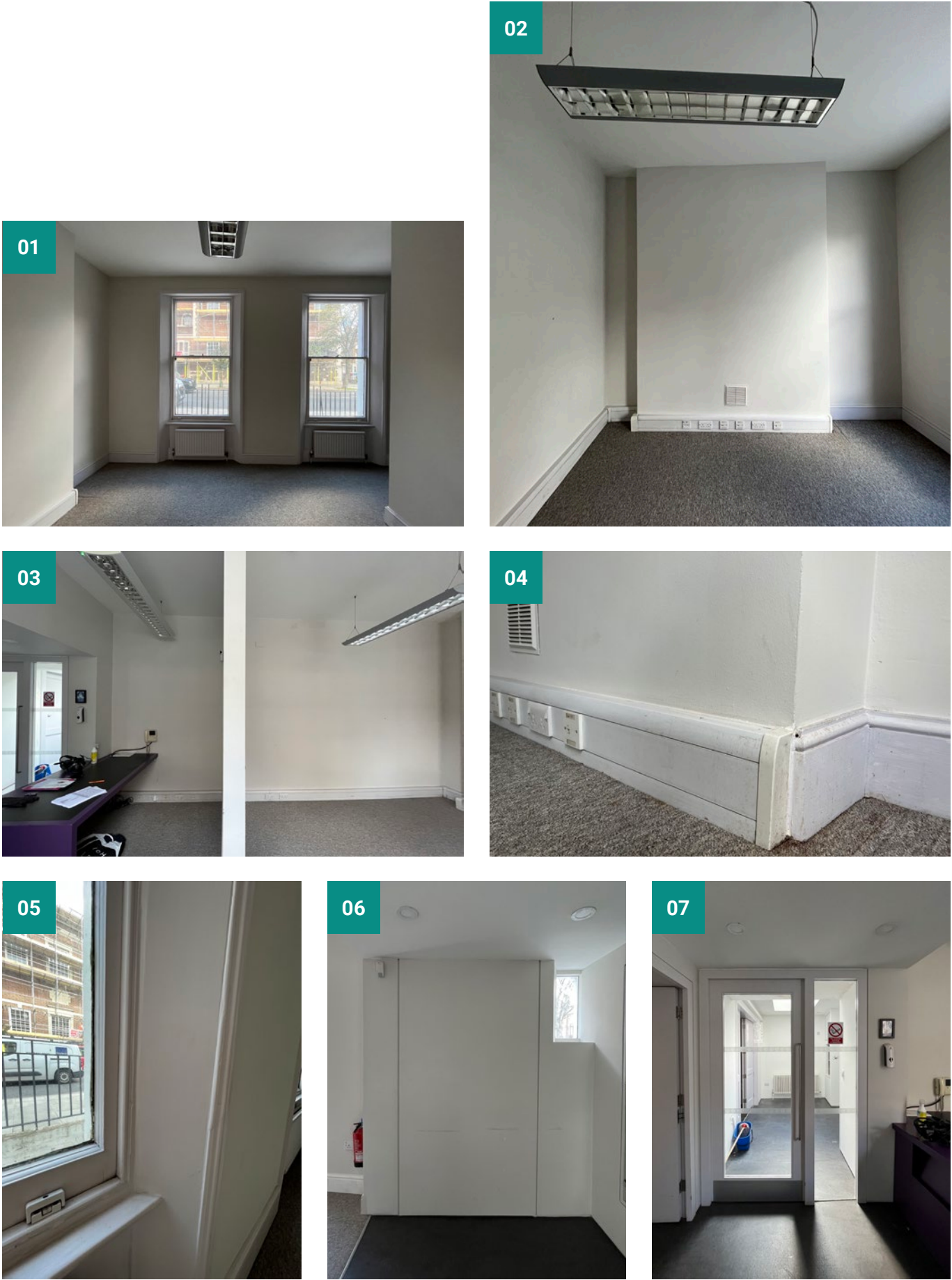


FIGURE 07 ROOM G.01 / G.02



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
G.01 / G.02	Ceiling / Cornice	<ul style="list-style-type: none">• High ceiling, no spotlights except for bulkhead• No cornice	All to be adapted to suit layout of conversion to residential use
G.01 / G.02	Floor	Part carpet, part vinyl covering concrete slab	All to be adapted to suit layout of conversion to residential use
G.01 / G.02	Walls / Skirting	<ul style="list-style-type: none">• Good condition• Mostly modern skirting with plastic electrical conduits• Skirting below indows appers to be original	<ul style="list-style-type: none">• All to be adapted to suit layout of conversion to residential use• Original skirting to be retained
G.01 / G.02	Windows	Timber sliding sash windows, single glazed. Windows do not open and present several layers of paint.	Existing windows to be retained and refurbished with secondary glazing added
G.01 / G.02	Internal Doors	New door with vision panel, good condition - non original	All to be adapted to suit layout of conversion to residential use
G.01 / G.02	Fireplace	Chimney breast present, no fireplace insert	Option to reinstate a reclaimed fireplace
G.01 / G.02	Radiators	Modern double panel radiators located beneath windows, with concealed pipework	All to be adapted to suit layout of conversion to residential use

01.8 ROOMS G.03

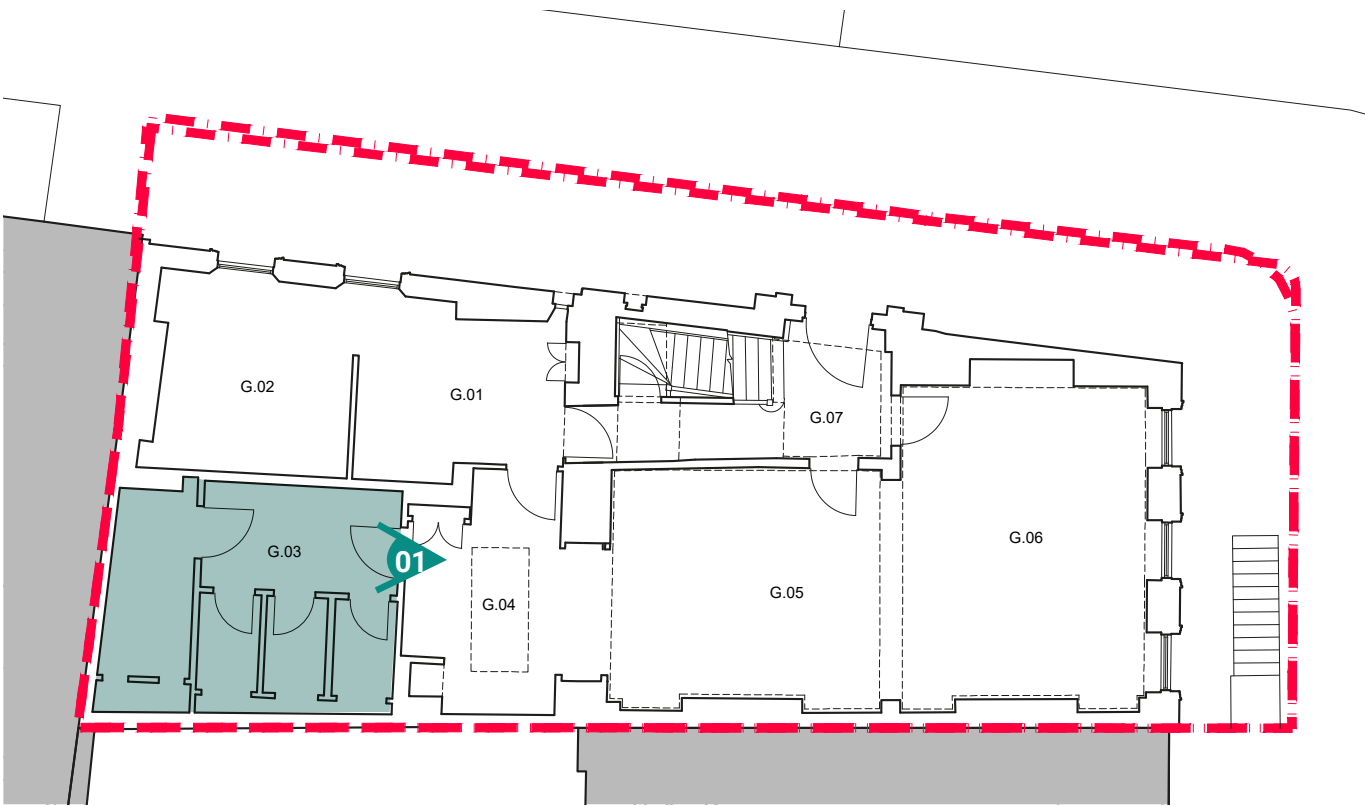


FIGURE 08 ROOM G.03



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
G.03	Ceiling / Cornice	Modern suspended ceiling	All to be adapted to suit layout of conversion to residential use
G.03	Floor	Modern vinyl covering concrete slab	All to be adapted to suit layout of conversion to residential use
G.03	Walls / Skirting	Modern partitions	All to be adapted to suit layout of conversion to residential use
G.03	Internal Doors	All are plain modern doors	All to be adapted to suit layout of conversion to residential use

01.9 ROOMS G.04

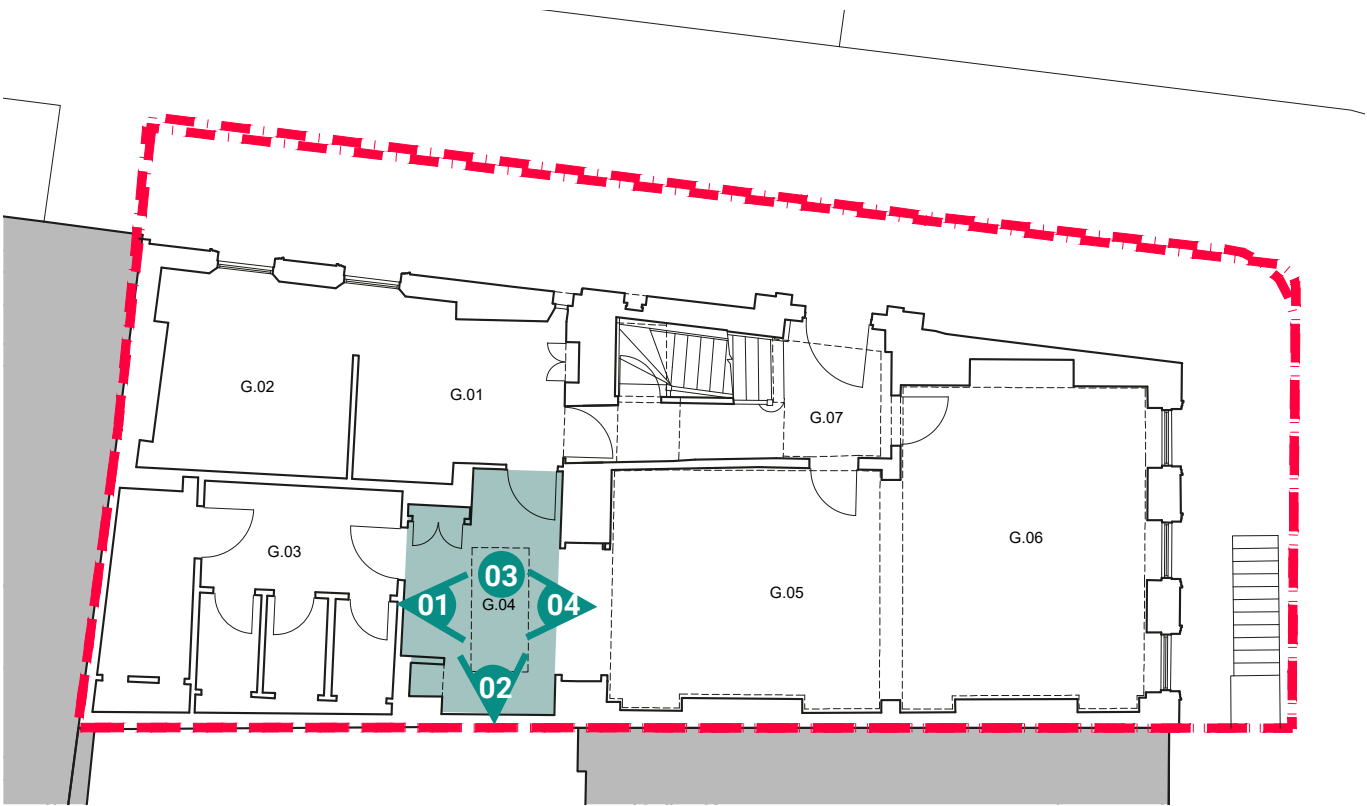


FIGURE 09 ROOM G.04

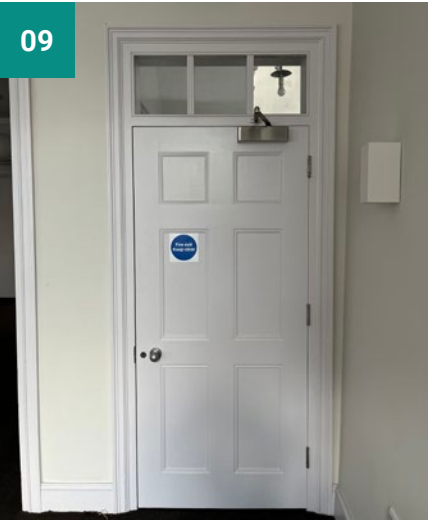


LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
G.04	Ceiling / Cornice	<ul style="list-style-type: none">• Modern Suspended ceiling• No cornice• Modern plastic rooflight	All to be adapted to suit layout of conversion to residential use
G.04	Floor	Part carpet, part vinyl covering concrete slab	All to be adapted to suit layout of conversion to residential use
G.04	Walls / Skirting	<ul style="list-style-type: none">• Modern plasterboard• Modern skirting and panels	All to be adapted to suit layout of conversion to residential use
G.04	Windows	N/A	N/A
G.04	Internal Doors	Modern door with vision panel	All to be adapted to suit layout of conversion to residential use
G.04	Fireplace	Chimney breast present, no fireplace insert	All to be adapted to suit layout of conversion to residential use
G.04	Radiators	Tubular Radiators	All to be adapted to suit layout of conversion to residential use

01.10 ROOMS G.05 / G.06



FIGURE 10 ROOM G.05 / G.06



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
G.05 / G.06	Ceiling / Cornice	<ul style="list-style-type: none">Plasterboard ceilingCornice with floral pattern	<ul style="list-style-type: none">Ceiling and cornice to be repaired and redecorated
G.05 / G.06	Floor	Modern Carpet	Carpet to be stripped out renewed
G.05 / G.06	Walls / Skirting	<ul style="list-style-type: none">Plaster wallModern skirtingFrame to opening non original	Walls and skirting to be repaired and repainted
G.05 / G.06	Windows	Existing timber sash windows, single glazed and secondary glazing to be retained	Existing windows and secondary glazing repaired and redecorated, including architrves, cills, panelled reveals and panels below windows
G.05 / G.06	Internal Doors	Existing doors to stair/lobby retained Modern cupboard doors and screens to be removed	Existing doors to the stair lobby to be retained and refurbished including the fanlight above
G.05 / G.06	Fireplace	<ul style="list-style-type: none">G.06: Fireplace retainedG.05: Chimney breast present, no fireplace insert	G.05: Option to reinstate a reclaimed fireplace
G.05 / G.06	Radiators	Modern radiators beneath windows	Radiarors to be replaced

01.11 ROOMS G.07

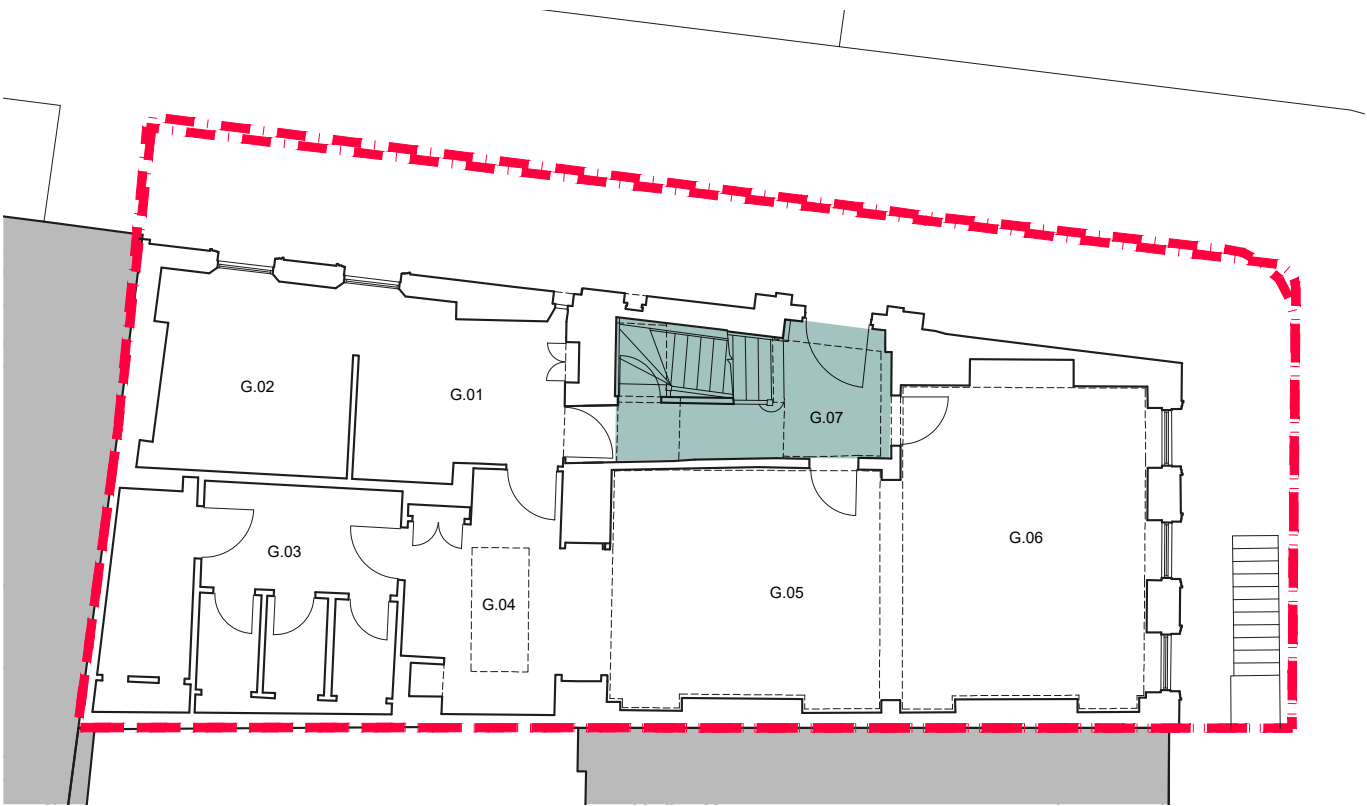
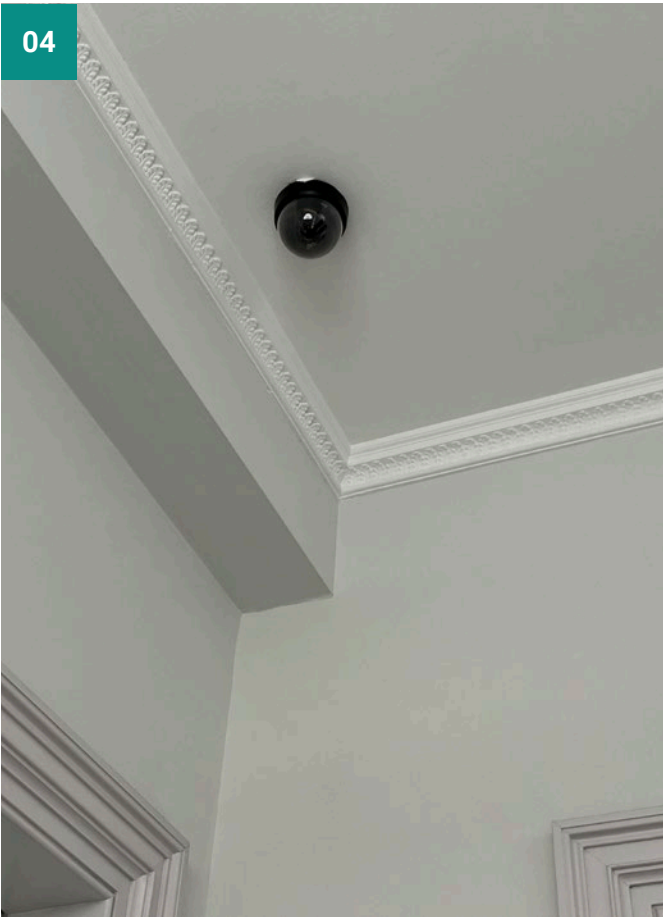


FIGURE 11 ROOM G.07



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
G.07	Stairs	Modern balusters, but newel post & baluster handrail appears to be original components	<ul style="list-style-type: none">• Carpet removed and replaced• All joinery renovated
G.07	Floor	Chequer tile floor to be retained	Tiled floor to be repaired where needed and retained
G.07	Walls	White painted walls	To be made good and repainted
G.07	Ceiling	Modern plasterboard ceiling Cornice with floral pattern	Ceiling and cornice to be redecorated and retained

01.12 ROOMS 01.01

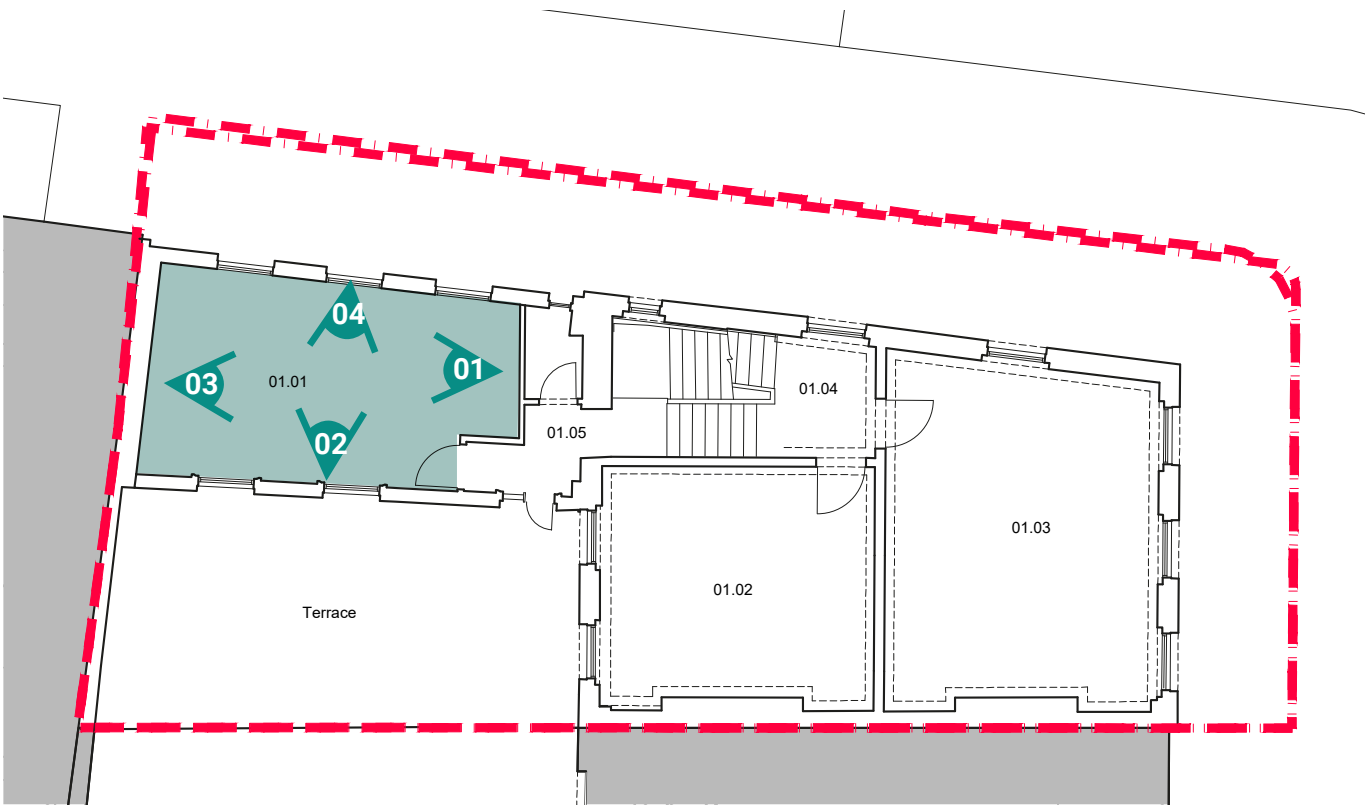
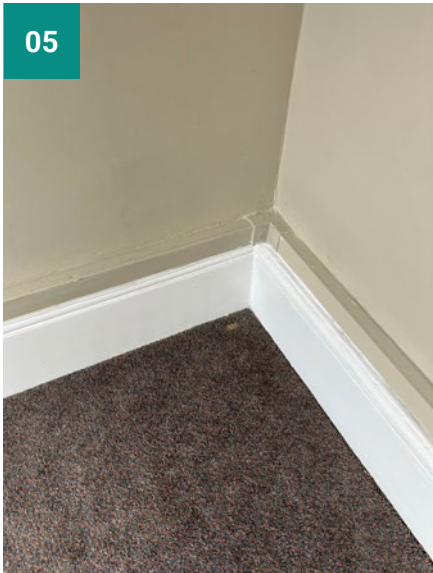
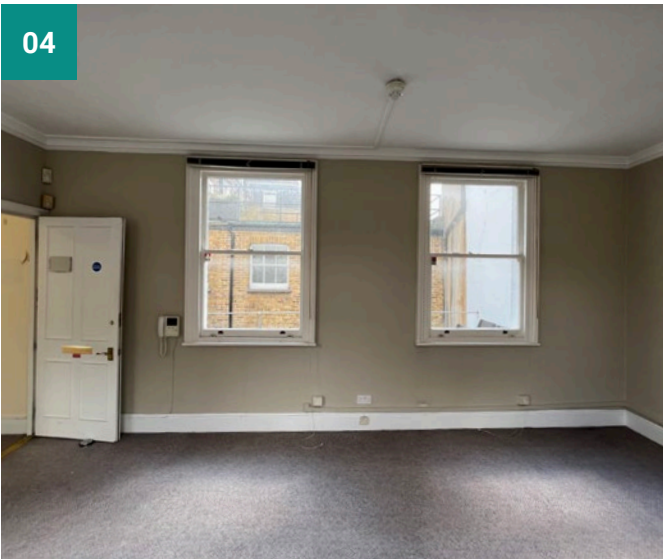
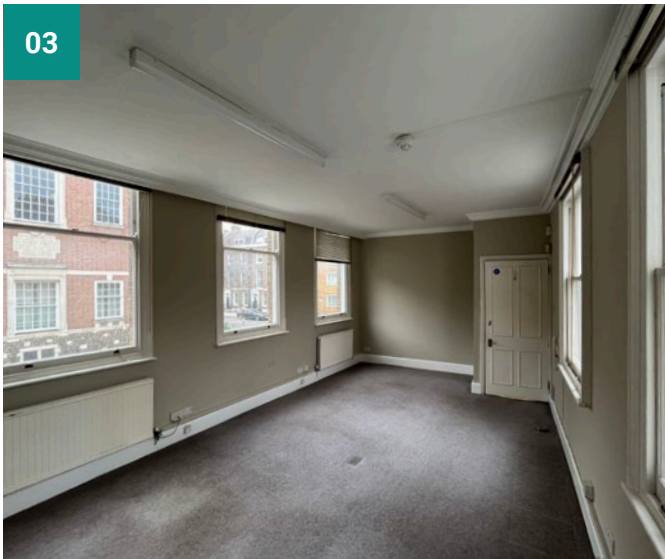
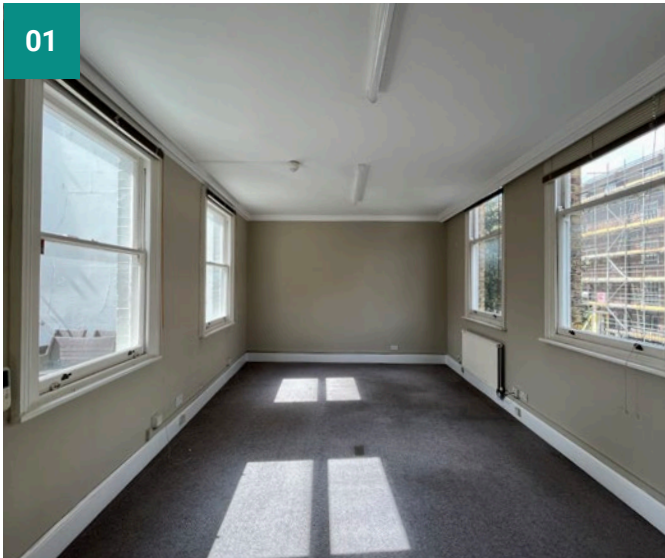


FIGURE 12 ROOM 01.01



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
01.01	Ceiling / Cornice	<ul style="list-style-type: none">• Modern plasterboard ceiling and cornice• Ceiling bulkhead covering part of existing window	All to be adapted to suit layout of conversion to residential use
01.01	Floor	Modern carpet covering timber floor	All to be adapted to suit layout of conversion to residential use
01.01	Walls / Skirting	<ul style="list-style-type: none">• Plasterboard walls• Modern skirting• Electrical plastic conduit running above skirting	All to be adapted to suit layout of conversion to residential use
01.01	Windows	Surface mounted slideing timber sash windows, single glazed to be retained	<ul style="list-style-type: none">• Windws to be refurbished and redecorated with new secondary glazing installed• Windows to the rear to be replaced to enable extension
01.01	Internal Doors	Modern doors to be retaned for possible reuse	Doors to be retained, refurbished for possible reuse
01.01	Radiators	Modern double panel radiators	Radiators to be removed and replaced

01.13 ROOMS 01.02

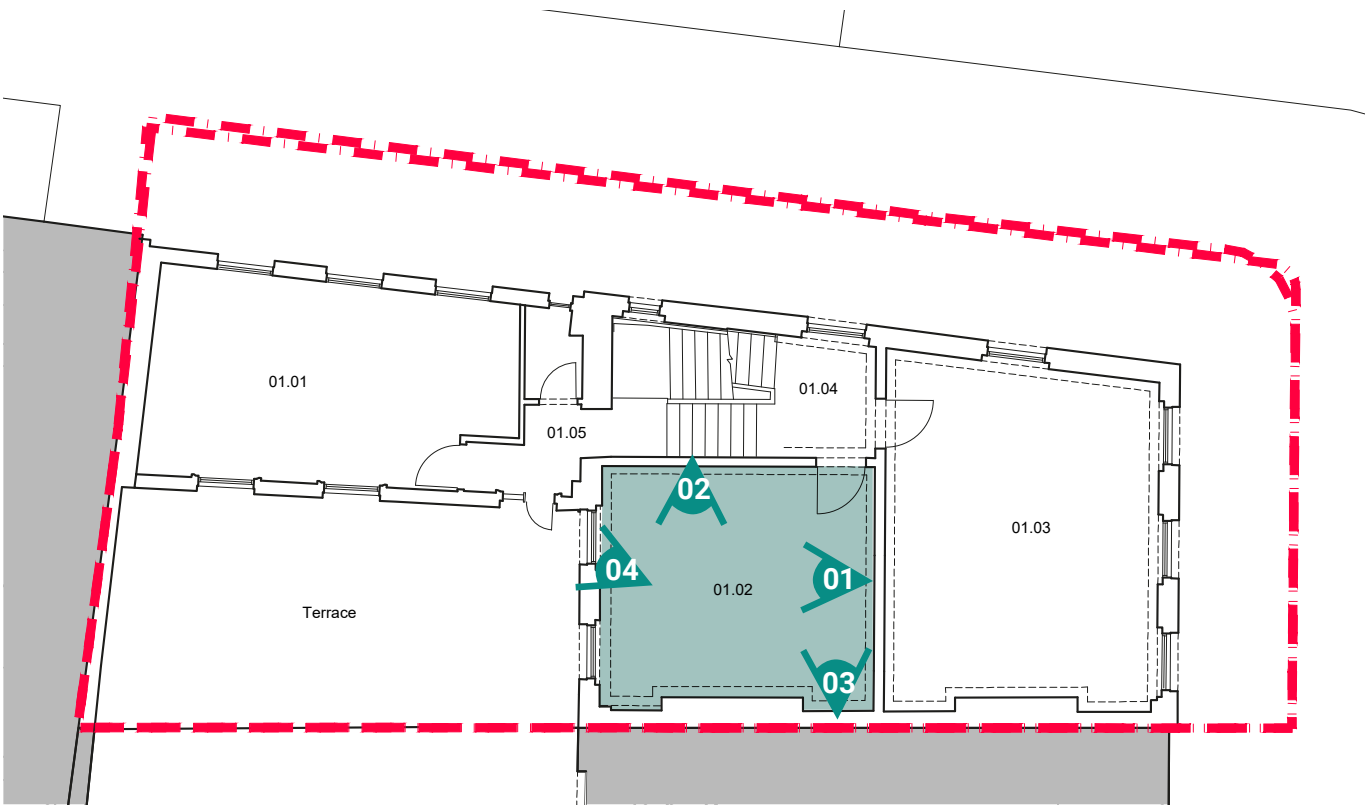
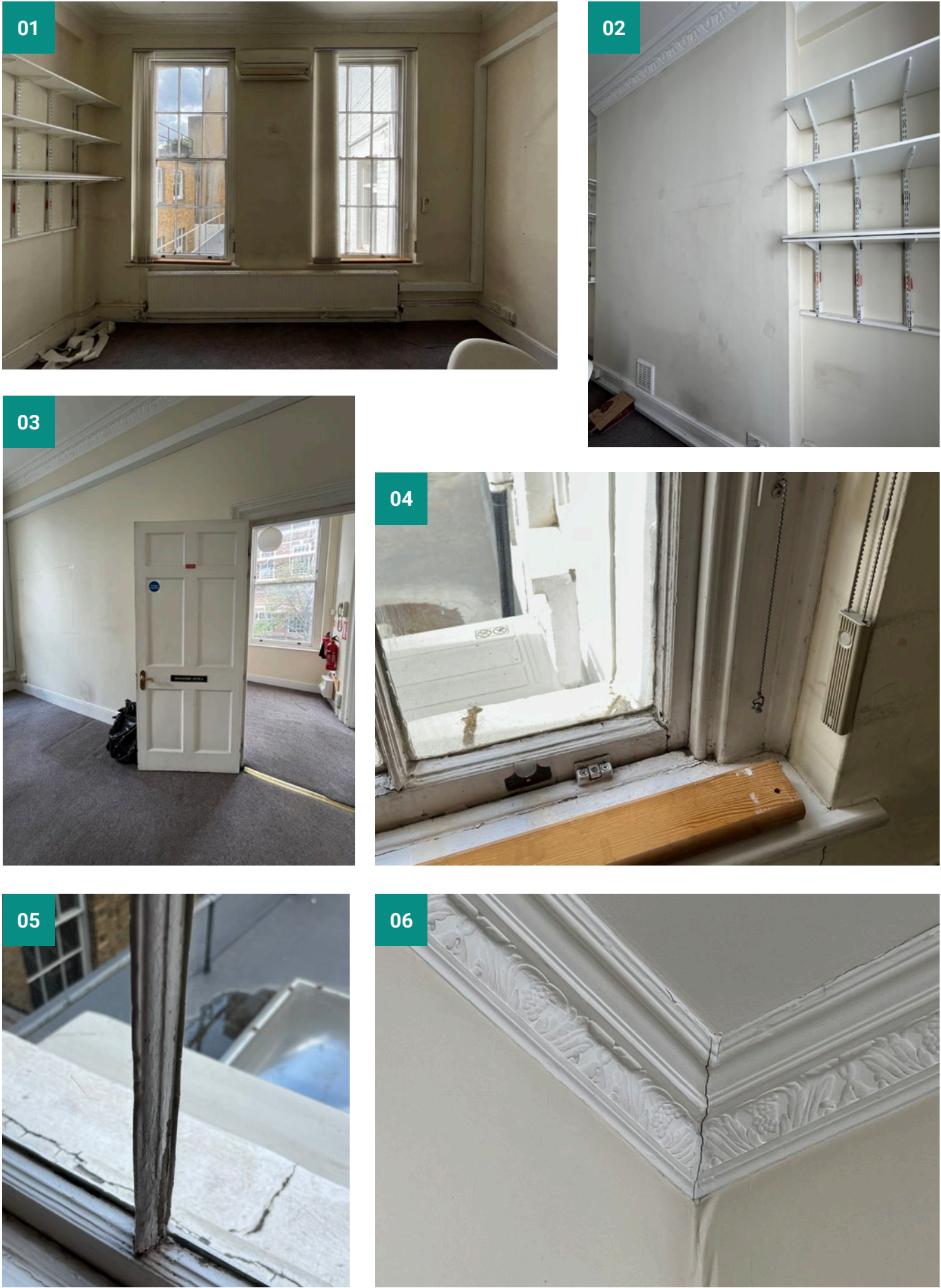


FIGURE 13 ROOM 01.02

The finishes to the walls and ceiling in this room are all in poor condition.

All will be retained (where possible), refurbished and redecorated



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
01.02	Ceiling / Cornice	Ceiling and cornice in poor condition	All to be retained (where possible), refurbished and redecorated
01.02	Floor	Modern carpet covering floor - to be inspected to confirm condition	Depending on floor quality either sand and stain or replace floor with new boards. joists to be inspected
01.02	Walls / Skirting	<ul style="list-style-type: none">• Poor condition• Skirting to be retained	<ul style="list-style-type: none">• All to be retained (where possible), refurbished and redecorated• All surface mounted fixtures, fixings and services to be removed
01.02	Windows	<ul style="list-style-type: none">• Traditional timber sash windows, single glazed to be retained.• Extremely poor condition, stuck and covered in several layers of painting. Most timber forming the bars seems to be rotten and beyond repairable state	Repair where possible, and replace components beyond repair
01.02	Internal Doors	Six panel door to stair retained	Retained and refurbished, ironmongery to be replaced
01.02	Radiators	Double panel metal radiato beneath windows	Replaced and renewed

01.14 ROOMS 01.03

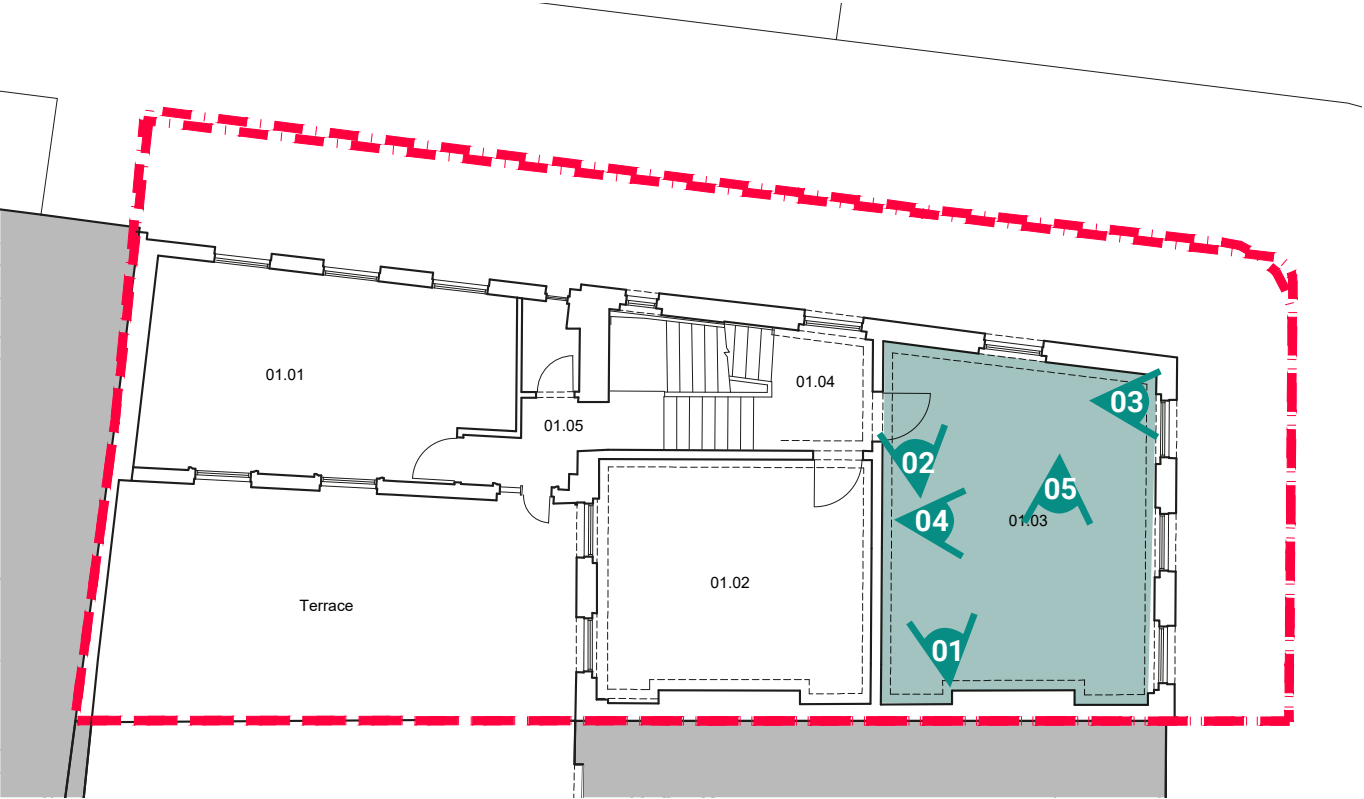


FIGURE 14 ROOM 01.03



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
01.03	Ceiling / Cornice	Plaster ceiling and cornice retained	<ul style="list-style-type: none">All to be repaired and redecorated
01.03	Floor	<ul style="list-style-type: none">Modern carpetfloor to be inspected to confirm condition below carpet	Renew floor finishes
01.03	Walls / Skirting	<ul style="list-style-type: none">Plaster wall and skirting retainedElectrical plastic conduit running above skirting	<ul style="list-style-type: none">Walls to be repaired and redecoratedConduit to be stripped outAll wiring to de concealed under floor/ceiling/walls
01.03	Windows	<ul style="list-style-type: none">Existing sliding sash windows, single glazed retained. Windows are covered in several layers of painting.	<ul style="list-style-type: none">To be refurbished and redecorated (where possible)Secondary glazing to be installed
01.03	Internal Doors	Existing timber door retained	To be retained and redecorated with new ironmongery
01.03	Radiators	Double panel metal radiator	Radiators to be removed and replaced

01.15 ROOMS 01.04 / 01.05

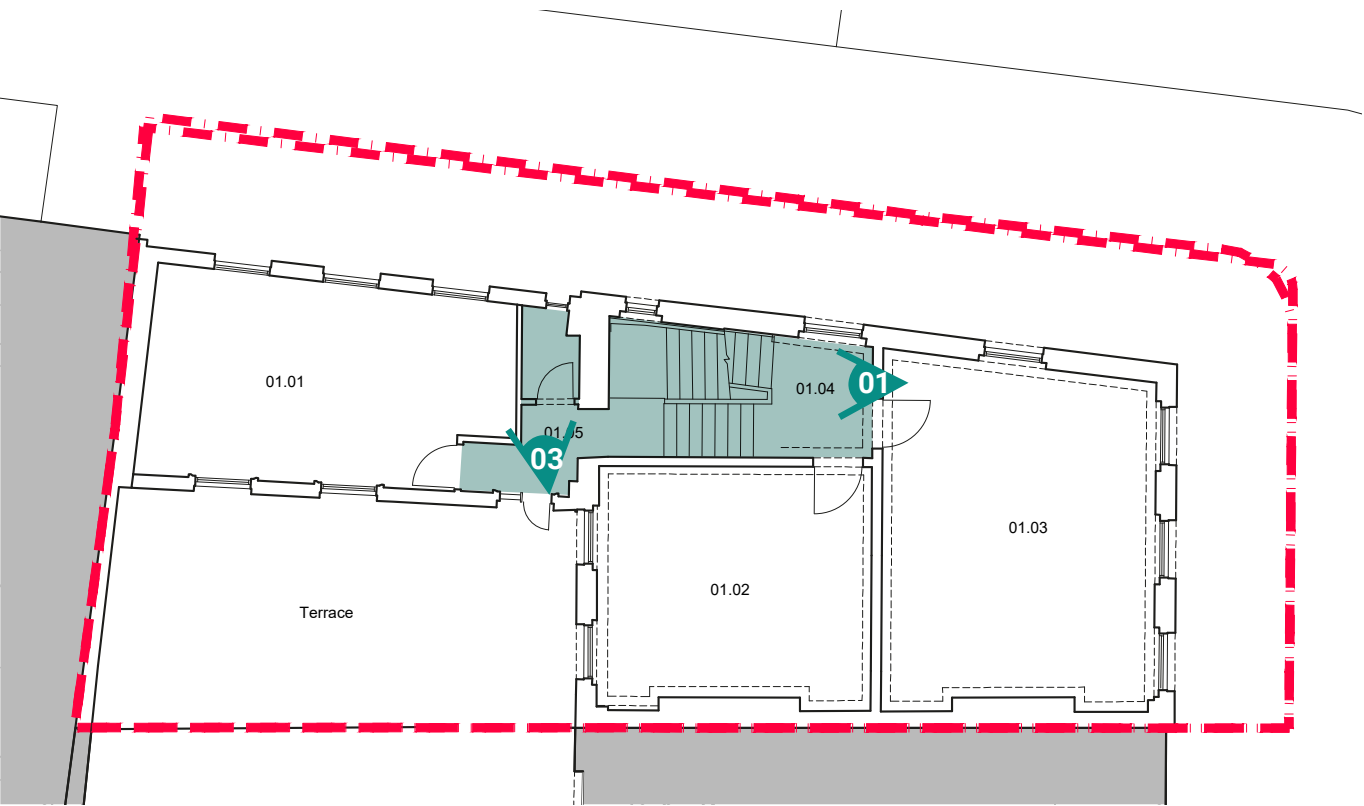


FIGURE 15 ROOM 01.04 - 01.05

Room 01.05: This modern toilet fitout will be removed entirely to suit new residential layout



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
01.04	Stairs	Steps covered with modern new carpet	Carpet to be removed and replaced
01.04	Railings	Handrail to baluster and newel posts appear to be original elements, but the balusters appear to be modern	All to be retained and refurbished
01.04	Floor	Modern carpet	Carpet to be removed and replaced
01.04	Walls	Painted plaster walls	To be made good and repainted
01.05	Toilet		To be removed

01.16 ROOMS 02.01

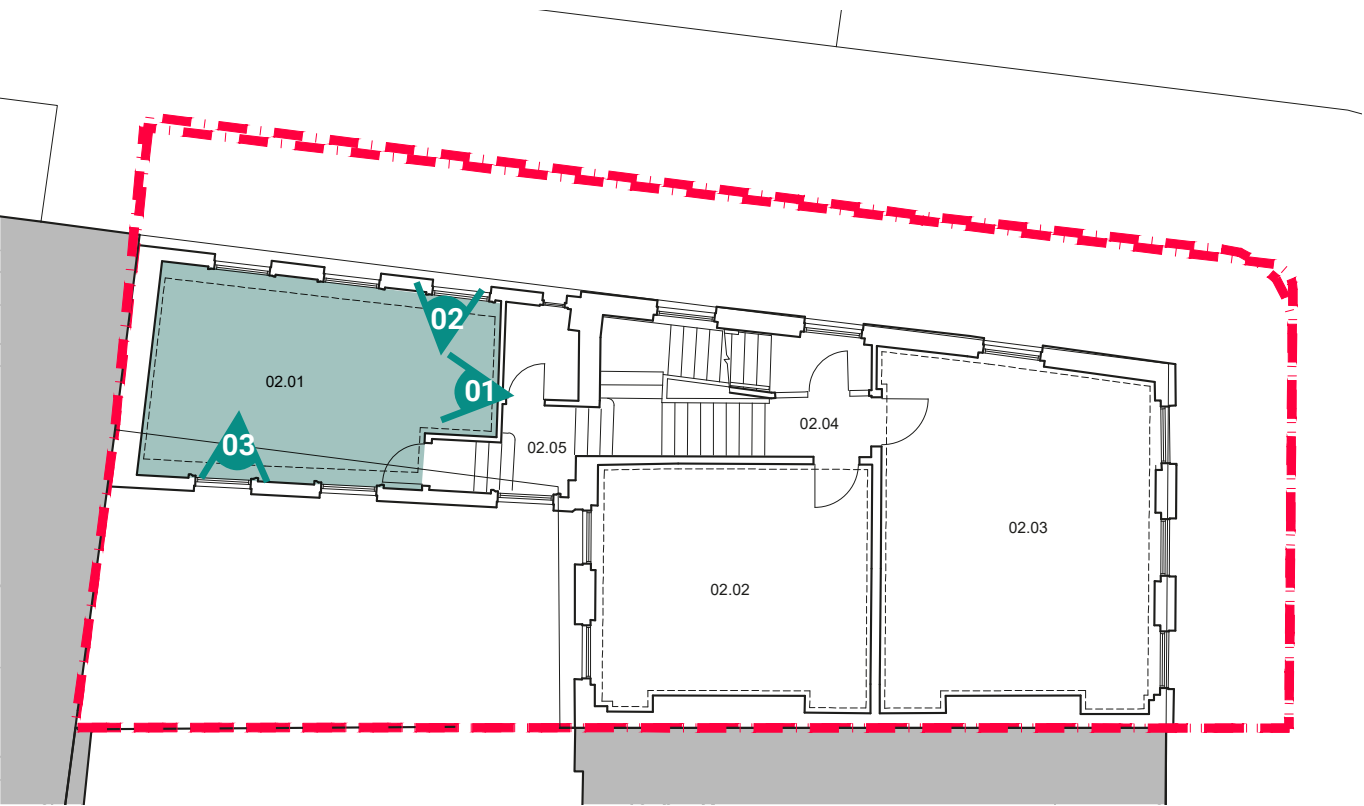


FIGURE 16 ROOM 02.01



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
02.01	Ceiling / Cornice	<ul style="list-style-type: none">• Modern plasterboard ceiling and cornice• Ceiling bulkhead covering part of existing window	All to be adapted to suit layout of conversion to residential use
02.01	Floor	Modern carpet covering timber floor	All to be adapted to suit layout of conversion to residential use
02.01	Walls / Skirting	<ul style="list-style-type: none">• Plasterboard walls• Modern skirting• Electrical plastic conduit running above skirting	All to be adapted to suit layout of conversion to residential use
02.01	Windows	Surface mounted slideing timber sash windows, single glazed to be retained	<ul style="list-style-type: none">• Windows to be refurbished and redecorated with new secondary glazing installed
02.01	Internal Doors	Modern doors to be retaned for possible reuse	Doors to be retained, refurbished for possible reuse
02.01	Radiators	Modern double panel radiators	Radiators to be removed and replaced

01.17 ROOMS 02.02

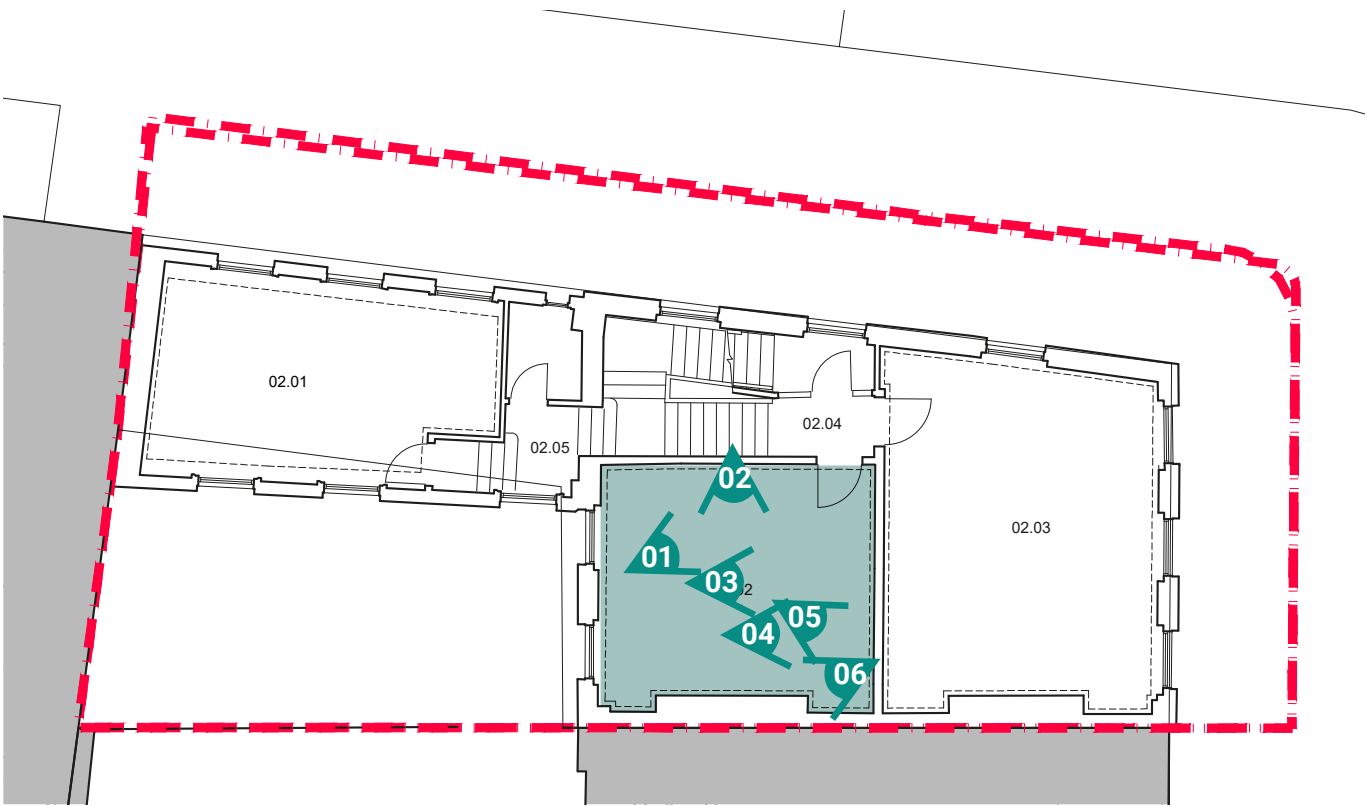


FIGURE 17 ROOM 02.02



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
02.02	Ceiling / Cornice	Ceiling and cornice in poor condition	All to be retained (where possible), refurbished and redecorated
02.02	Floor	Modern carpet covering floor - to be inspected to confirm condition	Depending on floor quality either sand and stain or replace floor with new boards. joists to be inspected
02.02	Walls / Skirting	<ul style="list-style-type: none">• Poor condition• Skirting to be retained	<ul style="list-style-type: none">• All to be retained (where possible), refurbished and redecorated• All surface mounted fixtures, fixings and services to be removed
02.02	Windows	<ul style="list-style-type: none">• Traditional timber sash windows, single glazed to be retained.• Extremely poor condition, stuck and covered in several layers of painting. Most timber forming the bars seems to be rotten and beyond repairable state	Repair where possible, and replace components beyond repair
02.02	Internal Doors	Six panel door to stair retained	Retained and refurbished, ironmongery to be replaced
02.02	Radiators	Double panel metal radiato beneath windows	Replaced and renewed

01.18 ROOMS 02.03

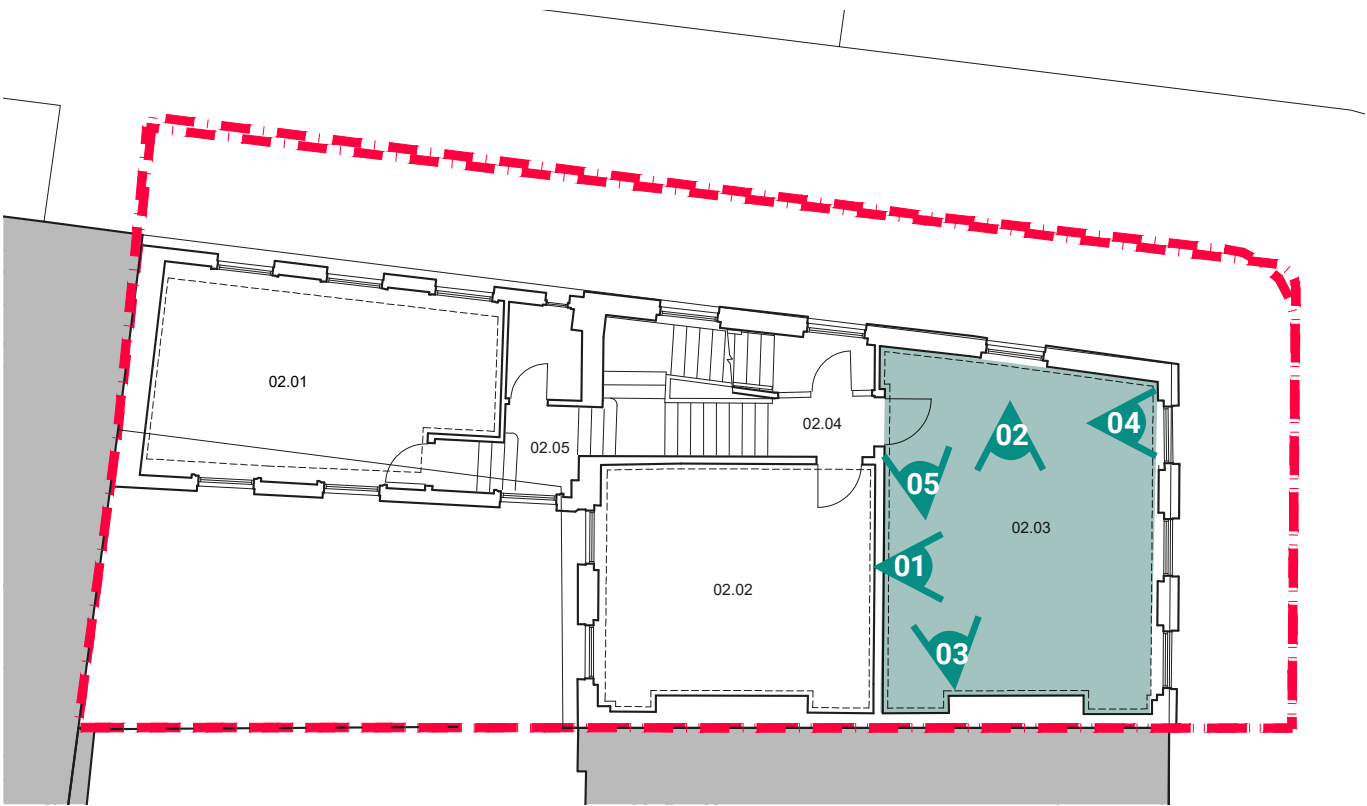
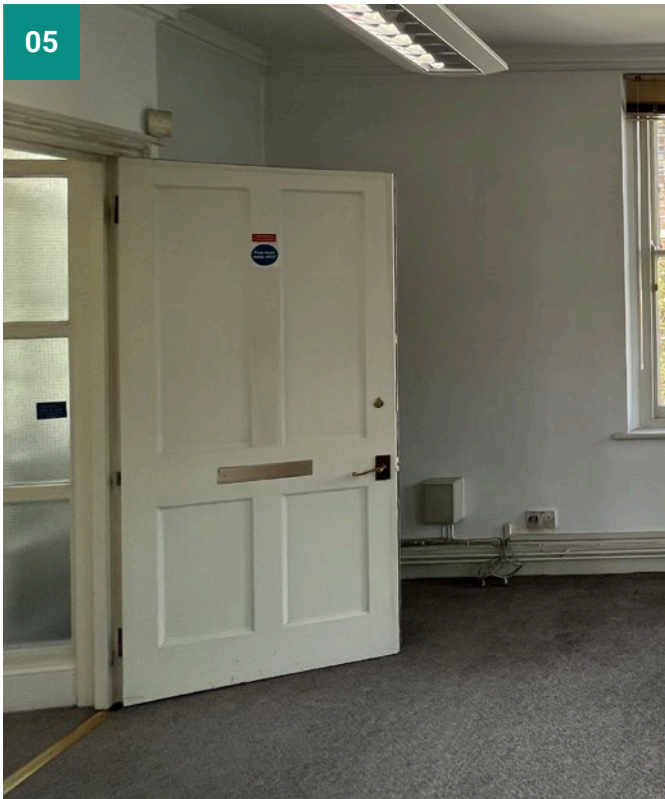


FIGURE 18 ROOM 02.03



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
02.03	Ceiling / Cornice	Plaster ceiling and cornice retained	<ul style="list-style-type: none">All to be repaired and redecorated
02.03	Floor	<ul style="list-style-type: none">Modern carpetfloor to be inspected to confirm condition below carpet	Renew floor finishes
02.03	Walls / Skirting	<ul style="list-style-type: none">Plaster wall and skirting retainedElectrical plastic conduit running above skirting	<ul style="list-style-type: none">Walls to be repaired and redecoratedConduit to be stripped outAll wiring to de concealed under floor/ceiling/walls
02.03	Windows	<ul style="list-style-type: none">Existing sliding sash windows, single glazed retained. Windows are covered in several layers of painting.	<ul style="list-style-type: none">To be refurbished and redecorated (where possible)Secondary glazing to be installed
02.03	Internal Doors	Existing timber door retained	To be retained and redecorated with new ironmongery
02.03	Radiators	Double panel metal radiator	Radiators to be removed and replaced

01.19 ROOMS 02.04 / 02.05

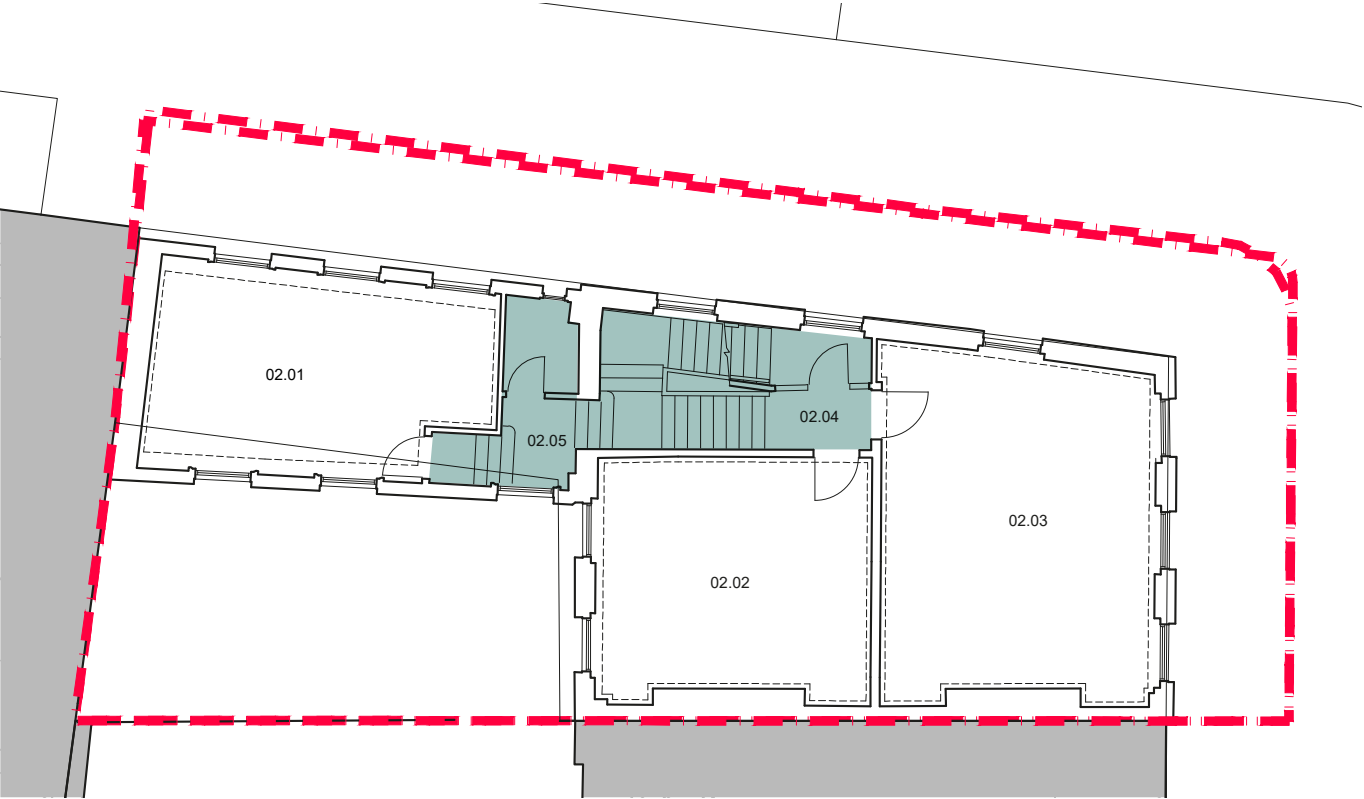


FIGURE 19 ROOM 02.04 / 02.05



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
02.04	Stairs	Steps covered with modern new carpet	Carpet to be removed and replaced
02.04	Railings	Handrail to baluster and newel posts appear to be original elements, but the balusters appear to be modern	All to be retained and refurbished
02.04	Floor	Modern carpet	Carpet to be removed and replaced
02.04	Walls	Painted plaster walls	To be made good and repainted
02.05	Toilet		To be removed
02.04	Glazed Partition	Modern timber framed obscured glass partition	To be removed

01.20 ROOMS 03.01



FIGURE 20 ROOM 03.01



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
03.01	Ceiling	<ul style="list-style-type: none">• Modern lasterboard ceiling and cornice• Ceiling bulkhead covering part of existing window	All to be adapted to suit layout of conversion to residential use
03.01	Floor	Modern carpet covering timber floor	All to be adapted to suit layout of conversion to residential use
03.01	Walls / Skirting	<ul style="list-style-type: none">• Plasterboard walls• Modern skirting• Electrical plastic conduit running above skirting	All to be adapted to suit layout of conversion to residential use
03.01	Windows	Surface mounted slideing timber sash windows, single glazed to be retained	<ul style="list-style-type: none">• Windows to be refurbished and redecorated with new secondary glazing installed
03.01	Internal Doors	Modern doors to be retaned for possible reuse	Doors to be retained, refurbished for possible reuse
03.01	Radiators	Modern double panel radiators	Radiators to be removed and replaced

01.21 ROOMS 03.02

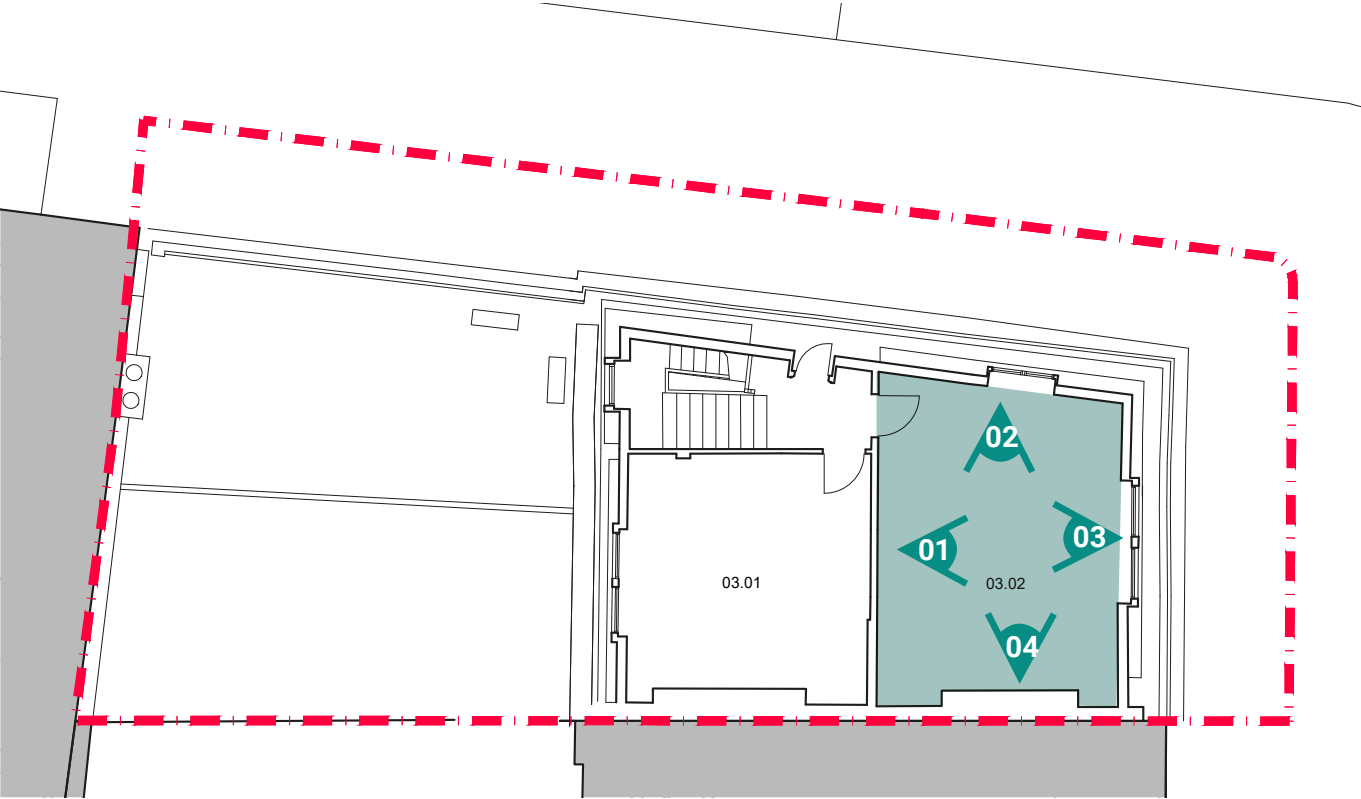
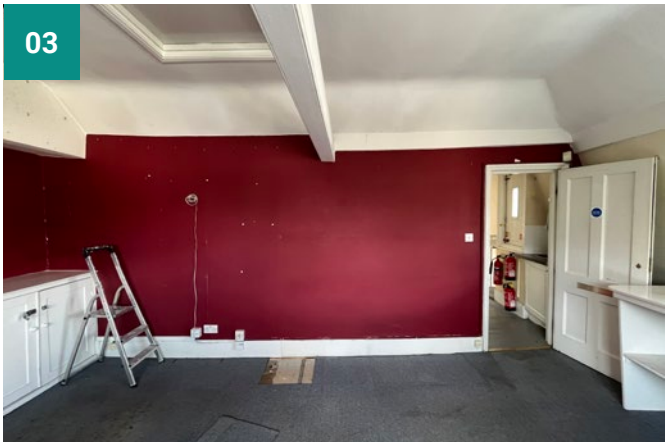


FIGURE 21 ROOM 03.02



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
03.02	Ceiling / Cornice	Ceiling and cornice in poor condition	All to be retained (where possible), refurbished and redecorated
03.02	Floor	Modern carpet covering floor - to be inspected to confirm condition	Depending on floor quality either sand and stain or replace floor with new boards. joists to be inspected
03.02	Walls / Skirting	<ul style="list-style-type: none">• Poor condition• Skirting to be retained	<ul style="list-style-type: none">• All to be retained (where possible), refurbished and redecorated• All surface mounted fixtures, fixings and services to be removed
03.02	Windows	<ul style="list-style-type: none">• Traditional timber sash windows, single glazed to be retained.• Extremely poor condition, stuck and covered in several layers of painting. Most timber forming the bars seems to be rotten and beyond repairable state	Repair where possible, and replace components beyond repair
03.02	Internal Doors	Six panel door to stair retained	Retained and refurbished, ironmongery to be replaced
03.02	Radiators	Double panel metal radiator beneath windows	Replaced and renewed

01.22 ROOMS 03.02

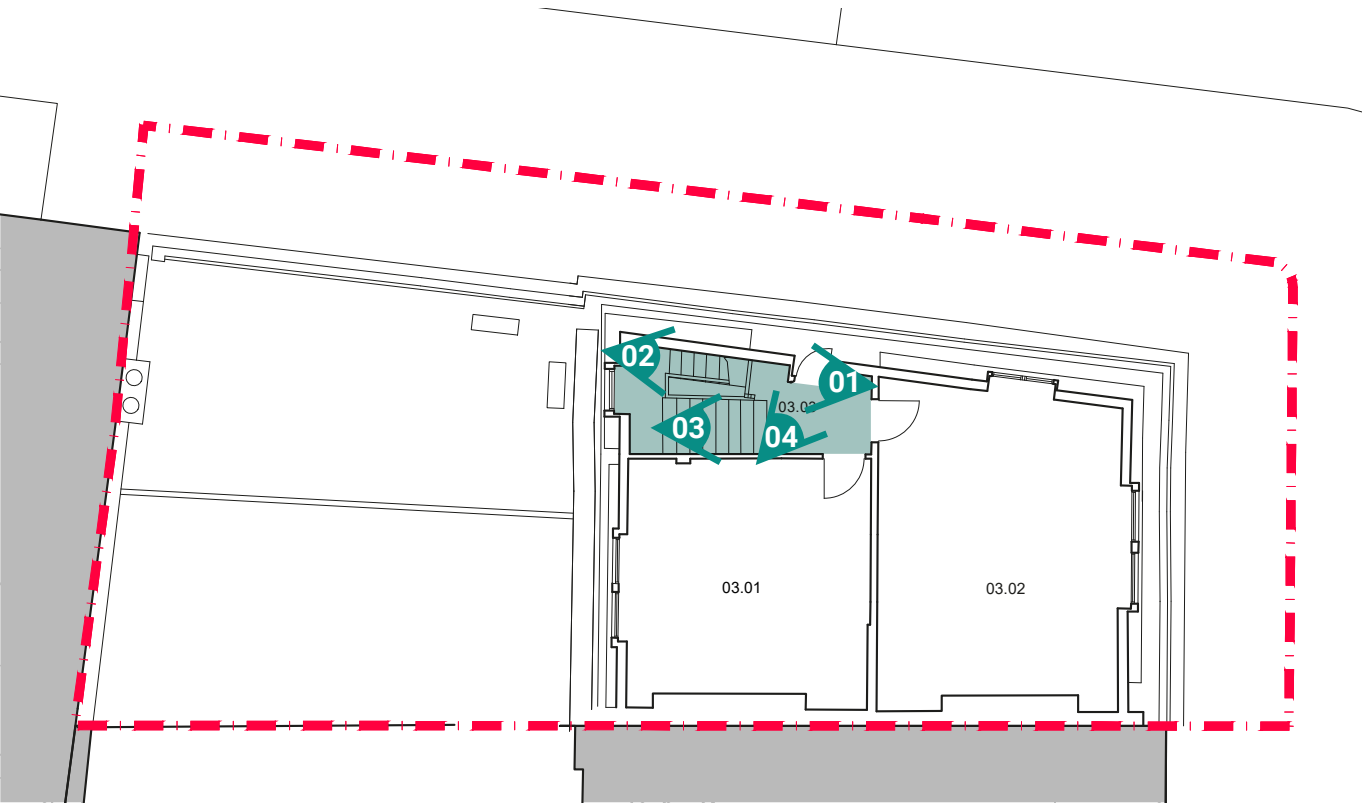


FIGURE 22 ROOM 03.02



LOCATION	DESCRIPTION	CONDITION / SCOPE OF REPAIR	COMMENTS
03.02	Ceiling / Cornice	Ceiling and cornice in poor condition	All to be retained (where possible), refurbished and redecorated
03.02	Floor	Modern carpet covering floor - to be inspected to confirm condition	Depending on floor quality either sand and stain or replace floor with new boards. joists to be inspected
03.02	Walls / Skirting	<ul style="list-style-type: none">Poor conditionSkirting to be retained	<ul style="list-style-type: none">All to be retained (where possible), refurbished and redecoratedAll surface mounted fixtures, fixings and services to be removed
03.02	Windows	<ul style="list-style-type: none">Traditional timber sash windows, single glazed to be retained.Extremely poor condition, stuck and covered in several layers of painting. Most timber forming the bars seems to be rotten and beyond repairable state	Repair where possible, and replace components beyond repair
03.02	Internal Doors	Six panel door to stair retained	Retained and refurbished, ironmongery to be replaced
03.02	Radiators	Double panel metal radiator beneath windows	Replaced and renewed