

2023/2075/P Flat 1 15 Lindfield Gardens



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Image 1. Aerial view



Image 2. Showing the rear elevation



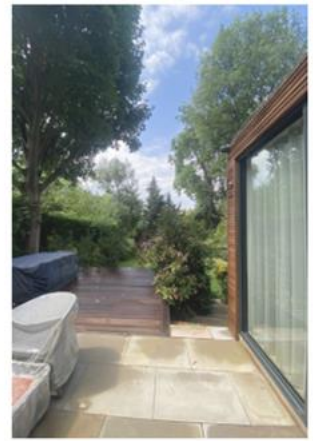
A: Rear elevation with existing extension



B: Existing lower ground floor rear extension to be replaced



C: Existing rear bay window



D: View of existing extension and garden deck



E: View out to garden

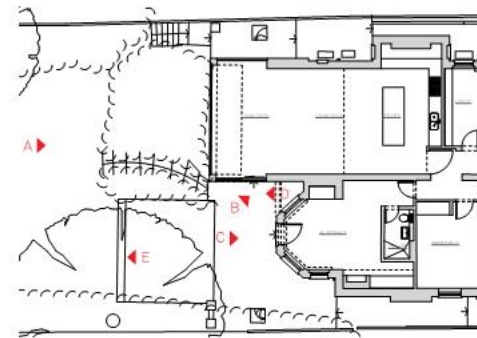


Image 3. Showing the rear elevation from various views

3.4 SITE PHOTOS - SIDE ACCESS



A. Existing timber side access to Flat 1 and Garden



B. Screen and door formed in black painted timber panels with decorative metal spikes above

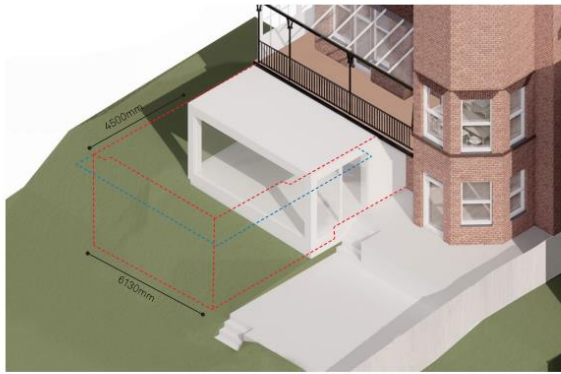


C. Existing blocked door in flank wall to be removed and bricked up in bricks to match existing



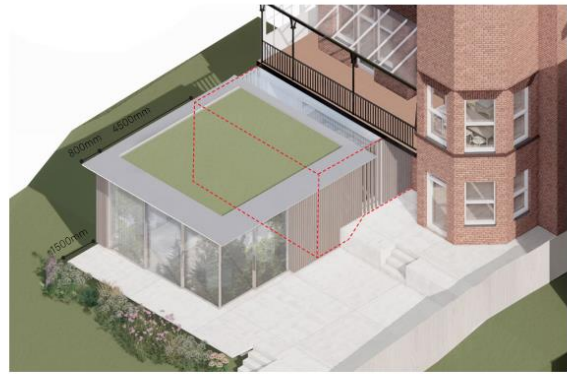
Image 4. Showing the existing access.

level, following the natural slope of the site, which improves headroom without raising the roof height.



Existing massing

KEY:
- - - Line of proposed rear extension
- - - Line of roof overhang



Proposed massing

KEY:
- - - Line of existing rear extension

Image 5. Showing the proposed works in 3D.



Existing Rear Elevation
Scale 1:100



Proposed Rear Elevation
Scale 1:100

Image 6. Showing the existing and proposed rear elevation.

The proposal looks to lower the exist internal FFL to improve headroom.

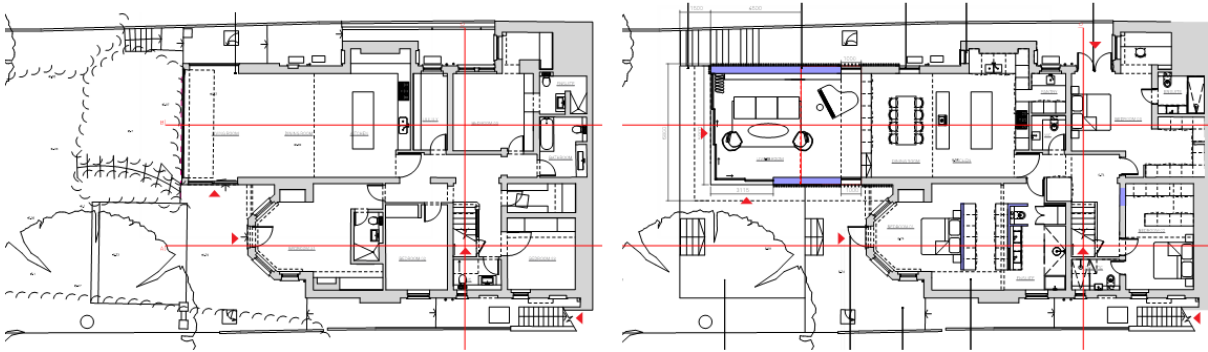


Image 7. Showing the existing and proposed floor plans.

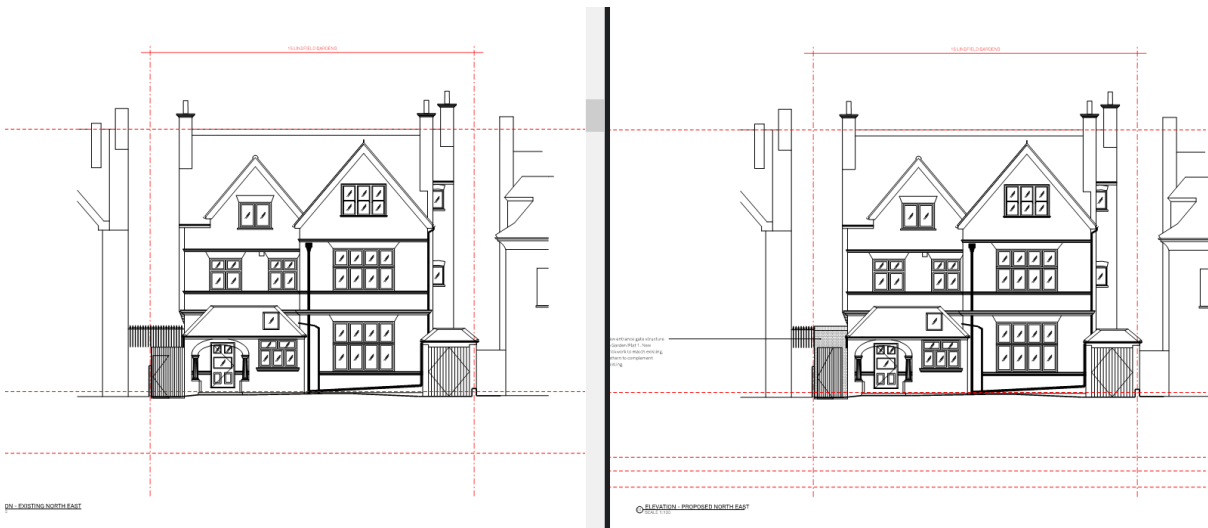


Image 8. Showing the existing and proposed front elevation.

Delegated Report		Analysis sheet	Expiry Date:	18/07/2023
		N/A / attached	Consultation Expiry Date:	09/07/2023
Officer			Application Number(s)	
Obote Hope			2023/2075/P	
Application Address			Drawing Numbers	
Flat 1 15 Lindfield Gardens London NW3 6PX			<i>See draft decision notices</i>	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Demolition of existing lower ground floor rear extension. Erection of replacement lower ground floor rear extension. Associated alterations including lowering of internal floor level at lower ground floor, changes to fenestration at lower ground floor rear, new side entrance, and new decking.				
Recommendation(s):		Grant conditional planning permission		
Application Type:		Full Planning Permission		

Conditions or Reasons for Refusal:	<i>Refer to Draft Decision Notice</i>					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	00	No. of objections	00
Summary of consultation responses:	<p>Site notices were posted between 14/06/2023 and expired on 08/07/2023. A press notice was published on 15/06/2023 and expired on 09/07/2023.</p> <p>No responses were following statutory consultation.</p>					
CAAC/Local groups comments:	<p>The Redington Frogнал Neighbourhood Forum) objected on the following grounds:</p> <ul style="list-style-type: none"> • The loss of trees to facilitate development is not supported and all trees are important to the special character of the Conservation Area. • A planting plan, using the guidance set out in section 6.2 of the Neighbourhood Plan, will help to address some of these policies. <p>Officer response:</p> <ul style="list-style-type: none"> • The trees/shrubs to be removed are not considered to be of any particular note and their loss will not be detrimental to the character and appearance of the area and can easily be ameliorated with replacement planting. • Please refer to Section 5 below. 					

Site Description

The site comprises of a three-storey (plus basement level) building located on the western side of Lindfield Gardens, halfway between Arkwright Road and Langland Gardens. The host building is divided into 5 self-contained residential flats and the works relates to flat 1 which occupies the lower ground floor.

The building is located in the Redington & Frogna Conservation Area and is noted in the conservation area appraisal as making a positive contribution to the character and appearance of the Conservation Area.

Relevant History

2022/3313/PRE – Pre-application advice is sought to creation of a basement under the existing lower ground floor level; a rear extension at lower ground floor level; enclosing the existing ground floor rear terrace; creation of new terrace at ground and first floor levels; in addition to associated interior and exterior alterations. Advice was issued on 02/12/2022.

2021/2056/PRE – pre-application advice is sought to turn the existing rear extension into a full width extension. Advice Issued on **05/08/2021**.

2010/5102/P – Planning permission for the erection of a single storey rear ground floor extension with rooflight to lower ground floor flat (Class C3). **Granted** on 15/11/2010.

2004/0870/P – planning permission for the erection of a single storey rear conservatory extension to the existing lower ground floor self-contained flat. **Granted** on 20/04/2004.

Relevant policies

National Planning Policy Framework 2023

London Plan 2021

Camden Local Plan 2017

Policy: A1 Managing the impact of development

Policy: A2 Open Space

Policy: D1 Design

Policy: D2 Heritage

Policy: CC1 Climate Change Mitigation

Policy: CC2 Adapting to climate change

Policy: CC3 Water and flooding

Redington Frogna Neighbourhood Plan (2020)

Policy: SD1 Refurbishing of Camden existing building stock

Policy: SD4 Redington Frogna Character

Policy: SD5 Dwellings: Extension and Garden Development

Policy: BG1 Gardens and Ecology

Policy: BG2 Tree Planting and Preservation

Policy: BG3 Lighting

Camden Planning Guidance 2021

CPG Home Improvement (2021)

CPG Amenity (2021)

CPG Biodiversity (2018)

CPG Design (2021)

CPG Trees (2019)

Redington and Frogna Conservation Area Statement (2022)

Assessment

1. The Proposal

- 1.1. Planning permission is sought for the erection of a replacement single storey extension to the rear elevation at lower-ground floor level following the demolition of the existing; alterations/reinstatement of glazed openings in the side elevation; replacement side access door at ground floor; bricking up of existing blocked external door at ground floor; lowering of the existing internal floor level by approximately 150mm; and installation of a decking area with steps leading into the lower garden level.
- 1.2. The proposed single storey rear extension would be a replacement of a single storey rear extension, measuring approximately 9.3m in depth, 3.1 to 3.8m in height and 6.8m in width, following the demolition of the existing 4.8m deep rear extension. The rear extension will be constructed out of similar timber louvre materials and glazing as the existing extension. A large double glazed sliding door is also proposed.
- 1.3. The proposed extension would be constructed with a flat roof that would be dark grey glass reinforced plastic or similar high performance watertight material and consist of the roof that would offer biodiversity.

2. Assessment

- 2.1. The principal considerations material to the determination of this application are as follows:
 - Design and Conservation
 - Impact on neighbouring amenity
 - Sustainability / biodiversity

3. Design and Conservation

- 3.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation areas that fails to preserve or enhance the character and appearance of that conservation area.
- 3.2. Camden Planning Guidance (CPG) on Home Improvements states that rear extensions should subordinate to the building being extended, in relation to its location, form, footprint, scale, proportions, dimensions and detailing. The extension should be built from materials that are sympathetic to the existing building wherever possible and should be carefully scaled in terms of its height, width and depth.
- 3.3. The Redington Frogal Neighbourhood Plan (RFNP) requires new development that promotes a rich level of detailing befitting of the character of the conservation area. It warns that garden development should aim to ensure that extension and garden development is subordinate to the use of the host building, that it maximises the preservation of gardens for the health and wellbeing of current and future occupiers and increases the area's resilience, including to provide a natural approach to flood management.

4. Rear Extension

4.1. Lindfield Gardens is primarily residential in character and predominant detached buildings. The Conservation Area Appraisal requires particular care in assessing planning applications for rear extensions, noting that the attractive garden setting of the host building, neighbouring gardens and any private open spaces should not be compromised by overly large extensions and areas of hard landscaping.



Image 1: Existing and Proposed rear extension.

4.2. The proposed extension would be constructed with an 800mm overhanging roof on the southeast and southwest elevations provides screening from direct light and neighbours as well as protection from rain. The existing garden area is 377sqm in area, with the proposed extension occupying an additional 11sqm, thus retaining a significant portion of the rear garden. Therefore, the proposal would not have a substantial impact on green infrastructure, biodiversity, and character of the area. Further, it will maintain the local character, amenity, biodiversity and its function as a sustainable drainage system to reduce local storm water runoff. The details of the green roof would be conditioned to ensure that the maintenance/construction/materials and planning species/density would be sufficient to demonstrate that the green roof would have an adequate species mix, substrate and construction and will be adequately maintained.

4.3. The extension would be constructed with a mixture of matching facing materials that mirrors the existing extension and would consist of natural materials, clad in vertical slats of treated timber. The underside of the proposed roof overhang will be clad in mirror polished stainless steel to reflect the greenery of the surrounding garden.

4.4. The proposed works would not be visible from the public realm and would only be visible in private views to the rear from the neighbouring properties. Officers further note that large rear extensions of various sizes and footprints are a characteristic feature of neighbouring properties on this side of Lindfield Gardens, of which are of a larger scale to what is being proposed. In this context, the proposed development would not be out of character host property's original character, proportions or appearance, nor the character and appearance of the wider Conservation Area.

4.5. The rear garden area would be reduced by approximately 11sqm with the expanded rear extension. The rear extension would also include a green roof to balance out the loss of garden space whilst improving biodiversity which in turn would reduce emissions onsite. It is therefore considered that the reduction of rear garden area is of minimal loss and would not cause any

such adverse harm to biodiversity. Thus, the proposed patio area extended into the garden area is considered acceptable in this instance and no objection is raised for the principle of the proposed works. Thus, proposal would be in accordance with Policies BGI 1 of the Redington and Frognaal Neighbourhood Plan 2021.

4.6. The proposed green roof would provide both biodiversity benefit and help with softening the rear extension's visual impact. Thus, making it appear much more sympathetic in the context of the garden area. The details of the green roof would be conditioned to be submitted and approved to ensure the proposal has appropriate maintenance/construction/materials and planning species/density are considered sufficient to demonstrate that the green roof will have an adequate species mix, substrate and construction and will be adequately maintained. It is considered that the development undertakes reasonable measures to take account of biodiversity and the water environment.

4.7. Given the above, the scheme is considered to be appropriate in terms of height, bulk, mass, materials and detailed design. This position is shared by the Council's Conservation Officers. Subject to the recommended conditions, it is considered that the scheme would not cause harm to the character and appearance of the host property and the wider conservation area. It is therefore considered that the works are in accordance with policies D1 and D2 of the Local Plan 2017 and BG1 of the Redington Frognaal Neighbourhood Plan 2021.

4.8. The proposed green roof would provide both biodiversity benefit and help with softening the rear extension's visual impact. Thus, making it appear much more sympathetic in the context of the garden area.

4.9. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the listed building and surrounding conservation area under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013. Owing to the size, scale, design, and location of the proposed rear extension, it is considered to preserve the character and appearance of the Camden Town Conservation Area.

5. Trees

5.1. The arboricultural report surveyed 14 trees, four (4) of which are Category B (moderate quality), eight (8) are Category C (low quality), and two (2) are category U (poor quality). No trees are identified as Category A (high quality). The tree species found on the site comprise of Leyland cypress, sycamore, laburnum, eucalyptus, London plane, common ash, apple, holly and mixed shrubs. The trees/shrubs to be removed are not considered to be of any particular note and their loss will not be detrimental to the character and appearance of the area and can easily be ameliorated with replacement planting. The tree protection plan is adequate to protect the trees to be retained and the proposals would incorporate space for replacement tree planting, which will mitigate the proposed removals and improve the age class balance of the trees on site, whilst enhancing the local landscape. The works would be in accordance with policies BG11 and BG12 of the Redington and Frognaal Neighbourhood Plan 2021. Upon consultation with the Tree Officer, conditions are recommended to require implementation of tree protection measures and confirmed that the trees retained are sufficient to ameliorate the loss of these low-quality trees and shrubs.

6. Other works

- 6.1. The proposed excavation will allow for a finished floor level of just 150mm below existing and will involve building foundations of 0.5m deep into the garden. A BIA scoping report has been submitted by qualified engineers and goes through a screening process to establish no significant risk factors are present. This is considered sufficient and does not require auditing.
- 6.2. The alterations/reinstatement of glazed openings in the side elevation is considered acceptable. The historic window would be retained, and the proposed new opening would be in a similar location to the existing.
- 6.3. The proposal looks to replace the existing timber side entrance gate with a brick structure with a timber door in the same location. The proposed materiality will match existing. New access from a side bedroom directly onto the garden path to the north-west of the site is created by replacing 2x timber sash windows with French doors. These alterations are considered acceptable given their minor scale.
- 6.4. No objection is raised to the alterations proposed to the front garden wall which would be a replacement of the padlock gate with vertical railings of a similar height. The proposed brickwork would match the existing height of the front boundary treatment that matches the host building and is considered acceptable for this location.

7. Residential Amenity

- 7.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, and implications to natural light, artificial light spill, odour and fumes as well as impacts caused by the construction phase of development.
- 7.2. The proposed rear extension would sit below the boundary wall with 17 Lindfield Gardens and be appropriately set in from the boundary with 13 Lindfield Gardens. Therefore, it is not considered that the proposed extension would cause harm to neighbouring amenity in terms of loss of daylight/sunlight or outlook.
- 7.3. To minimise any future overlooking or loss of privacy impacts on neighbouring residential occupiers, a condition would be attached to ensure that the flat roof is not used for amenity space. This measure is considered sufficient to preserve neighbouring privacy.
- 7.4. The proposed rear extension would sit at lower-ground floor level, with sliding doors towards the rear garden. Whilst new glazing is proposed to the south elevation the proposed extension is sufficiently setback from the neighbouring site by at least 7.5m from neighbouring properties and shielded by the boundary fence and the proposed rooflight would be obscured glazed. Thus, the proposal is not considered to result in harmful levels of light pollution.
- 7.5. Overall, the proposed development is not considered to lead to a significant impact on the amenities of any neighbouring resident. The development is thus considered to be in accordance with policy A1 of the Camden Local Plan.

8. Sustainability

- 8.1. Local Plan policy CC2 states that all development should adopt appropriate climate change adaptation measures such as measures to reduce the impact of urban and dwelling overheating, including application of the cooling hierarchy. Whilst Policy A3 aims to protect and enhance sites of nature conservation and biodiversity. The Council will do this through protect and designate conservation sites, assess developments against the ability to improve biodiversity and its impact upon and secure management plans where appropriate. This policy also includes the protection of trees and the Council will seek to resist the loss of trees and vegetation of significant amenity, historic, ecological or cultural value but also promote incorporating trees within any proposal. There is also an expectation, where developments are near trees, the relevant documents should be provided.
- 8.2. In relation to Local Plan policy A3 (Biodiversity) and Red/Frog Neighbourhood Plan policies (BGI 1 (Gardens and Ecology), BG2 (Tree Planting and Preservation) and BG3 (Lighting)). The proposal does slightly reduce the amount of garden space; however, the reduction is minimal and would not materially impact the overall garden and its open character, or the level of biodiversity or any trees in the area. The impacts to ecology, biodiversity, and trees are therefore very limited and is proposal from this perspective is acceptable.
- 8.3. It is concluded that the proposals would not have an undue adverse impact on the amenity of any occupiers of any neighbouring properties in accordance with policy D1, D2 and A3 of the Camden Local Plan and SD1, SD4, SD5, BGI 1 BGI 2 and BGI 3 of the 2021 Redington Frogna! Neighbourhood Plan.

9. Recommendation

- 9.1. In conclusion, the proposals would preserve the character or appearance of the host building in this part of the Redington Frogna! Conservation Area. As such, the proposals are considered to accord with the requirements of Policies A1, A3, D1 and D2 of the Camden Local Plan and policies SD1, SD4, SD5, BGI 1, BGI 2, and BGI 3 of the Redington Frogna! Neighbourhood Plan. Therefore, it is recommended that planning permission is granted subject to relevant conditions.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 09th October 2023, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2023/2075/P
Contact: Obote Hope
Tel: 020 7974 2555
Email: Obote.Hope@camden.gov.uk
Date: 3 October 2023

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

SM Planning
80-83 Long Lane
London
EC1A 9ET

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Flat 1
15 Lindfield Gardens
London
NW3 6PX

DECISION

Proposal:

Demolition of existing lower ground floor rear extension. Erection of replacement lower ground floor rear extension. Associated alterations including lowering of internal floor level at lower ground floor, changes to fenestration at lower ground floor rear, new side entrance, and new decking.

Drawing Nos:

P001; P050; P100; P101; P120; P121; P122; P123; P130; P131; P150; P200; P201; P220; P221; P222; P223; P230; P231; Arboricultural Report by Landmark Trees dated 22 May 2023; Basement Impact Assessment - Scoping Report by Float Structures dated 19th May 2023 and Design and Access Statement by MATA Architect dated 19.05.2023.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

P001; P050; P100; P101; P120; P121; P122; P123; P130; P131; P150; P200; P201; P220; P221; P222; P223; P230; P231; Arboricultural Report by Landmark Trees dated 22 May 2023; Basement Impact Assessment - Scoping Report by Float Structures dated 19th May 2023 and Design and Access Statement by MATA Architect dated 19.05.2023.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Prior to commencement of development , full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include:
 - i. a detailed scheme of maintenance
 - ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used showing a variation of substrate depth with peaks and troughs
 - iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

- 5 No development shall take place until full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing. Such details shall include details of any proposed earthworks including grading, mounding and other changes in ground levels. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policies A2, A3, D1 and D2 of the London Borough of Camden Local Plan 2017.

- 6 All hard and soft landscaping works shall be carried out in accordance with the approved landscape details [by not later than the end of the planting season following completion of the development or any phase of the development] [, prior to the occupation for the permitted use of the development or any phase of the development], whichever is the sooner. Any trees or areas of planting (including trees existing at the outset of the development other than those indicated to be removed) which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species, unless the local planning authority gives written consent to any variation.

Reason: To ensure that the landscaping is carried out within a reasonable period and to maintain a high quality of visual amenity in the scheme in accordance with the requirements of policies A2, A3, D1 and D2 of the London Borough of Camden Local Plan 2017.

- 7 The flat roof of the lower-ground floor extension hereby approved shall not be used as an amenity area and accessed for maintenance purposes only.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements policies A1 and D1 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer

DECISION