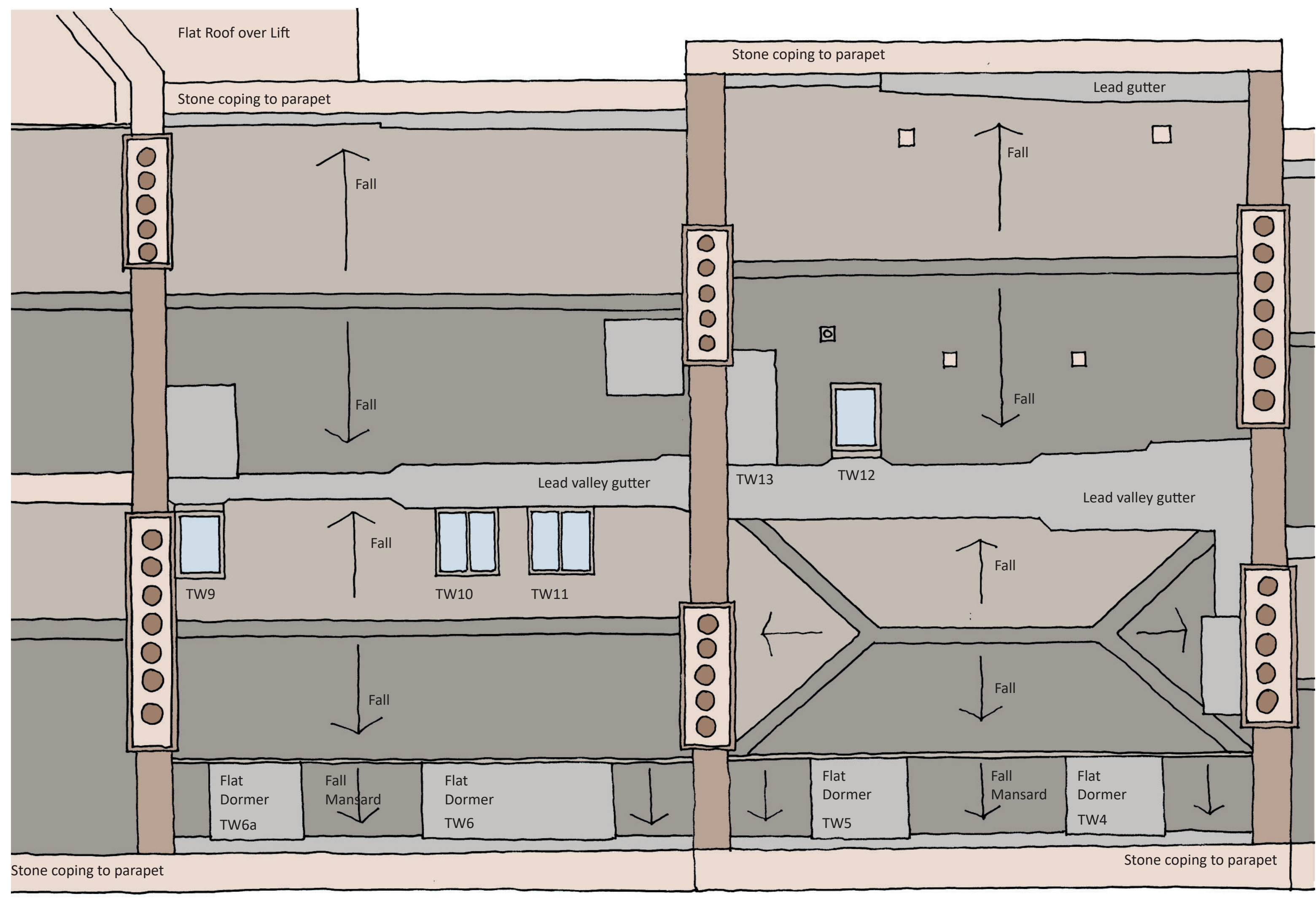


Adjacent Property
No.3 Bedford Square



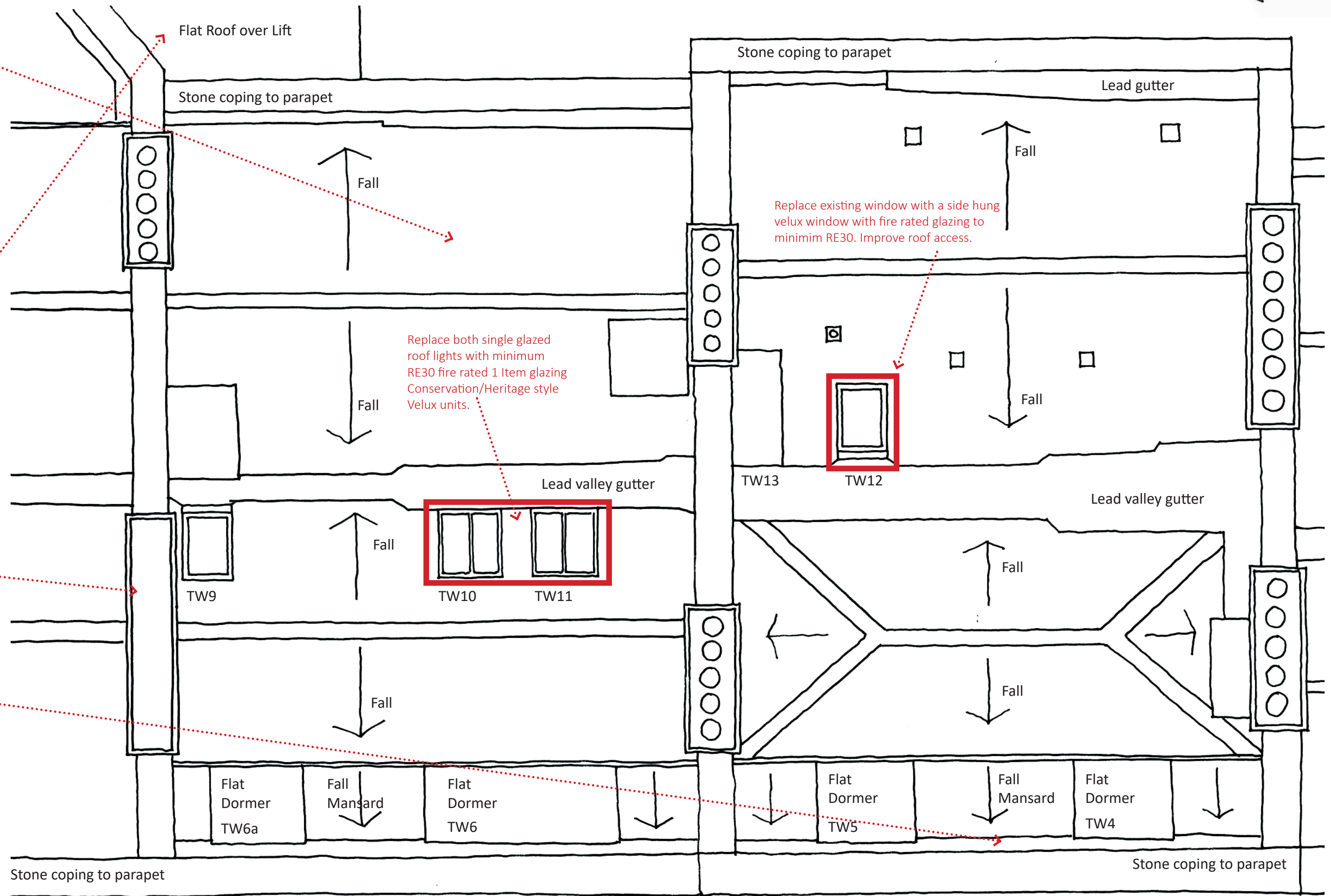
Adjacent Property
No.60 Bloomsbury Street

No.2

No.1

NO.1 & NO. 2 ROOFS Specification Reference H62, Z21, C41

- R1 Supply and install new slates, to match existing, where slates are damaged/missing.
- R2 Carefully tag; loose slates; using copper wires.
- R3 Rake out friable pointing and re-point in lime mortar.
- R4 Carefully remove existing bracket, remove spalled bricks and replace.
- Rake out friable pointing and re-point in lime mortar.
- R5 Remove / cap redundant pipe penetrations near the smoke extract.
- R5 TW12 - Replace existing window with a side hung velux window with fire rated glazing to minimum RE30. Improve roof access.
- R6 TW11/10- Replace both single glazed roof lights with minimum RE30 fire rated 1 Item glazing Conservation/Heritage style Velux units.
- R7 Loose cables to be re-clipped or put on new cable trays where possible.
- R8 The modern flat roof adjacent to window TW8/above lift:
 - i- Remove existing roof coverings, flashings and the insulation layer 1 Item and dispose.
 - ii- Allow to renew the timber deck in 18mm WBP (fully nailed).
 - iii- Using approved installers provide new Single Ply fully adhered and insulated roofing (Similar approved to IKO Armouplan) to achieve a U value of 0.18 or better (or to meet building regulation standards, whichever is most onerous. System to be complete with all flashings, upstands, penetrations, outlets etc as required.
 - v- Allow to remove the existing coping stones, clean, (Flashings for roof to be extended to terminate immediately below the copings.) Rebed Copings on New Hi-grip DPC, mechanically fix as required and re-point all. Leave all in watertight condition.
- R9 Inspect each chimney pot; Allow for minor repairs of pots. mix pantile dust into mix to obtain similar colour to pots.
- R10 Allow for the replacement of 3Nr chimney pots. Size and style to match the existing.
- R11 Allow to provide pepperpot style caps to all chimney pots which are not used.
- R12 To the box gutter running parallel with window TW4:
 - i- Remove existing lining from gutter, set-a-side any reusable sections of Lead.
 - ii- Allow to re-line gutter in 18mm WBP on firrings to create consistent fall to outlet.
 - iii- Re-line gutter using existing lead sheeting where possible (assume 25%) Replace rest in Code 5 lead, fixed in accordance with LSA details.
 - iv- Repoint flashings.
- R14 Allow for cleaning of all gutters.

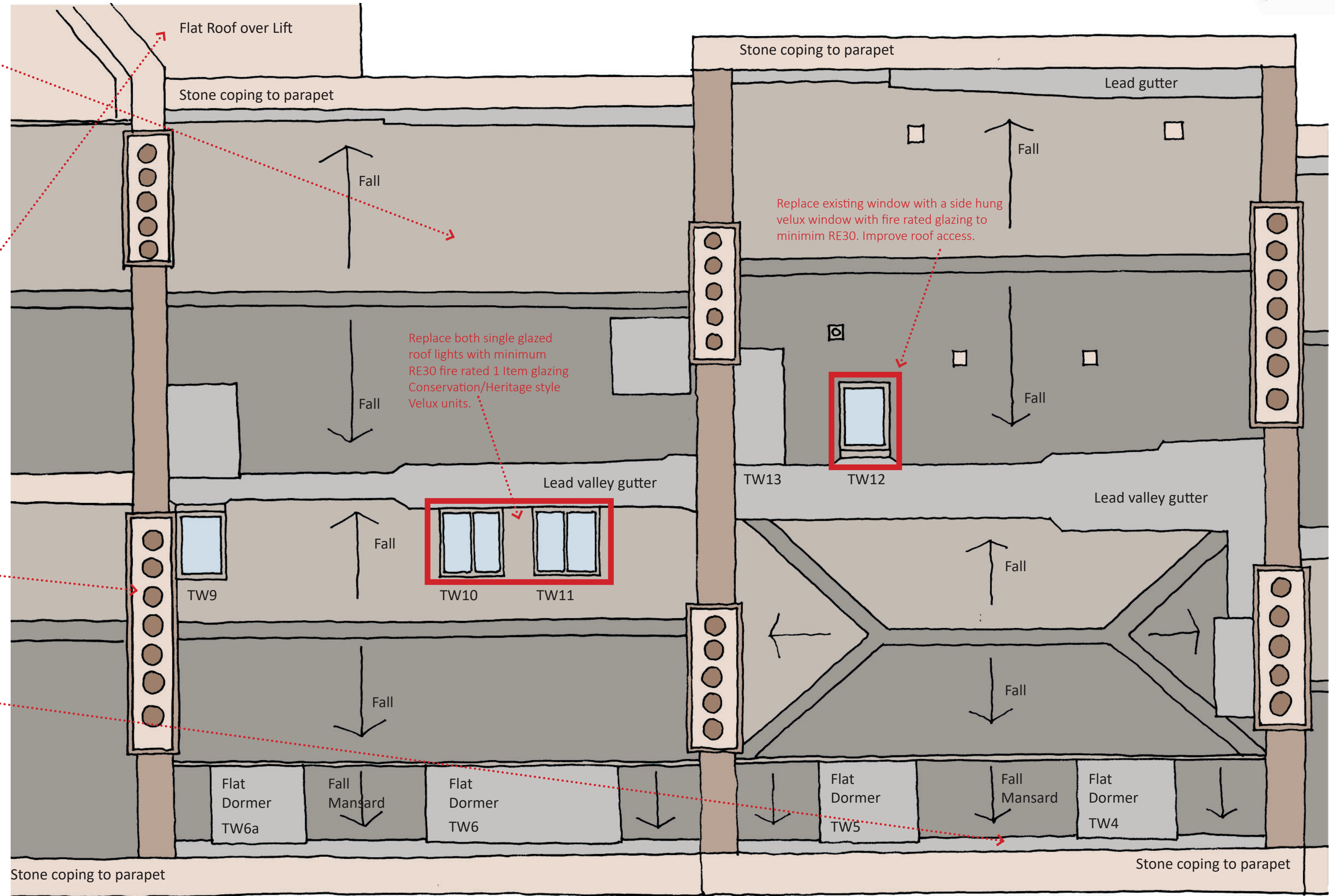


No.2

No.1

NO.1 & NO. 2 ROOFS Specification Reference H62, Z21, C41

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- R14 Allow for cleaning of all gutters.



No.2

No.1