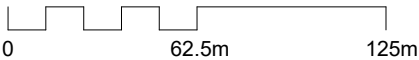


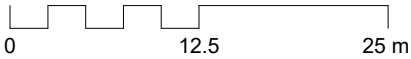


LOCATION PLAN 1:1250 @ A3



BLOCK PLAN

1:500 @ A3



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Revisions		
No.	Description	Date
1	PD	22/09/23

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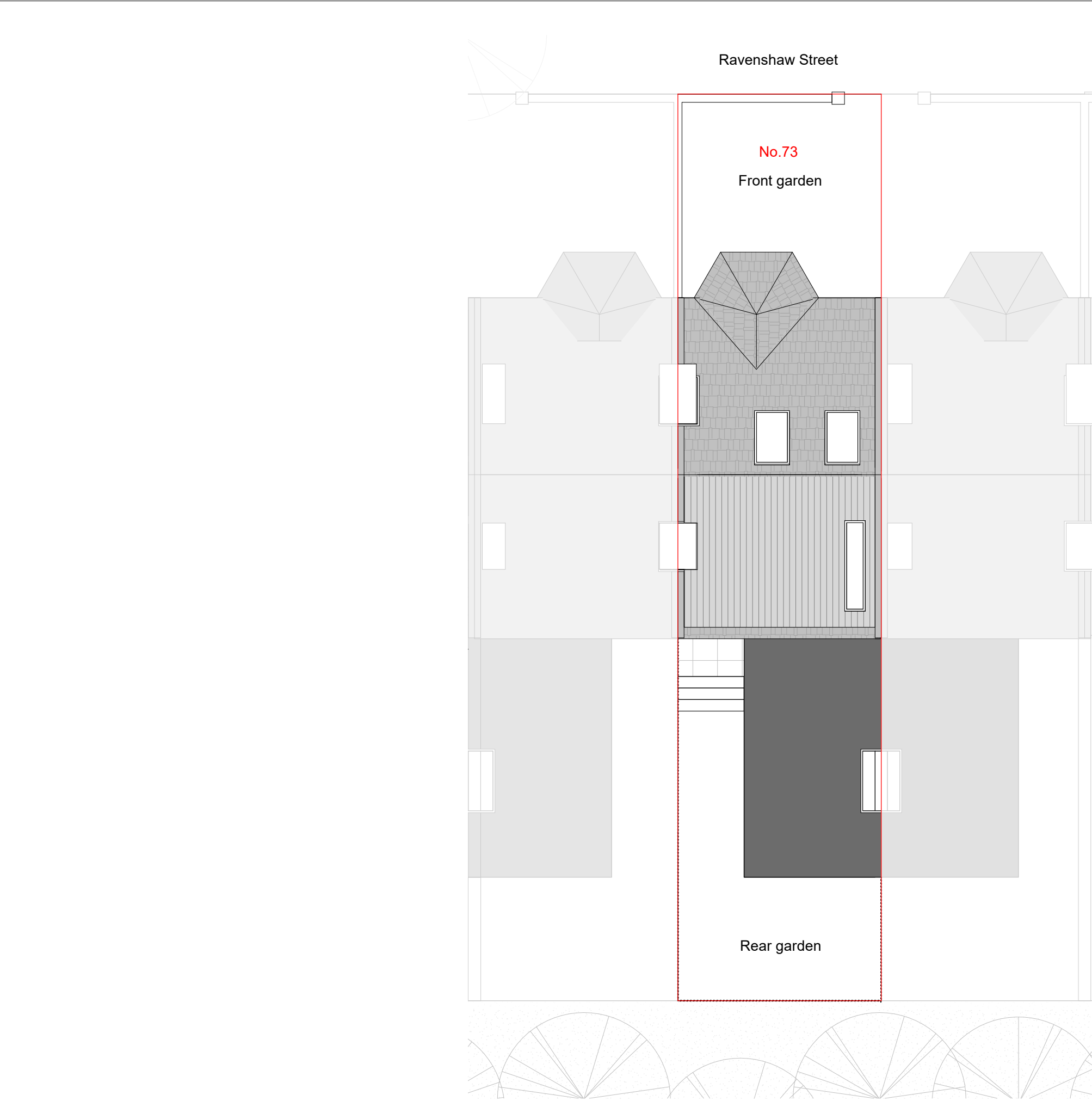
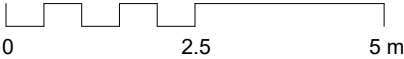
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Project Name: 20-26 Albion Pl
Project Number: 10015

Drawing Name
Proposed Location
Drawing No
P00
Revision
1
Scale
1:500 @ A3



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1	PD	22/09/23

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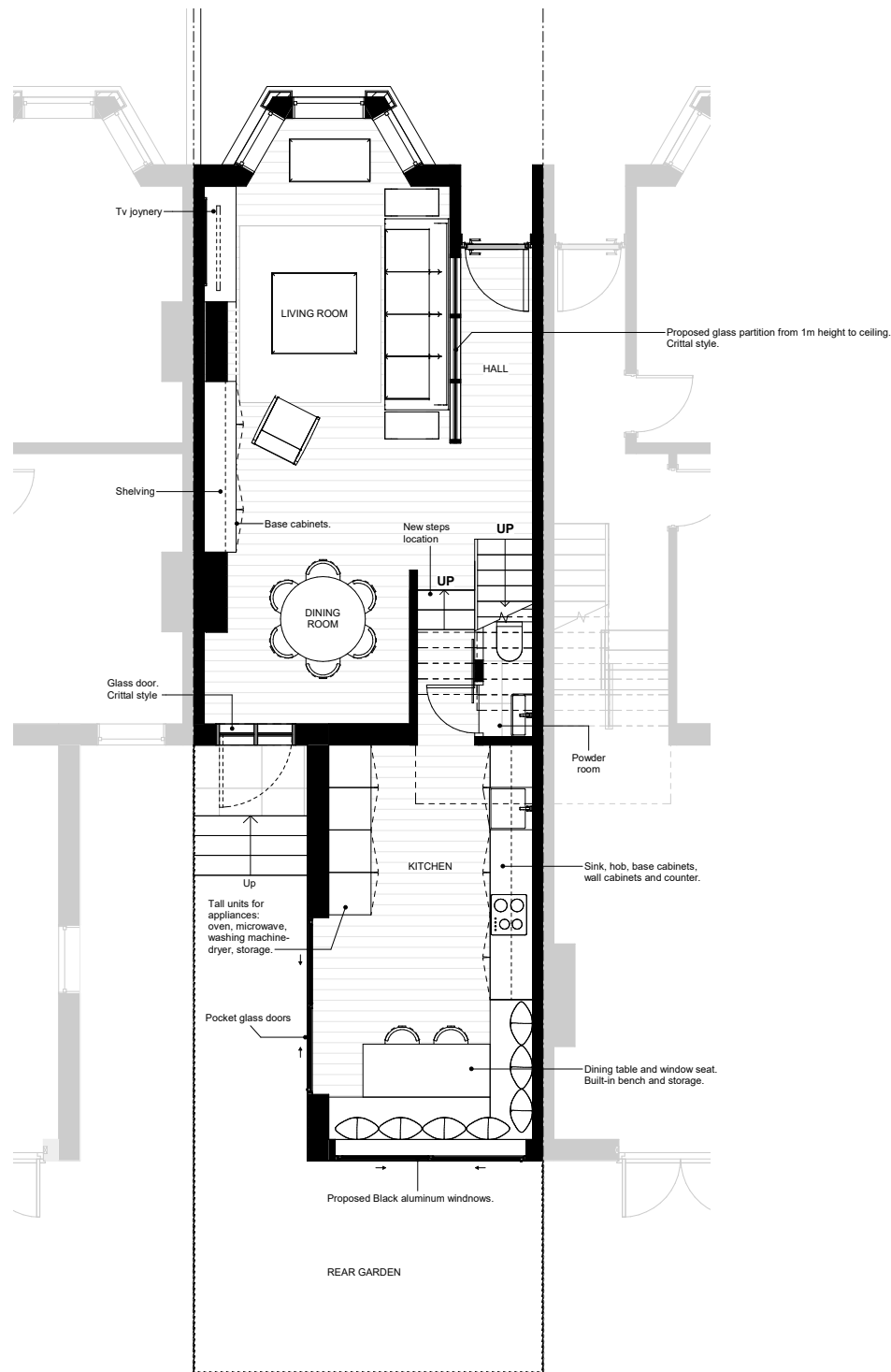
Project Name: 20-26 Albion Pl
Project Number: 10015

Drawing Name
Proposed Site Plan

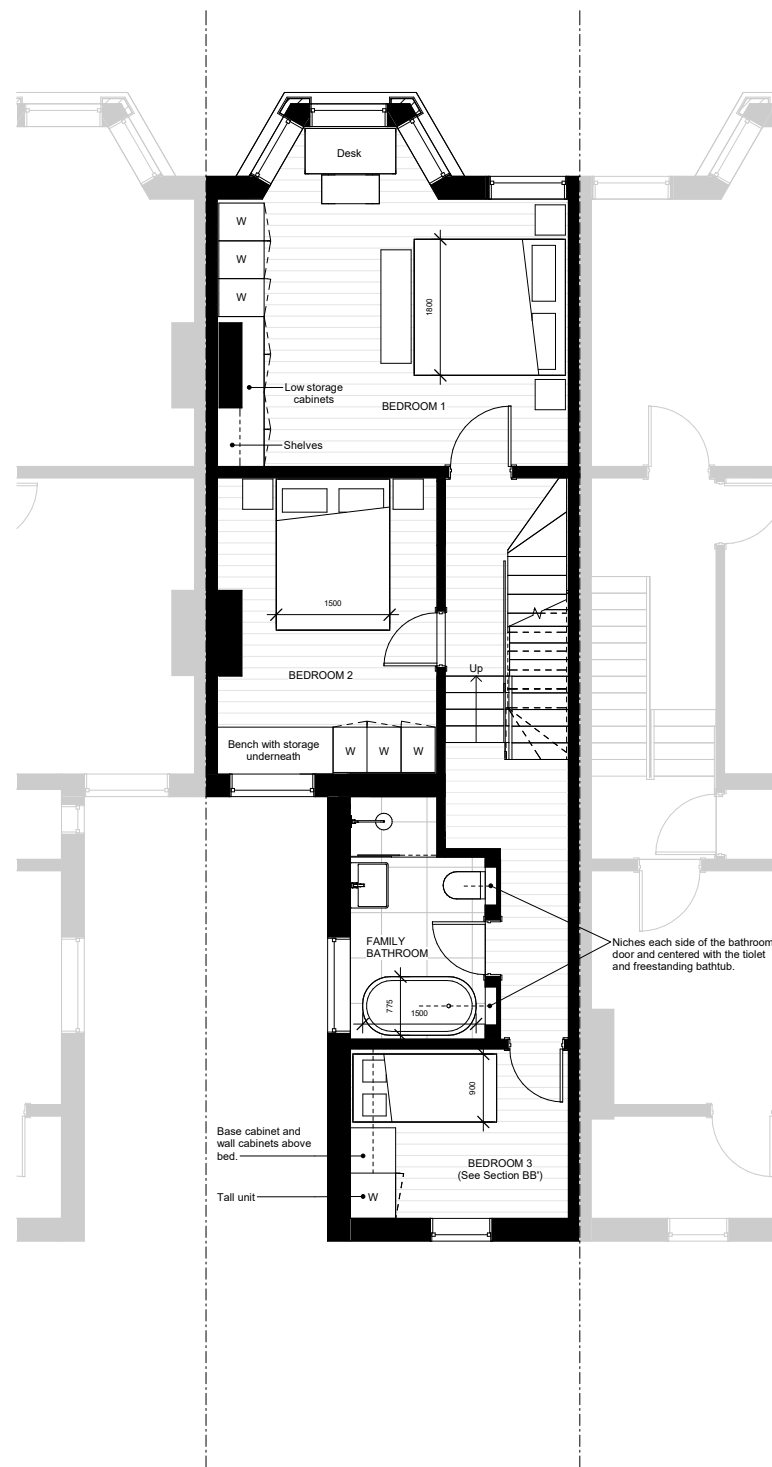
Drawing No
P01

Revision
1

Scale
1:50 @ A1, 1:100 @ A3



PROPOSED GROUND FLOOR



PROPOSED FIRST FLOOR

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Revisions		
No.	Description	Date
1	PD	22/09/23

PROPOSED

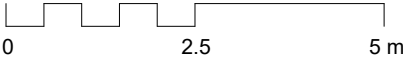
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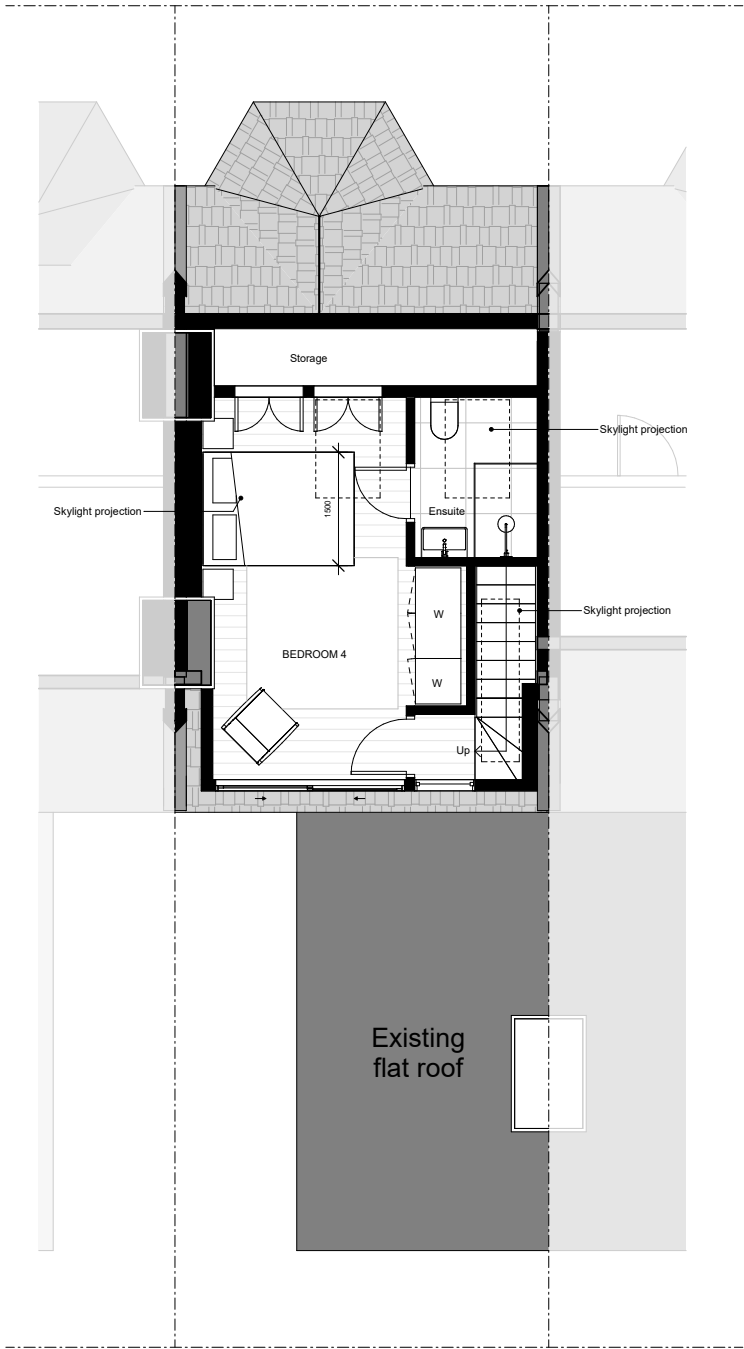
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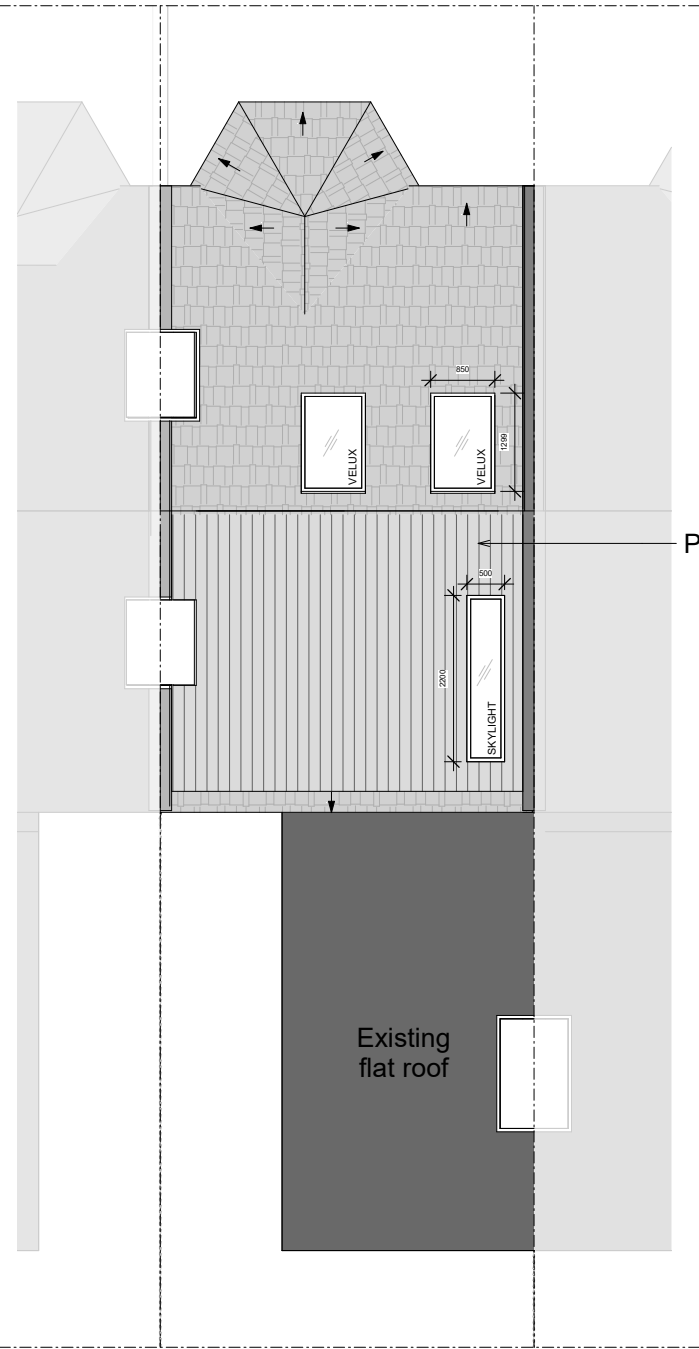
Project Name: 20-26 Albion Pl
Project Number: 10015

Drawing Name
Proposed Ground and First Floor Plan
Drawing No
P02
Revision
1
Scale
1:50 @ A1, 1:100 @ A3

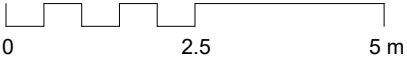




PROPOSED LOFT FLOOR



PROPOSED ROOF PLAN



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Revisions		
No.	Description	Date
1	PD	22/09/23

PROPOSED

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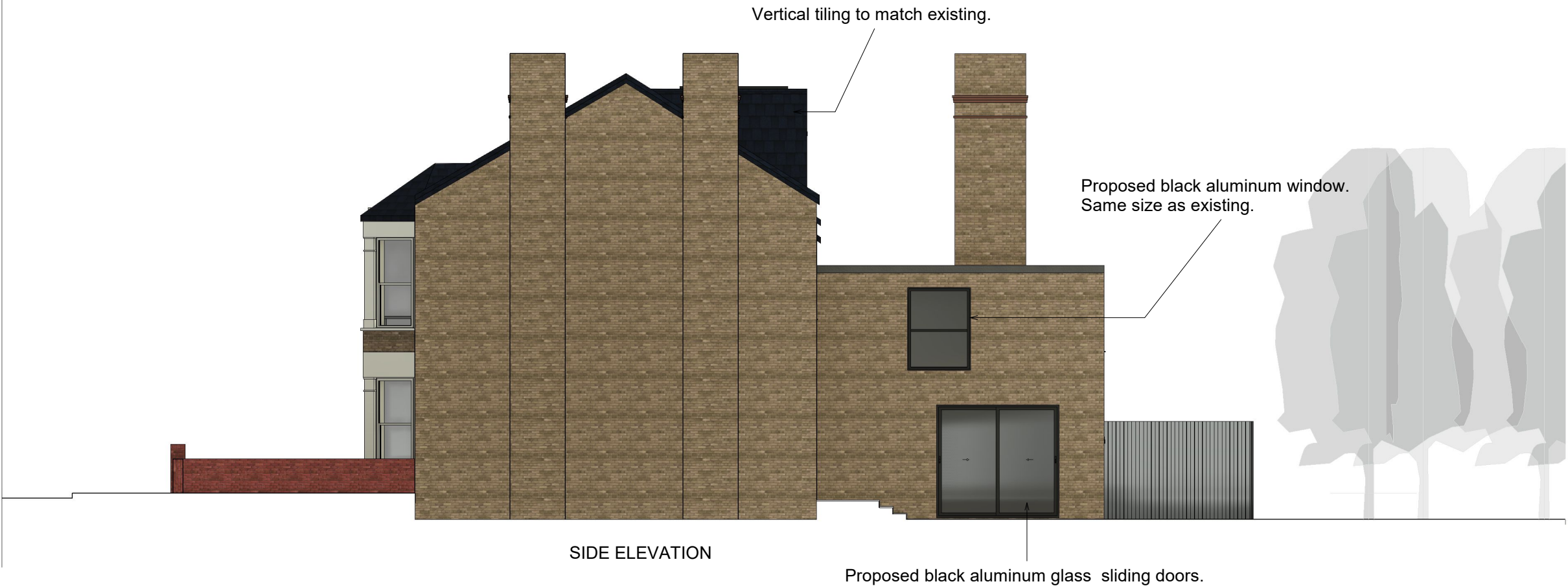
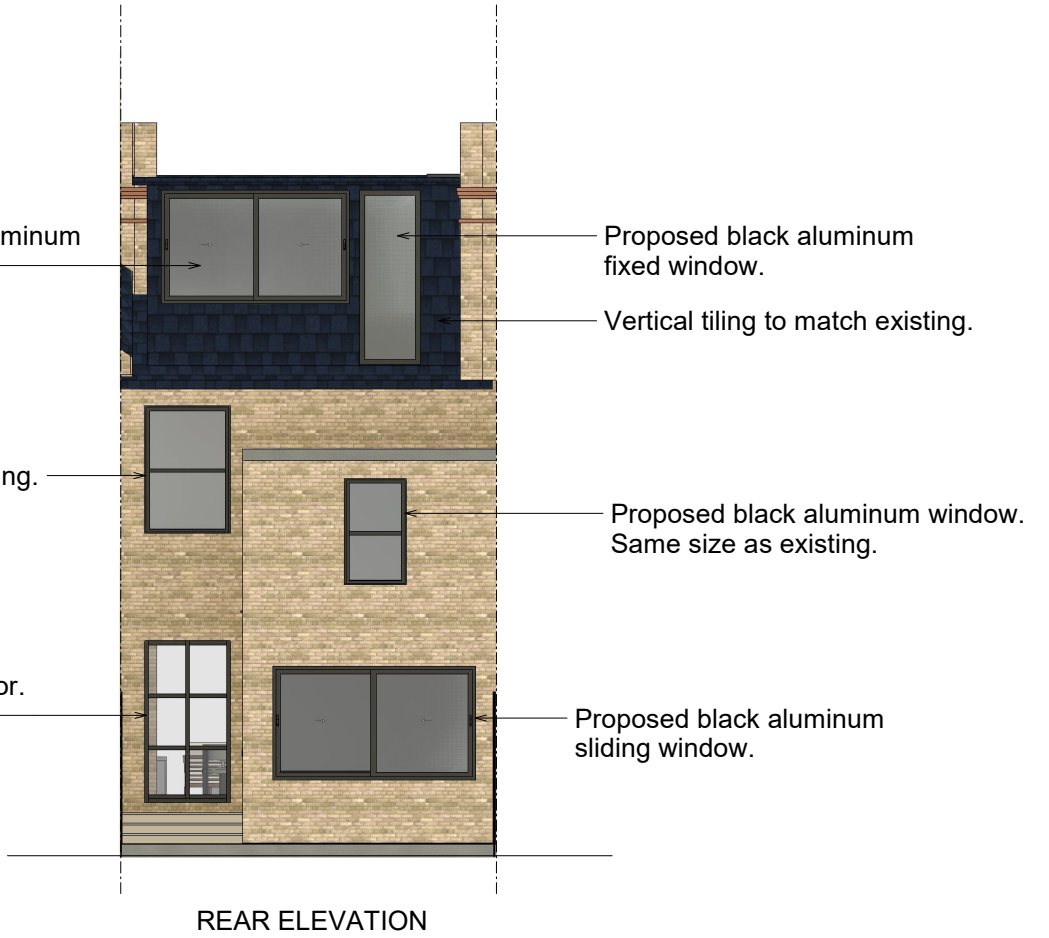
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Project Name: 20-26 Albion Pl
Project Number: 10015

Drawing Name
Proposed Loft Floor Plan and Roof Plan
Drawing No
P03
Revision
1
Scale
1:50 @ A1, 1:100 @ A3





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Revisions		
No.	Description	Date
1	PD	22/09/23

PROPOSED

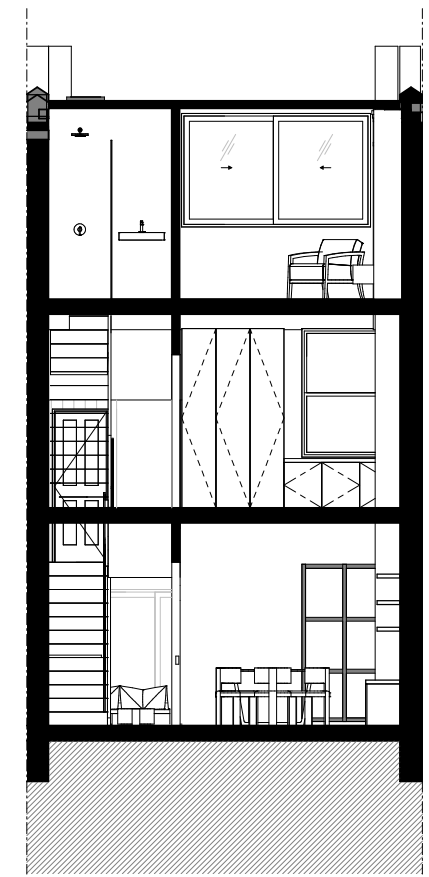
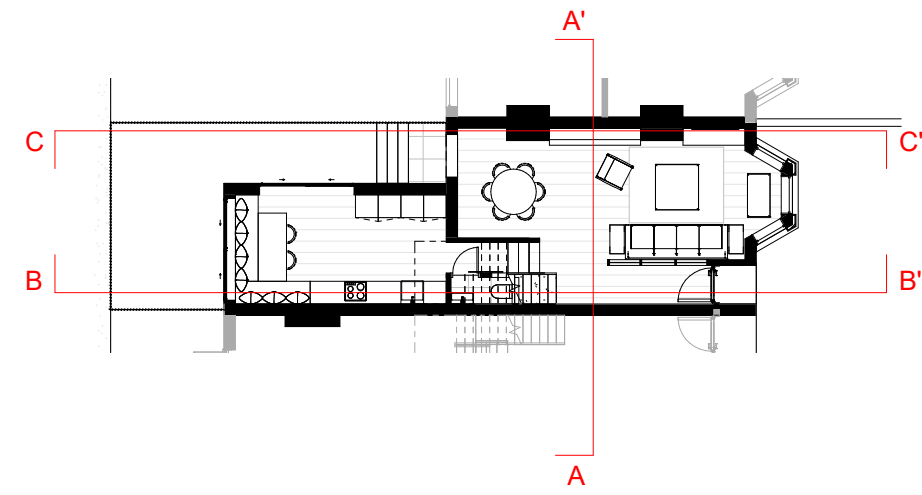
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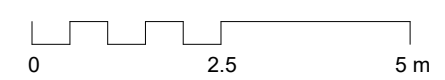
Project Name: 20-26 Albion Pl
Project Number: 10015

Drawing Name
Proposed Front and Rear Elevations
Drawing No
P10
Revision
1
Scale
1:50 @ A1, 1:100 @ A3



SECTION BB'

SECTION AA'



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Project Name: 20-26 Albion Pl
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Drawing Name
Proposed Sections
Drawing No
P120
Revision
1
Scale
1:50 @ A1, 1:100 @ A3

Supporting statement and evidence

It is residential terraced dwelling house.
The proposed development is designed based on the permitted development requirements for the loft conversion and therefore it is lawful because:

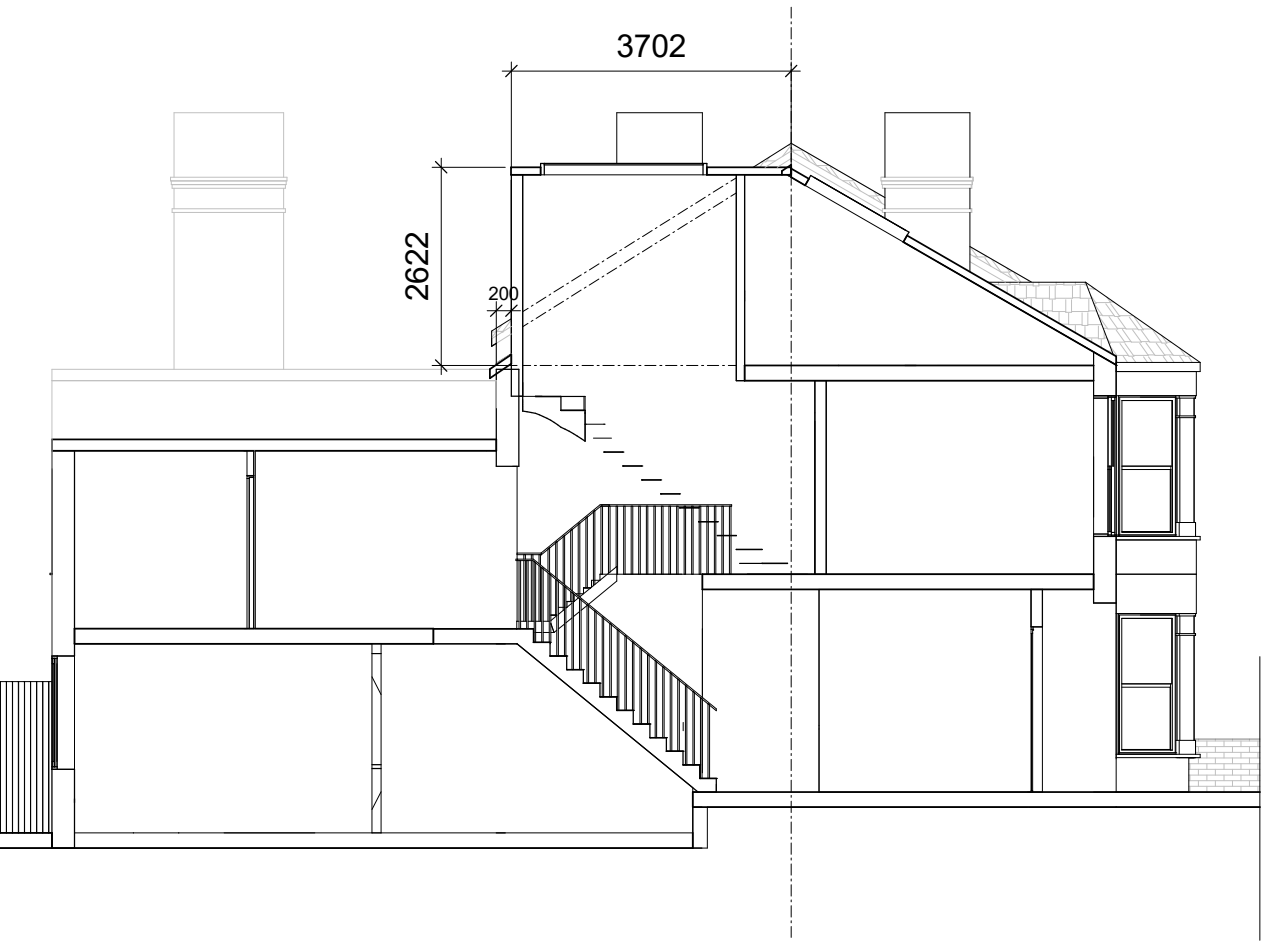
- The proposed additional volume does not exceed the 40m3 volume allowance, it is 22.54m3
- The proposed roof lights at the rear roof do not protrude more than 150mm from the roof plane.
- The materials that will be used for this conversion will match the existing.
- The proposed rear dormer has at least 200mm distance from the eaves of the original roof.
- No part of the roof extension will be higher than the highest part of the existing roof.

VOLUME CALCULATIONS:

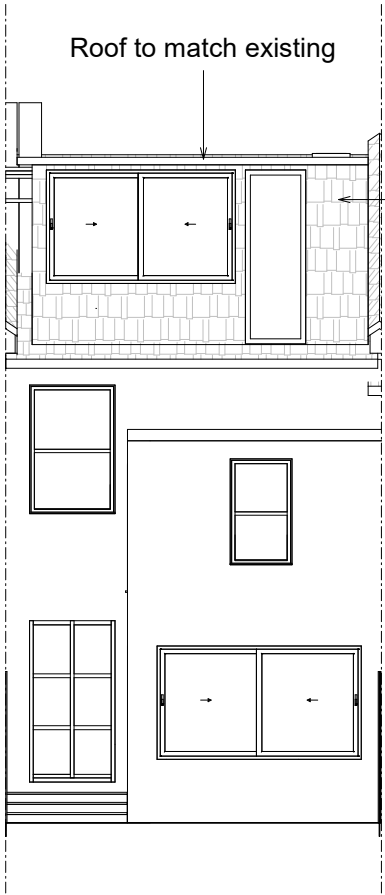
REAR DORMER =
(2.62m x 3.70m x 4.65m) / 2 = 22.54m³

22.54m³ < 40m³

Therefore P.D as Terraced Property with a volume allowance of 40m³



PROPOSED SECTION BB'



PROPOSED REAR ELEVATION

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Conservation of Fuel and Power

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No.	Description	Date
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Project Number: 10015

Drawing Name
Proposed Sections
Drawing No
P121
Revision
1

Scale
1:50 @ A1, 1:100 @ A3

Av

