



Salboy Limited

HARRINGTON SQUARE

Health Impact Assessment



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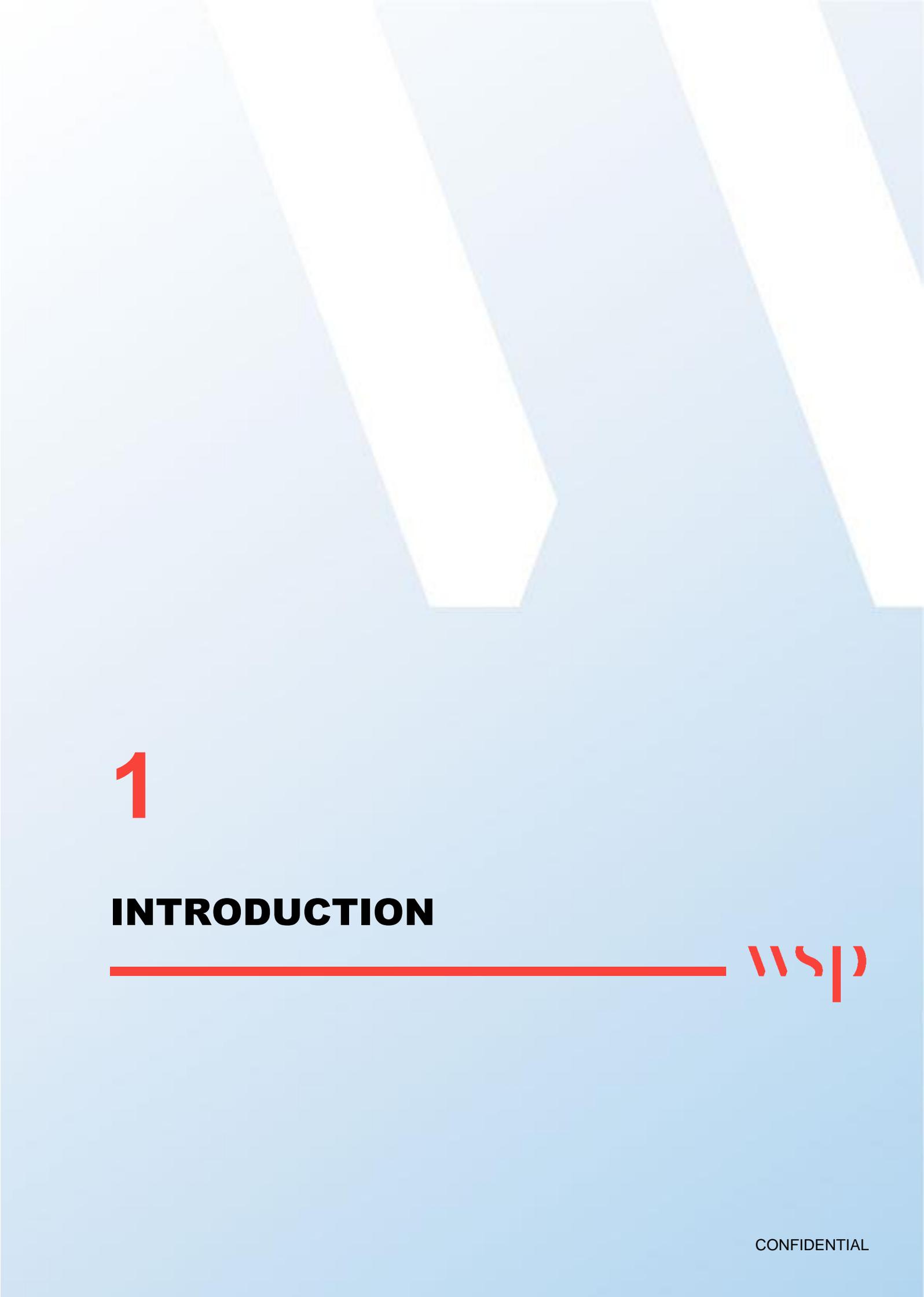
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APPENDICES

LONDON HEALTHY URBAN DEVELOPMENT UNIT RAPID HEALTH IMPACT
ASSESSMENT TOOL (FOURTH EDITION, OCTOBER 2019)

CORRESPONDENCE



1

INTRODUCTION



1. INTRODUCTION

- 1.1.1. This Health Impact Assessment (HIA) has been prepared by WSP on behalf of the Applicant, Salboy Limited in connection with the proposed residential development at land adjacent to Hurwick House, Harrington Square located within the London Borough (LB) Camden.
- 1.1.2. Full planning permission is sought for:
“Development of the existing vacant car park to provide eleven residential dwellings and associated works”
- 1.1.3. A more detailed explanation of the Proposed Development is outlined in the Design and Access Statement, prepared by Studio Power, which accompanies the planning application.
- 1.1.4. The HIA is structured as follows:
- **Section 2** – describes the methodology employed to assess health impacts, including the data and reference sources used to support the HIA;
 - **Section 3** – provides an audit of health infrastructure near the Site;
 - **Section 4** – provides a review of education infrastructure near the Site;
 - **Section 5** – identifies the wider determinants of health and evaluates the health impacts of the development proposals, including both temporary health impacts during the construction phase and permanent health impacts; and
 - **Section 6** – highlights the overall conclusions from the health impact assessment.
- 1.1.5. The HIA includes the following appendices:
- Appendix A – London Healthy Urban Development Unit Rapid Health Impact Assessment Tool (Fourth Edition, October 2019).
 - Appendix B – Correspondence with Camden.

2

SCOPE AND METHODOLOGY



2. SCOPE AND METHODOLOGY

APPROACH TO THE HIA

- 2.1.1. The HUDU Rapid Health Impact Assessment Tool (Fourth Edition, October 2019) identifies a total of 51 questions relating to the potential health impacts of a development proposal (included at **Appendix A**).
- 2.1.2. This HIA is supported by a desktop audit undertaken by WSP of the existing healthcare facilities within a one-mile radius of the development Site, along with local education infrastructure including primary and secondary schools. In conjunction with the audit, this HIA has sought to identify the key determinants of health relating to the built environment, to identify how new developments can impact the health of current and future residents and visitors to the Site.
- 2.1.3. To inform the approach to be taken for this HIA, WSP consulted with Ian Sandford from the Camden and Islington Public Health Team to discuss our scope for the assessment via email. Ian confirmed the use of the NHS HUDU Rapid Health HIA tool and recommended that the assessment be undertaken as early as possible in the design process to maximise potential benefits and mitigate potential harm. This recommendation was taken on board by the project team and the consideration of health effects relevant to the assessment were integrated in the initial design reviews.
- 2.1.4. As part of this communication with Ian, WSP requested the details of an NHS contact to discuss any potential impacts upon local healthcare provision. Whilst Ian provided the contact details for a Strategic Estates Advisor for the NHS in Camden, emails to this person were not responded to. As such, data published online by the NHS have been used in lieu of details on estate capacity provided by the NHS Trust.
- 2.1.5. Evidence of our consultation has been provided in **Appendix B**.

GUIDANCE

- 2.1.6. In undertaking this HIA, WSP has drawn on advice and guidance provided by the following sources:
- Rapid Health Impact Assessment Tool – London Healthy Urban Development Unit, Fourth Edition October 2019; and
 - Camden Planning Guidance – Planning for health and wellbeing – January 2021.

LIMITATIONS

- 2.1.7. This HIA has been prepared using data current at the time of writing. It is understood that information relating to social infrastructure capacity is not stagnant and that this may alter prior to the scheme being complete and operational.

3

HEALTHCARE INFRASTRUCTURE ASSESSMENT



3. HEALTHCARE INFRASTRUCTURE ASSESSMENT

INTRODUCTION

- 3.1.1. In preparing this HIA, WSP has undertaken a desktop audit of the healthcare facilities within a one-mile radius of the Site, which is considered to be a reasonable walking distance.
- 3.1.2. The following healthcare facilities are located within a one-mile radius of the Site and would be accessible for future occupants of the Proposed Development:
- 15 GP surgeries;
 - 19 dental practices; and
 - 27 pharmacies.

GP SURGERIES

- 3.1.3. There are 15 GP surgeries within one mile of the Site, as outlined in **Table 3-1**.

Table 3-1 - GP surgeries within one mile of the Site¹

GP Surgery	Accepting new patients?	Total patients	Total GPs	GPs to patient ratio
Ampthill Practice	Yes	7,709	6.21	1:1,241
The Regents Park Practice	Yes	6,557	6.89	1:951
Camden Health Improvement Practice (for homeless patients)*	Yes	626	1.94	1:323
Kings Cross Surgery	Yes	9,405	1.82	1:5,171
Somers Town Medical Centre	Yes	7,309	0.40	1:18,273
Fitzrovia Medical Centre	Yes	7,624	3.35	1:2,279
Killick Street Health Centre	Yes	12,572	9.41	1:1,336
James Wigg Group Practice	Yes	22,070	17.43	1:1,267
The Bloomsbury Surgery	Yes	7,233	6.27	1:1,154
Barnsbury Medical Practice	Yes	4,385	1.55	1:2,835
Primrose Hill Surgery	Yes	7,550	3.60	1:2,099
Brunswick Medical Centre	Yes	8,918	3.08	1:2,893
Cavendish Health Centre	Yes	9,499	6.73	1:1,411
Marylebone Health Centre	Yes	10,111	5.99	1:1,687
GP at Hand – Drummond Street**	No	105,387	14.53	1:7,255
-	-	120,942	72.73	1:1,663

Notes:

*This clinic provides specialist services to people who are homeless. Therefore, this has been excluded from the overall calculation of GP to patient ratio.

**This clinic has been removed from the overall calculation of GP to patient ratio as this clinic provides online virtual GP clinics to patients across the UK, from this clinic. Whilst some appointments can be completed in person at their Euston Clinic, we are unable to deduce the number of patients who live locally who would take up these types of appointments.

¹ NHS Digital (2023) General Practice Workforce May 2023 – published June 22 2023 [Online] Available from: <https://digital.nhs.uk/data-and-information/publications/statistical/general-and-personal-medical-services>

- 3.1.4. As set out in **Table 3-1**, the most recent NHS data on local GP practice capacities from May 31, 2023¹, reveal there is a total of 120,921 patients who are currently registered to the 13 GP Practices within a 1-mile radius of the Site, for which GP practice level data is available and which are open to the local community (noting that two practices serve either the homeless community or online patients only). The 120,942 patients are served by a total of 72.73 FTE GPs, which amounts to a GP to patient ratio of one GP for every 1,663 patients. This is within the HUDU recommended threshold of one GP for every 1,800 patients.
- 3.1.5. As illustrated in **Table 3-1**, patient to GP ratios vary considerably at the individual practice level. Whilst some are over the recommended GP to FTE patient ratio of 1,800 patients, the Bloomsbury Surgery and the Regents Park Practice have GP to patient ratios of around 1,000 patients to each FTE GP. This shows that there are a wide variety of practices available in the local area.

DENTISTS

- 3.1.6. There are 19 dentists within one mile of the Site, which are outlined in **Table 3-2** below.
- 3.1.7. Dentists are not required to publish data in the same way as GPs, as they are privately operated services but governed under NHS regulations. As such, data is limited, but all of the required data was able to be found on the NHS and dentist websites, as included in **Table 3-2** below.

Table 3-2 - Dental practices within one mile of the Site²

Name of Dental Practice	Miles from Site	Accepting new patients?
Camden High Street Dental Practice	0.1	Yes
Camden Dental Centre	0.2	Yes
Mornington Dental Surgery (MB Dental)	0.2	Yes
Parkway Dental Care	0.4	Yes
Arrow Dental Surgery	0.4	Only taking new NHS patients who have been referred
Confi-Dent Dental Surgery	0.5	Yes
Chalton Street Dental	0.5	Not currently accepting NHS patients, limited private patients being accepted
Ivy House Dental Practice	0.6	Yes
The Dental Centre	0.6	Yes
Bond Dental London (Bloomsbury)	0.8	This dentist is accepting children under 18 and adults who are entitled to free dental care
East Village Dental	0.8	Yes
Esthetique Dental Care	0.8	Yes
Ace Dental	0.9	Yes
Dental Smiles London – Gray's Inn	1	Yes
Dentalmark	1	Yes
Maldent Dental	1	Yes
Only One Clinic	1	Yes
James Baker Dental Practice	1	Yes
AP Dental Practice	1	Yes

3.1.8. The audit of local dentists indicates that there is a mixture of private and public practices close to the Site. The majority of clinics are taking on new patients.

² NHS (2023) Find a Dentist – NW1 2JE [Online] Available from: <https://www.nhs.uk/service-search/find-a-dentist/results/NW12JE>

PHARMACIES

- 3.1.9. There are 27 pharmacies within a one-mile radius of the Site. The closest is the Green Light Pharmacy on Eversholt Street, located less than 200 metres from the Site.

HOSPITALS

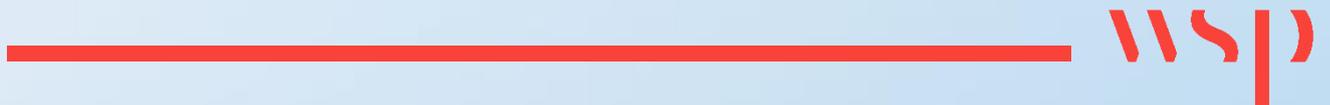
- 3.1.10. There are 10 hospitals listed on the NHS website within one mile of the Site. This includes hospitals with specialist services for specific medical conditions, along with dedicated care for women and children. The closest hospital serving people across all ages and with an Accident and Emergency Department is the University College Hospital located approximately 0.6 miles from the Site.

KEY MESSAGES

- 3.1.11. The audit of local health facilities has identified the following key messages:
- There are 15 GP practices within one mile of the Site, with 13 of these serving nearby resident. The average FTE GP to patient ratio across the practices is 1:1,663;
 - There are 19 dentists within one mile of the Site providing a mixture of private and public services. The majority of these practices are currently taking on new patients;
 - There are 27 pharmacies within one-mile of the Site; and
 - The closest hospital to the Site is the University College Hospital, located 0.6 miles from the Site.

4

EDUCATION INFRASTRUCTURE



4. EDUCATION INFRASTRUCTURE

INTRODUCTION

- 4.1.1. In addition to the review of the healthcare facilities, WSP has also audited the education infrastructure in the local area which may be used by the future residential population. For Primary Schools, this considered all schools within a one-mile radius of the Site and for Secondary Schools this considered schools within a two-mile radius of the Site. These school catchment areas were used in this assessment based on the average distance travelled to school across London for primary and secondary schools in 2021³.

SCHOOLS

- 4.1.2. State schools located within the one- and two-mile distances identified in paragraph are detailed in

³ Department for Transport (2022) Cycling, motorcycling, school travel, concessionary travel and road safety [Online] Available from: <https://www.gov.uk/government/statistical-data-sets/nts06-age-gender-and-modal-breakdown#history>



4.1.3. Table 4-1 and **Table 5-2** below. This demonstrates that there are 17 state primary schools within one mile of the Site and 15 state secondary schools within two miles of the Site. The schools within these distances were identified using Department for Education data available online as reported in August 2023⁴.

⁴ UK Government (2023) Find and compare schools in England [Online] Available from: <https://get-information-schools.service.gov.uk/Search?SelectedTab=Establishments> (Accessed 24 August 2023)

Table 4-1 – Primary schools within one mile of the Site

School name	Miles from Site	Local authority	Ofsted rating	Capacity	Student population	Surplus/deficit
Richard Cobden Primary School	0.13	Camden	Outstanding	420	410	+10
St Mary and St Pancras church of England Primary School	0.23	Camden	Good	234	218	+16
Christ Church School	0.31	Camden	Good	210	206	+4
Our Lady Roman Catholic Primary School	0.33	Camden	Outstanding	604	242	+362
St Michael's Church of England Primary School	0.34	Camden	Good	630	672	-42
Edith Neville Primary School	0.35	Camden	Good	232	192	+40
Abacus Belsize Primary School	0.41	Camden	Outstanding	210	163	+47
Netley Primary School & Centre for Autism*	0.47	Camden	Good	481	436	+45
Kings Cross Academy	0.55	Camden	Good	446	413	+33
Hawley Primary School	0.61	Camden	Good	236	219	+17
Primrose Hill School	0.65	Camden	Outstanding	483	458	+25
Holy Trinity and Saint Silas CofE Primary School	0.75	Camden	Good	210	208	+2
Argyle Primary School	0.75	Camden	Good	432	366	+66
Blessed Sacrament RC Primary School	0.87	Islington	Good	210	116	+94
Copenhagen Primary School	0.87	Islington	Good	252	152	+100
Winton Primary School	0.91	Islington	Good	244	261	-17
All Souls CofE Primary School	0.99	Westminster	Good	230	206	+24
Totals				5,764	4,938	+826
<i>*Also provides specialist education classes for children with autism</i>						

Table 4-2 – Secondary schools located within two miles of the Site

School name	Miles from Site	Local authority	Includes sixth form?	Ofsted rating	Capacity	Student population	Surplus/ deficit
Regent High School	0.23	Camden	Yes	Good	1,100	1,029	71
Maria Fidelis Catholic School FCJ	0.41	Camden	Yes	Good	917	811	106
The Camden School for Girls*	0.83	Camden	Yes	Good	1,040	1,069	-29
Haverstock School	0.96	Camden	Yes	Good	1,336	968	368
The St Marylebone CofE School	1.01	Westminster	Yes	Outstanding	1,170	1,165	5
Elizabeth Garrett Anderson School	1.13	Islington	No	Outstanding	900	877	23
Beacon High	1.4	Islington	No	Good	720	428	292
The UCL Academy	1.51	Camden	Yes	Requires improvement	1,150	1,172	-22
Acland Burghley School	1.62	Camden	Yes	Good	1,200	1,168	32
Harris Academy St John's Wood	1.65	Westminster	Yes	Good	1,500	1,372	128
Parliament Hill School*	1.74	Camden	Yes	Good	1,164	1,213	-49
William Ellis School*	1.78	Camden	Yes	Requires improvement	895	891	4
City of London Academy Islington	1.78	Islington	Yes	Outstanding	805	887	-82
La Sainte Union Catholic Secondary School*	1.84	Camden	Yes	Good	1,219	909	310
Marylebone Boys' School*	1.95	Westminster	Yes	Good	950	713	237
Totals					16,066	14,672	+1,394
<i>*These schools only allow single-sex entry</i>							

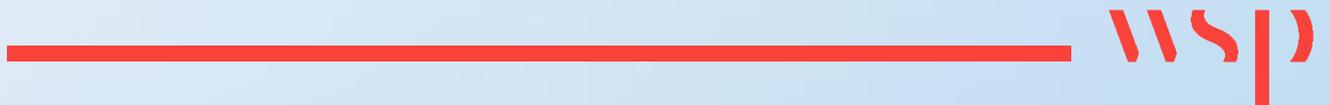
- 4.1.4. There are also a number of schools which cater for students who are in both primary and secondary year levels. This includes St Mary Magdalene Academy (located 1.55 miles from the Site) and Ark King Solomon Academy (located 1.58 miles from Site). These have not been included in our assessment as we are unable to aggregate the data to identify the number that are primary students and the number that may be secondary students.
- 4.1.5. For both primary and secondary schools, there is an overall surplus of student places with 759 primary school places and 1,394 secondary school places.
- 4.1.6. In addition to the schools listed in Tables 5-1 and 5-2, there are over 42 independent schools within a two-mile radius of the Site which provide education from early years until sixth form. Those that are closest to the Site include:

- North Bridge House Preparatory (0.38 miles from Site), providing primary and some secondary education
- The Cavendish School (0.43 miles from Site), providing primary education
- Southbank International School Westminster (0.92 miles from Site), providing secondary and sixth-form education
- Portland Place School (0.96 miles from Site), providing primary, secondary and sixth-form education
- Eifa International School (1.01 miles from Site), providing early years to sixth form education

4.1.7. The high number of independent schools in the local area highlights that there is likely to be additional capacity across education facilities beyond that already demonstrated in **Tables 5-1 and 5-2**.

5

ASSESSMENT OF HEALTH IMPACTS



5. ASSESSMENT OF HEALTH IMPACTS

- 5.1.1. The Camden Planning Guidance on Planning for Health and Wellbeing identifies that planning can have a significant role in improving health and wellbeing and enabling healthier lifestyles. The Guidance highlights that there are numerous measures that can help to contribute to healthier communities and reduce health inequalities.
- 5.1.2. In order to identify the ways in which developments can enhance health outcomes, a number of health determinants have been identified. These are elaborated on in further detail below.

HEALTH DETERMINANTS

- 5.1.3. In this section of the HIA we consider the anticipated health impacts of the development proposals for the Site. This has taken a broad view to give weight to the wider determinants of health. The importance of these and their links to the built environment are elaborated on within Table 5-1 below.

Table 5-1 – Identification of determinants of health and potential impacts

Health Determinant	Potential Health Impact
Housing design and affordability	Ensuring access to good quality, well designed, and affordable homes to suit a variety of tenures and needs is important to ensure the health and wellbeing of the population. A lack of affordability and factors such as overcrowding can lead to adverse impacts on the health of the population.
Access to health and social care services and other social infrastructure	Access to essential services such as GP services, and other social infrastructure (including education and community centres) is important in ensuring good health. Social infrastructure and related services are key components of 'lifetime neighbourhoods', and the creation of sustainable, cohesive, and healthy communities. These types of infrastructure also have a direct positive influence on physical and mental health and wellbeing, with accessibility, transport, range and quality of services being influencing factors in their use.
Access to open space and nature	Access to open space and play space encourages physical activity, particularly if these spaces are readily accessible and of good quality. There is also evidence that outdoor recreation can improve mental health, offering opportunities for relaxation and social interaction as well as recreation. Enabling children to establish positive patterns of behaviour by using outdoor recreational facilities can also lead to similar patterns of behaviour in adulthood.
Air quality, noise and neighbourhood amenity	Environmental factors such as air quality and noise can be influenced by construction, background pollution, and vibration, and these can impact both physical and mental health. Health conditions such as asthma and bronchitis can be adversely impacted by poor air quality, whilst noise pollution can affect mental health, quality of life, and sleep. Effective management of construction and well-designed spaces are important to ensure neighbourhood amenity is not detrimentally affected.
Accessibility and active travel	Convenient access to a range of services and facilities minimises the need to travel, and this can be achieved by creating well designed spaces. Providing active travel options such as walking and cycling and discouraging car use can increase access to the local area and improve physical and mental health.

Crime reduction and community safety	Thoughtful planning and urban design can help to promote natural surveillance and social interaction; both of which can help to reduce crime and the 'fear of crime'. By addressing fear of crime, the mental wellbeing of residents can be improved, and this is particularly important for people who may suffer from isolation, have a disability, or are older or younger. Community engagement in the development process, ensuring the security of sites, and creating well-lit spaces can also help to reassure residents and encourage feelings of safety within the community.
Access to healthy food	Access to healthy food can improve the physical and mental health of residents and help to tackle chronic disease and obesity. Opportunities purchase healthy food locally and limiting concentrations of hot food takeaways can change eating behaviour and improve physical and mental health. Providing opportunities for people to grow their own food can also contribute positively to this and encourage education about access to healthy and sustainable food sources.
Access to work and training	Employment and income is a key determinant of health and wellbeing, leading to greater financial security, improved mental health, and benefits such as self-esteem and opportunities for social interaction. Unemployment has the potential to lead to poverty, illness and a reduction in personal and social esteem.
Social cohesion and inclusive design	Social cohesion and the opportunity for social interaction can help to improve wellbeing, create social networks, and reduce isolation, particularly for younger people and older people. Through careful design, neighbourhoods can be areas for interaction where people of all ages and abilities can access and feel safe within the community.
Minimising the use of resources	Reducing waste generation and encouraging the use of sustainable materials, as well as good practices such as recycling and accessing local goods and services, can improve health directly and indirectly while minimising environmental impacts.
Climate change	Poorly designed homes can lead to fuel poverty in winter and overheating in summer, contributing to excess winter and summer deaths. Developments that take advantage of sunlight, tree planting and accessible green/brown roofs also have the potential to contribute towards the mental wellbeing of residents.

ASSESSMENT

5.1.4. In evaluating the health impacts of the scheme, the HIA follows the guidance of the HUDU Rapid HIA Tool. As such, the HIA addresses potential health impacts under the following thematic areas:

- Housing design and affordability (Table 5-2);
- Access to health and social care services and other social infrastructure (Table 5-3);
- Access to open space and nature (Table 5-4);
- Air quality, noise and neighbourhood amenity (Table 5-5);
- Accessibility and active travel (Table 5-6);
- Crime reduction and community safety (Table 5-7);
- Access to healthy food (Table 5-8);
- Access to work and training (Table 5-9);
- Social cohesion and inclusive design (Table 5-10);
- Minimising the use of resources (Table 5-11); and
- Climate change (Table 5-12).

Table 5-2 - Housing design and affordability

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal seek to meet all 16 design criteria of the Lifetime Homes Standard or meet Building Regulation requirement M4 (2)?	Yes	The proposal meets the Building Regulation requirement M4(2) for 90% of the homes proposed, with the remaining 10% meeting the Building Regulation requirement M4(3). Further information is provided in Section 7.3 of the Design and Access Statement prepared as part of the planning application.	Positive	Given that the households will meet the M4(2)/M4(3) standards, it is important that this is highlighted on any marketing material for future tenants to ensure these can be readily identified.
Does the proposal address the housing needs of older people, ie extra care housing, sheltered housing, lifetime homes and wheelchair accessible homes?	Yes	The proposal addresses the housing needs of older people through the provision of 10% of dwellings being wheelchair accessible homes (meeting Building Regulation requirement M4(3)). Furthermore, all other dwellings will be able to address the changing needs of people as they get older, by being adaptable dwellings (meeting Building Regulation requirement M4(2)).	Positive	Given that the households will meet the M4(2)/M4(3) standards, it is important that this is highlighted on any marketing material for future tenants to ensure these can be readily identified.
Does the proposal include homes that can be adapted to support independent living for older and disabled people?	Yes	As above, the proposal will include wheelchair accessible homes, with all remaining homes being able to be adapted to support independent living for older or disabled people in the future.	Positive	No further measures recommended at this time
Does the proposal promote good design through layout and orientation, meeting internal space standards?	Yes	The proposal promotes good design principles through careful consideration of layout and orientation of the units and their future inhabitants. All residential units will also meet internal space standards to ensure that high-quality homes are developed.	Positive	No further measures recommended at this time
Does the proposal include a range of housing types and sizes, including affordable housing responding to local housing needs?	Yes	The Proposed Development includes a range of household types, ranging from one bedroom to three-bedroom units. Of these residential units, 9% (1 no.) will be affordable units.	Positive	No further measures recommended at this time
Does the proposal contain homes that are highly energy efficient (eg. a high SAP rating)?	Yes	The proposal contains homes that are highly energy efficient, as noted within Section of the Design and Access Statement. A fabric first approach minimises reliance on mechanical heating and ventilation, reducing CO2 levels and targeting a 56% reduction beyond Part L 2021 requirements. Furthermore, renewable technology is proposed in the form of a biodiverse, biosolar green roof with an M&E strategy following an all-electric approach.	Positive	No further measures recommended at this time

Table 5-3 - Access to health and social care services and other social infrastructure

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal retain or re-provide existing social infrastructure?	No	The Site is currently used as a car park. As this is not considered to be social infrastructure, this assessment criteria is not deemed to be relevant. Furthermore, the Proposed Development will not include the provision of any social infrastructure given the provision that already exists surrounding the Site.	Not applicable	Not applicable
Does the proposal assess the impact on health and social care services and has the local NHS been contacted?	Yes	As identified in Section 3 of this report, as review was undertaken of GP clinics within one mile of the Site. Based on this desktop review, it is not anticipated that the new residents of the Proposed Development would have a detrimental impact upon the existing services of the NHS. As highlighted in Section 2 of this report, a contact from the NHS was approached for input into the HIA.	Neutral	No further measures recommended at this time
Does the proposal include the provision, or replacement of a healthcare facility and does the facility meet NHS requirements?	No	The Site has been prioritised as a residential development as a means to address the existing housing need evident across LB Camden. As a result, there will be no provision of any social infrastructure or commercial spaces within the development – namely due to there being sufficient services in close proximity to the Site and because of space constraints of the Proposed Development.	Not applicable	Not applicable
Does the proposal assess the capacity, location and accessibility of other social infrastructure, eg schools and community facilities?	Yes	<p>As identified in Section 4 of this report, an audit was undertaken to understand the current provision of primary and secondary schools in the local area and what their capacity was for new students.</p> <p>Data as reported in September 2022 found that there was 17 state primary schools within one-mile of the Site with surplus capacity for 826 pupils. 15 state secondary schools within two-miles of the Site were reported to have a surplus capacity for 1,394 students. These capacities represent a worst-case view of existing education facilities, given these figures do not include state schools which provide all-through education, along with independent primary and secondary schools.</p> <p>The Greater London Authority (GLA) Population Yield Calculator estimates that the Proposed Development will yield:</p> <ul style="list-style-type: none"> • 1.0 Primary aged students • 0.4 Secondary aged students <p>Comparing these proposed yields with the existing capacity across the local schools, it is very likely that the education facilities will be able to accommodate the new development.</p> <p>In addition to schools, there are a number of other community facilities located in close proximity to the Proposed Development, as identified through the Camden Council website⁵. These include:</p> <ul style="list-style-type: none"> • Camden Town Library (200 metre walk) • Saint Pancras Community Centre (450 metre walk) • Somers Town Community Sports Centre (600 metre walk) • Bengali Workers Association (650 metre walk) • Polygon Road Outdoor Gym (750 metre walk) • West Euston Partnership – Healthy Community Project (750 metre walk) • Basil Jellicoe Hall (800 metre walk) • Dick Collins Hall (also known as the Regents Park Residents Association Hall for Hire) (900 metre walk) • Pancras Square Leisure Centre (1,100 metre walk) 	Positive	No further measures recommended at this time

⁵ Camden Council (2022) Find nearest [Online] Available from: <https://maps.camden.gov.uk/Nearest.aspx?find=Community%20Centre>

		<ul style="list-style-type: none"> • Pancras Square Library (1,100 metre walk) • Castlehaven Community Centre (1,300 metre walk) • The British Library (1,400 metre walk) • One KX Community Centre (1,600 metre walk) <p>Taken together, the Proposed Development will be accessible to a broad range of social infrastructure uses.</p>		
Does the proposal explore opportunities for shared community use and co-location of services?	Yes	<p>The Proposed Development makes best use of an existing car park by placing much needed housing in a location which can benefit from the co-location of services. As set out within this report, there are numerous community facilities, schools, healthcare infrastructure and transport hubs which can be accessed within one mile of the Site.</p> <p>In addition to making the most of this inner-city location, the development will provide a communal terrace garden on Level 1 which the new residential community can utilise.</p>	Positive	No further measures recommended at this time

Table 5-4 - Access to open space and nature

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal retain and enhance existing open and natural spaces?	No	The Site is currently an asphalt car park which does not provide for any open or natural space which can be actively used by the community – including nearby residents.	Not applicable	Not applicable
In areas of deficiency, does the proposal provide new open or natural space, or improve access to existing spaces?	Yes	<p>The Proposed Development includes plans for a communal terrace garden on Level 1. This will be accessed via either stairs or an elevator, which will therefore provide easy access to an open space for residents and visitors with a range of mobilities.</p> <p>In addition to this garden, the Site is located within one mile of a wide range of open and natural spaces which future residents can enjoy, thereby improving their access. This includes the following:</p> <ul style="list-style-type: none"> • Harrington Square (opposite the Proposed Development) • Oakley Square Gardens (300 metre walk) • Ampthill Square (450 metre walk) • Goldington Crescent Gardens (600 metre walk) • St Pancras Gardens (700 metre walk) • St Martin’s Gardens (700 metre walk) • Brill Place (950 metre walk) • Camley Street Natural Park (1,000 metre walk) • Regents Park (1,000 metre walk) • Story Garden (1,000 metre walk) • Euston Square Gardens (1,100 metre walk) – please note these are currently closed but may be open in time once the Proposed Development is operational • Camden Gardens (1,100 metre walk) • Castlehaven Community Park (1,200 metre walk) • Tavistock Square Gardens (1,300 metre walk) • Cartwright Gardens (1,400 metre walk) • Fitzroy Square Garden (1,400 metre walk) • Granary Square (1,400 metre walk) • Lewis Cubitt Park (1,400 metre walk) • Gordon Square (1,500 metre walk) • Rochester Terrace Gardens (1,500 metre walk) • Woburn Square Garden (1,600 metre walk) • Camden Square (1,600 metre walk) • Primrose Hil (1,600 metre walk) <p>The provision of housing in this location will allow residents to access and make good use of these existing spaces.</p>	Positive	No further measures recommended at this time

<p>Does the proposal provide a range of play spaces for children and young people?</p>	<p>No</p>	<p>As this is a residential development providing much needed infill housing in a central London location, there is not enough space to provide play spaces for young people.</p> <p>Despite this, there does exist play spaces in the local area which young people who may become resident at the development could use. This includes:</p> <ul style="list-style-type: none"> • Amptill Square Playground (450 metre walk) • St. Martin's Gardens Playground (700 metre walk) • Polygon Road Outdoor Gym (750 metre walk) • Gloucester Gate Playground (1,000 metre walk) • Munster Street Playground (1,400 metre walk) • Granary Square (1,400 metre walk) – includes water fountains for children to play in • Primrose Hill Playground (1,600 metre walk) <p>Through the broad range of play spaces within on-mile of the Site, young children and their families will be able to access these facilities via active transport means (such as through walking or cycling).</p>	<p>Not applicable</p>	<p>Not applicable</p>
<p>Does the proposal provide links between open and natural spaces and the public realm?</p>	<p>No</p>	<p>As the Proposed Development is on a small infill Site in central London, there is no opportunity to provide publicly accessible open and natural spaces which can be linked with the existing public realm.</p> <p>This has been developed as a means for responding to the built heritage of the local area, ensuring a seamless transition from the existing terrace houses which abut the street to the new residences.</p>	<p>Not applicable</p>	<p>Not applicable</p>
<p>Are the open and natural spaces welcoming and safe and accessible for all?</p>	<p>Yes</p>	<p>The communal terrace garden incorporated as part of the Proposed Development will provide an opportunity for residents to have an additional open space to enjoy and use for leisure purposes. This is in addition to Harrington Square across from the Site.</p> <p>There will be step-free access to the rooftop terrace garden via elevators within the building. This will mean that they will be accessible to people with a range of mobilities, including the elderly, disabled and young children.</p> <p>The raised nature of the terrace will provide views across to Harrington Square and Hampstead Road, providing a sense of natural surveillance and enhancing perceptions of safety.</p>	<p>Positive</p>	<p>No further measures recommended at this time</p>
<p>Does the proposal set out how new open space will be managed and maintained?</p>	<p>Yes</p>	<p>The communal garden on Level 1 will be maintained by the property managers once the Proposed Development is completed and operational.</p>	<p>Neutral</p>	<p>No further measures recommended at this time</p>

Table 5-5 - Air quality, noise and neighbourhood amenity

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal minimise construction impacts such as construction traffic, dust, noise, vibration and odours?	Yes	A draft Construction Management Plan has been prepared as part of the planning application by Caneparo Associates. Within this document a number of measures during the construction phase are proposed in order to minimise construction impacts including traffic, dust, noise, vibration and odours.	Neutral	No further measures recommended at this time
Does the proposal minimise air pollution caused by traffic and energy facilities?	No	The Proposed Development is car-free and will therefore not increase traffic and resultant air pollution. Similarly, there are no energy facilities included within the proposals.	Not applicable	Not applicable
Does the proposal minimise noise pollution caused by traffic and commercial uses?	No	The Proposed Development does not include any new roads or transport infrastructure and is a car-free development. Furthermore, there will not be any commercial uses on Site.	Not applicable	Not applicable

Table 5-6 - Accessibility and active travel

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal address the ten Healthy Streets indicators?	No	The Proposed Development does not include any new streets or transport infrastructure. As such, the proposals cannot address the Healthy Streets indicators.	Not applicable	Not applicable
Does the proposal prioritise and encourage walking, for example through the use of shared spaces?	Yes	The proposal encourages walking through the integration of a communal stairwell within the development which can be accessed from the shared lobby space. Walking further afield is also encouraged by the fact that it is a car-free development.	Positive	No further measures recommended at this time
Does the proposal prioritise and encourage cycling, for example by providing secure cycle parking, showers and cycle lanes?	Yes	The Proposed Development includes 24 cycle spaces (more than two per residential unit) for use by residents and visitors on the ground floor of the development. In addition to providing cycle storage on-Site, there are two Santander Cycle hire stations in close proximity to the Site. This includes one at Harrington Square (100 metre walk) and another at Eversholt Street (240 metre walk). The close location of these will further promote the use of cycling as a means of transport for residents and their visitors.	Positive	No further measures recommended at this time
Does the proposal connect public realm and internal routes to local and strategic cycle and walking networks?	Yes	<i>Cycling</i> The Site is located in close proximity to the wider London cycle network, with a dedicated cycle lane on Lidington Place/Harrington Square. Transport for London (TfL) support the development of a number of Cycleways including Quietways (designated low traffic cycle paths) and Cycle Superhighways (designed for mass transit of bicycles). In close proximity to the Site is Cycleway 6 which connects Kentish Town and Elephant & Castle via Camden. This key north to south route is integral to the wider London cycle network and could be used by future residents of the Proposed Development to access locations across London, particularly as there are a number of other Cycleways which can be joined from Cycleway 6. TfL have also announced that there will be a new Cycleway developed to be known as 'Camden and Tottenham Hale' ⁶ which will comprise 12 kilometres of cycle paths connecting Camden to Tottenham Hale, Seven Sisters and Nag's Head. <i>Walking</i> In addition to the cycling connections, the Site is also well positioned to make the most of key walking destinations such as Regents Park. Furthermore, the development is well-located to access the Regent's Canal Towpath which connects Regents Park to Victoria Park and beyond via the Paddington Arm and Lee sections of the Canal. The vast number of green spaces as identified in Table 5-4 can also form part of walking networks from the Site for residents to partake in physical activity.	Positive	No further measures recommended at this time
Does the proposal include traffic management and calming measures to help reduce and minimise road injuries?	No	The proposal is located on a Site which will not introduce any new road to the street network. Furthermore, the Proposed Development is a car-free development, thereby providing further support to reducing traffic and the minimisation of road injuries inflicted by vehicles.	Not applicable	Not applicable

⁶ Transport for London (2022) Cycleways [Online] Available from: <https://tfl.gov.uk/modes/cycling/routes-and-maps/cycleways>

<p>Is the proposal well connected to public transport, local services and facilities?</p>	<p>Yes</p>	<p>The Proposed Development will have exemplar public transport links, owing to its central London location. Mornington Crescent underground station is less than 100 metres from the Site, which includes transportation via the Northern Line.</p> <p>In addition to Mornington Crescent, there are a number of other London Underground/Overground stations nearby including:</p> <ul style="list-style-type: none"> • Camden Town (700 metre walk) • Euston (950 metre walk) • Warren Street (1,100 metre walk) • Camden Road (1,100 metre walk) • Euston Square (1,200 metre walk) • King's Cross (1,300 metre walk) • Great Portland Street (1,400 metre walk) • Regents Park (1,600 metre walk) <p>St. Pancras, King's Cross and Euston stations also include a number of National Rail services, enabling transport across London and beyond, including to the North of England, Scotland and internationally via the EuroStar service.</p> <p>A number of bus routes pass close to the Site too, with the Mornington Crescent bus stop a short walk from the Site servicing bus routes including the 24, 27, 29 and 134. This stop also services night buses including the N27, N29 and N279.</p> <p>In addition to rail and bus networks, there are two Santander Cycle hire stations in close proximity to the Site. This includes one at Harrington Square (100 metre walk) and another at Eversholt Street (240 metre walk).</p> <p>Taken together, it is evident that the Proposed Development is well located to make the most of a wide range of public transport options, ensuring it remains well connected to local services and facilities.</p>	<p>Positive</p>	<p>No further measures recommended at this time</p>
<p>Does the proposal seek to reduce car use by reducing car parking provision, supported by controlled parking zones, car clubs and travel plans measures?</p>	<p>Yes</p>	<p>The Proposed Development is a car-free development, thereby seeking to reduce car use and instead promote the use of active travel (via the provision of cycle spaces) and public transport.</p>	<p>Positive</p>	<p>No further measures recommended at this time</p>
<p>Does the proposal allow people with mobility problems or a disability to access buildings and places?</p>	<p>Yes</p>	<p>As noted in Table 5-1 above, the scheme will include both wheelchair accessible and adaptable residential units. In addition to this, access to the units will be step-free, assisting people with mobility problems or disabilities to access the buildings.</p>	<p>Positive</p>	<p>No further measures recommended at this time</p>

Table 5-7 - Crime reduction and community safety

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal incorporate elements to help design out crime?	Yes	The proposal will beneficially re-use an existing car park. This will mean that the space will be activated through new residential dwellings, helping to provide enhanced natural surveillance in the area.	Positive	No further measures recommended at this time
Does the proposal incorporate design techniques to help people feel secure and avoid creating 'gated communities'?	Yes	The Proposed Development has an active street frontage, mimicking the traditional terrace style houses along Harrington Square. By placing the household and lobby entrances abutting the street, a proactive effort has been made to keep the residential units as a cohesive component of the public realm, rather than hidden behind a fence and made to be distinctly separated from the street network and surrounding community. Placing the housing entries directly on the street also means that windows from the properties will also have views directly onto the street too. As a result, there will be enhanced natural surveillance on the street and will create a more inviting environment for others to occupy during both the day and night.	Positive	No further measures recommended at this time
Does the proposal include attractive, multi-use public spaces and buildings?	No	As the Proposed Development is on a small infill Site in central London, the emphasis has been placed on making this a purely residential development to assist with the significant housing need in LB Camden. As such, the scheme will not be mixed-use and there will not be any multi-use public spaces and buildings included. Despite this however, there are numerous public spaces and buildings in close proximity to the Site, as highlighted in Table 5-3. The proposal will include attractive buildings which will help to promote good design in the neighbourhood.	Not applicable	Not applicable
Has engagement and consultation been carried out with the local community and voluntary sector?	Yes	WSP produced a pre-application engagement strategy for the proposals in line with London Borough of Camden's local guidelines. To produce the strategy, research was undertaken to assess the immediate local area and identify key local stakeholders. As the proposals were fairly modest, in keeping with the local context and in busy, town centre area, a streamlined engagement strategy was delivered to ensure that the public had sufficient knowledge of the proposals and time to provide their feedback. This approach enabled the local community to be informed of the proposals in a variety of ways. This strategy included the following: <ul style="list-style-type: none"> • Consultation emails to key local stakeholders • Consultation leaflets issued to 1,534 properties • A public exhibition at the Working Men's College, Camden • A dedicated consultation website at www.harrington-square.co.uk • A consultation email address <u>Consultation emails to stakeholders</u> The following stakeholders were targeted as part of the engagement strategy: <ul style="list-style-type: none"> • Cllr Nasim Ali – LB Camden, Regents Park ward member • Cllr Heather Johnson – LB Camden, Regents Park ward member • Cllr Nadia Shah – LB Camden, Regents Park ward member • Mornington District Association • Mornington Area Action Group An email was issued to the stakeholders, informing them of the proposals and inviting them to discuss the proposals either virtually or in person.	Positive	No further measures recommended at this time

	<p>Following this process, the project team spoke to a representative of the Mornington Area Action Group on the telephone but the group did not take up the offer of any further discussion.</p> <p><u>Consultation leaflets to local residents</u></p> <p>In order to inform the wider community of the proposals and plans for public consultation, a consultation leaflet was issued to 1534 residents and local businesses. The leaflet contained details of the proposals and an invitation to a public exhibition event.</p> <p><u>Public exhibition</u></p> <p>A public exhibition was held on Tuesday 21st February 2023 between 4pm and 7pm at the Working Men's College, 44 Crowndale Road, London NW1 1TR. At the exhibition, display boards outlined the redevelopment plans and members of the project team were on hand to speak with attendees and respond to questions.</p> <p>The exhibition event was not as well attended as anticipated with only two local residents in attendance. The two residents lived in Hurdwick House so had a keen interest in the development proposals.</p> <p><u>Consultation website</u></p> <p>The consultation website www.harrington-square.co.uk was launched to provide an online platform to communicate the proposals. The website hosted details of the proposals and an online feedback form.</p> <p><u>Consultation email</u></p> <p>A dedicated consultation email address UKPlanningComment@wsp.com was advertised on the leaflet as a means for people to provide comments directly to the project team. One comment was received from one of the residents who attended the exhibition. The comment queried whether or not the development would offer a children's play area on site for existing and incoming residents, as well as queries on the scale of the new building and concerns of overlooking. The resident was able to discuss the points raised within the email with the project team at the exhibition.</p>		
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Table 5-8 - Access to healthy food

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal facilitate the supply of local food, ie allotments, community farms and farmers' markets?	No	This is a residential development for a brownfield Site in central London. As this is an infill development, an emphasis has been placed on providing much-needed housing in the area. As a result, there is limited space available to include the provision of allotments or areas big enough to host farmers markets. Despite this, the development is located close to a range of local stores which may stock and further support the supply of local food.	Not applicable	Not applicable
Is there a range of retail uses, including food stores and smaller affordable shops for social enterprises?	No	This is a residential development for a brownfield Site in central London. As this is an infill development, an emphasis has been placed on providing much-needed housing in the area, rather than developing a mixed-use Site. As such, there are no opportunities to provide a range of retail uses. New residents however will be able to access existing local shops which are nearby.	Not applicable	Not applicable
Does the proposal avoid contributing towards an over- concentration of hot food takeaways in the local area?	No	As this is a residential development, there will be no opportunity to provide any food stores, including those that sell hot food takeaways.	Not applicable	Not applicable

Table 5-9 - Access to work and training

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal provide access to local employment and training opportunities, including temporary construction and permanent 'end-use' jobs?	Yes	<p>This is a residential development which will not include the provision of any commercial floorspace which might support end-use jobs.</p> <p>Despite this, WSP estimates that the Proposed Development could support around 30 person years of temporary construction employment over the 18-month construction phase. Through this investment in the local area to construct Harrington Square, construction workers will also likely spend in the local area which will further support local businesses and the staff they employ.</p>	Positive	No further measures recommended at this time
Does the proposal provide childcare facilities?	No	<p>The Proposed Development is residential in order to make the most of the confined Site and to deliver much needed housing in the local area. As such, there will not be any provision for a childcare facility on Site.</p> <p>Despite this, there are numerous childcare facilities in the local area. Using the Camden Council online search function⁷, results found that there were 70 childcare providers within one mile of the Site including child minders, maintained nursery schools and classes and day nurseries. In addition to these, there were a further seven private childcare facilities, including those at independent schools.</p> <p>Taken together, it is evident that there are a broad range of childcare facilities in close proximity to the Proposed Development which could be used by future residents.</p>	Not applicable	Not applicable
Does the proposal include managed and affordable workspace for local businesses?	No	<p>This is a residential development for a brownfield Site in central London which will not include any commercial floorspace. As a result, this will not provide any opportunities for the provision of affordable workspaces for local people.</p>	Not applicable	Not applicable
Does the proposal include opportunities for work for local people via local procurement arrangements?	Yes	<p>The proposal will incorporate opportunities for work for local people throughout the construction phase. As noted above, it is anticipated that the construction phase could support around 30 jobs over the entire 18-month construction phase. Local procurement will also be prioritised where possible by the eventual contractor to be appointed to the scheme. The proposal will incorporate opportunities for work for local people throughout the construction phase. As noted above, it is anticipated that the construction phase could support around 30 jobs over the entire 18-month construction phase.</p>	Positive	No further measures recommended at this time

⁷ Camden Council (2022) Childcare Providers [Online] Available from: <https://childcareproviders.camden.gov.uk/Synergy/Live/SynergyWeb/>

Table 5-10 - Social cohesion and inclusive design

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal consider health inequalities by addressing local needs through community engagement?	Yes	<p>The engagement strategy sought input from the local community and key interest groups to ensure that the proposals were shaped by the community. The development proposals did not attract as much interest as anticipated with only two local residents attending the event and providing feedback. It could be suggested that the development site being in a very central area with a large transient population, meant that the proposals did not attract as much interest at pre-application stage.</p> <p>The feedback from the two local residents are included below:</p> <ul style="list-style-type: none"> • Query as to whether the proposals could offer a play area for Hurdwick House residents • Concern with the scale of the new building and concern of overlooking <p>Based on the feedback received, it is evident that there were no specific health inequalities raised by the consultation with local community members.</p>	Neutral	No further measures recommended at this time
Does the proposal connect with existing communities, ie layout and movement which avoids physical barriers and severance and land uses and spaces which encourage social interaction?	Yes	The proposal will connect with existing communities as it will not be a gated development and will integrate with the existing streetscape. The development will not be contained behind high fences, but rather will integrate with the street through landscaped areas to minimise the perception of hard barriers between the new development and the existing residential units adjacent to it. In doing so, it is anticipated that social interaction will be encouraged.	Positive	No further measures recommended at this time
Does the proposal include a mix of uses and a range of community facilities?	No	Given the central location of the Site and evidenced housing need across Greater London, including LB Camden – this development has focussed on maximising the Site for residential units. This is seen to still be beneficial to future residents and the development overall as there are a wide range of community facilities and other social infrastructure uses in close proximity to the Site, which future residents could access.	Not applicable	Not applicable
Does the proposal provide opportunities for the voluntary and community sectors?	No	As the proposal is entirely residential, it is unlikely that there will be any opportunities for the voluntary and community sectors.	Not applicable	Not applicable
Does the proposal take into account issues and principles of inclusive and age-friendly design?	Yes	As noted in Table 5-1 above, the scheme will include both wheelchair accessible and adaptable residential units. This will help to ensure that people of all ages can live comfortably in the units, promotion age-friendly design.	Positive	No further measures recommended at this time

Table 5-11 - Minimising the use of resources

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal make best use of existing land?	Yes	<p>Boroughs across London face significant housing need, however there are many difficulties in delivering residential developments. One key reason for this is that many depend on brownfield sites which can be challenging to work on due to a range of issues including remediation, existing neighbouring uses and community sentiment.</p> <p>The Proposed Development is an infill Site, replacing an existing car park. Not only does this provide LB Camden with new housing to meet their needs, but the development also seeks to promote a reduction in car travel, aligning with the climate change ambitions of the Council.</p> <p>As a result, the Harrington Square development is exemplar of making best use of existing land.</p>	Positive	No further measures recommended at this time
Does the proposal encourage recycling, including building materials?	Yes	<p>The proposal places a strong emphasis on recycling and reducing carbon impacts, with further details provided within the Embodied Carbon Assessment prepared by Renaissance, as submitted alongside the planning application.</p> <p>During operation, the proposal will also encourage recycling through the inclusion of a bin store on the ground level which has designated space for recycling and food waste streams. Further information is provided within the Servicing, and Waste Management Plan prepared by Caneparo Associates, as submitted alongside the planning application.</p>	Positive	No further measures recommended at this time
Does the proposal incorporate sustainable design and construction techniques?	Yes	<p>Sustainability and energy efficiency have been forefront in all design decisions. Each home is designed to maximise daylighting and versatility of spaces, meeting modern day living standards and future requirements.</p> <p>A fabric first approach minimises reliance on mechanical heating and ventilation, reducing CO2 levels and targeting a 56% reduction beyond Part L 2021 requirements.</p> <p>Renewable technology is proposed in the form of a biodiverse, biosolar green roof with an M&E strategy following an all-electric approach.</p> <p>A primary façade material of hand-laid brickwork allows for future re-use and a proposed primary structural frame of recycled steel further reduces the schemes carbon footprint.</p> <p>More details can be found within the Energy Statement submitted as part of the application.</p>	Positive	No further measures recommended at this time

Table 5-12 - Climate change

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal incorporate renewable energy?	Yes	Renewable technology is proposed in the form of a biodiverse, biosolar green roof with an M&E strategy following an all-electric approach. Further details are provided in the Energy Statement submitted alongside the planning application.	Positive	No further measures recommended at this time
Does the proposal ensure that buildings and public spaces are designed to respond to winter and summer temperatures, ie ventilation, shading and landscaping?	Yes	The proposal ensures that buildings are designed to respond to different temperatures through ventilation and shading within each of the homes. This is also enhanced through landscaping approaches, including the incorporation of the green roof to further reduce impacts of the urban heat island effect. Further information is provided within the Design and Access Statement prepared as part of the planning application.	Positive	No further measures recommended at this time
Does the proposal maintain or enhance biodiversity?	Yes	A Preliminary Ecological Appraisal accompanies the planning application, prepared by The Ecology Partnership. This highlights that the urban nature of the site means that it currently has low biodiversity value and is not considered to be constrained by any protected or notable species. It is noted that proposed enhancements, including the planting of street trees and the use of green roofs, would provide higher value habitats post development. The inclusion of integral bird boxes, such as sparrow or swift boxes, would also provide new opportunities for nesting birds. Taken together, the proposal would therefore likely enhance the biodiversity present at the Site.	Positive	No further measures recommended at this time
Does the proposal incorporate sustainable urban drainage techniques?	Yes	Renaissance have prepared a Flood Risk Assessment and Outline Drainage Strategy which accompanies the planning application. In this report it is identified that a number of sustainable urban drainage systems (SuDS) have been incorporated within the design through the use of underground attenuation devices and tree pits. This is in addition to the proposed strategy to discharge surface water flows to the 100 public combined sewer network surrounding the site. Taken overall, the proposals adopts a sustainable method for managing drainage across the development site.	Neutral	No further measures recommended at this time



SUMMARY

- 5.1.5. The assessment of health impacts has identified that the vast majority of the anticipated health impacts will be positive. Across the 51 questions included in the HUDU Rapid HIA Tool, 17 were considered to not be relevant to the Proposed Development. Of the remaining 34, the Proposed Development is anticipated to have the following health impacts:
- 29 positive impacts;
 - 5 neutral impacts; and
 - 0 negative impacts.
- 5.1.6. The assessment has identified one recommended enhancement measures. The measures are as follows:
- Given that the households will meet the M4(2)/M4(3) standards, it is important that this is highlighted on any marketing material for future tenants to ensure these can be readily identified.

6

CONCLUSIONS



6. CONCLUSIONS

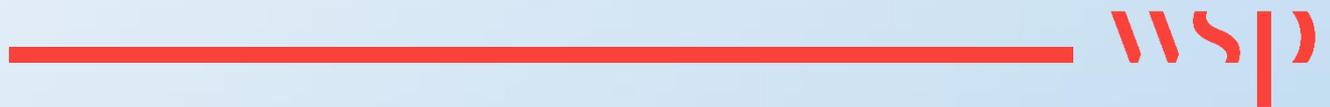
- 6.1.1. WSP has undertaken an HIA of the Proposed Development at land adjacent to Hurwick House, Harrington Square.
- 6.1.2. In evaluating the health impacts of the scheme, the HIA has addressed the 51 questions raised by the HUDU's Rapid Health Impact Assessment Tool, for each of the categories as listed below in **Table 6-1**.
- 6.1.3. **Table 6-1** below summarises the effects of the scheme on a question-by-question basis. The table demonstrates that the Proposed Development will primarily have a positive health impact.
- 6.1.4. Across the 51 questions, 34 were deemed to be relevant to the Proposed Development. As a result of the assessment, the scheme is anticipated to have the following health impacts:
- 29 positive impacts;
 - 5 neutral impacts; and
 - 0 negative impacts.

Table 6-1 Summary table of assessed health impacts across all sub-categories

Theme	Positive Impact	Negative Impact	Neutral Impact	Total
Housing design and affordability	6	0	0	6
Access to health and social care services and other social infrastructure	2	0	1	3
Access to open space and nature	2	0	1	3
Air quality, noise and neighbourhood amenity	0	0	1	1
Accessibility and active travel	6	0	0	6
Crime reduction and community safety	3	0	0	3
Access to healthy food	0	0	0	0
Access to work and training	2	0	0	2
Social cohesion and inclusive design	2	0	1	3
Minimising the use of resources	3	0	0	3
Climate Change	3	0	1	4
Total	29	0	5	34

- 6.1.5. It can therefore be concluded that the Proposed Development will overall have a positive impact on the health and wellbeing of on the local population and future residents at the Site.

**LONDON HEALTHY URBAN
DEVELOPMENT UNIT RAPID HEALTH
IMPACT ASSESSMENT TOOL
(FOURTH EDITION, OCTOBER 2019)**



CORRESPONDENCE





Rapid HIA for residential scheme, Harrington Square

Ryan, Ailish
To: Ian.Sandford@islington.gov.uk
Cc: Chase, Victoria

Reply Reply All Forward Tue 01/11/2022 10:26

Hi Ian

I hope this email finds you well. I found your contact details from a HIA I worked on (Euston One which was refused in the end!) back in 2020.

I am now working on a scheme in Harrington Square (NW1 2JE) which is an infill development of 10 dwellings (five 2-bedroom and five 3-bedroom). My planning colleagues have been discussing the application through the pre-app process with the planning officers at Camden and I understand as there are 10 units proposed, a rapid HIA is required.

In terms of scoping, I was going to follow the HUDU approach but please do let me know if you know of any local issues which should also be addressed within the HIA. Furthermore, I was wondering if there might be a relevant NHS contact you could suggest in order for us to address the HUDU criteria 'has local NHS organisations been contacted regarding existing and planned healthcare capacity?'

Any information would be greatly appreciated.

I look forward to hearing from you soon.

Kind regards

Ailish



Ailish Ryan
Principal Socio-economic Consultant

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RE: Rapid HIA for residential scheme, Harrington Square

S Sandford, Ian <Ian.Sandford@islington.gov.uk>
To: Ryan, Ailish
You replied to this message on 01/11/2022 11:19.

Reply Reply All Forward Tue 01/11/2022 10:56

Hi Ailish,

Thanks for your email.

Whilst this scheme is right on the threshold for requiring a Health Impact Assessment, the Council is mindful that this should be proportionate to the size of the scheme so as to avoid unnecessary burden on the developer. For a scheme this size, we recommend using the NHS Healthy Urban Development Unit's Rapid HIA Tool, which is available here: <https://www.healthyrbandevelopment.nhs.uk/wp-content/uploads/2019/10/HUDU-Rapid-HIA-Tool-October-2019.pdf>

We do recommend undertaking this rapid HIA as early as possible in the process as this maximises potential benefits and mitigates potential harms through informing the design process itself.

I would also recommend looking at our Camden Planning Guidance: Planning for health and wellbeing which is available here: <https://www.camden.gov.uk/documents/20142/4823269/Planning+for+health+and+wellbeing+CPG+Jan+2021.pdf/>

Simon Harwood is the Strategic Estates Advisor for the NHS in Camden: simon.harwood1@nhs.net

I hope that this is helpful.

Best wishes

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RE: Rapid HIA for residential scheme, Harrington Square



Ryan, Ailish
To simon.harwood1@nhs.net
Cc Chase, Victoria

[↩ Reply](#) [↶ Reply All](#) [→ Forward](#) [⋮](#)

Tue 01/11/2022 11:19

Hi Simon

I hope this email finds you well. I was forwarded your contact details from Ian Sandford who I have been in contact with regarding a Health Impact Assessment (HIA) in Camden.

I am in the process of preparing a rapid HIA for a scheme to be located at Harrington Square (NW1 2EJ). It is an infill residential development comprising 10 dwellings (five 2-bedroom and five 3-bedroom). Using the GLA Population Yield Calculator, we are assuming approximately 24 people will be resident at the complete and operational development.

Designs are still in the process of being finalised, however we have been liaising with Ian to confirm the scope of the HIA. As part of the rapid HIA framework I understand there is a criteria which states: *'has local NHS organisations been contacted regarding existing and planned healthcare capacity?'*

In terms of reviewing healthcare capacity, I have traditionally reviewed the GP clinics within a one-mile radius of a site using the latest published NHS Digital statistics to arrive at a FTE GP to patient ratio. Would it be possible please to confirm if you think this approach would be acceptable in this instance? Furthermore, if there are any known future GP clinics which may increase local capacity in the next few years, could these please be flagged?

I look forward to hearing from you soon.

Kind regards

Ailish



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Principal Socio-economic Consultant

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