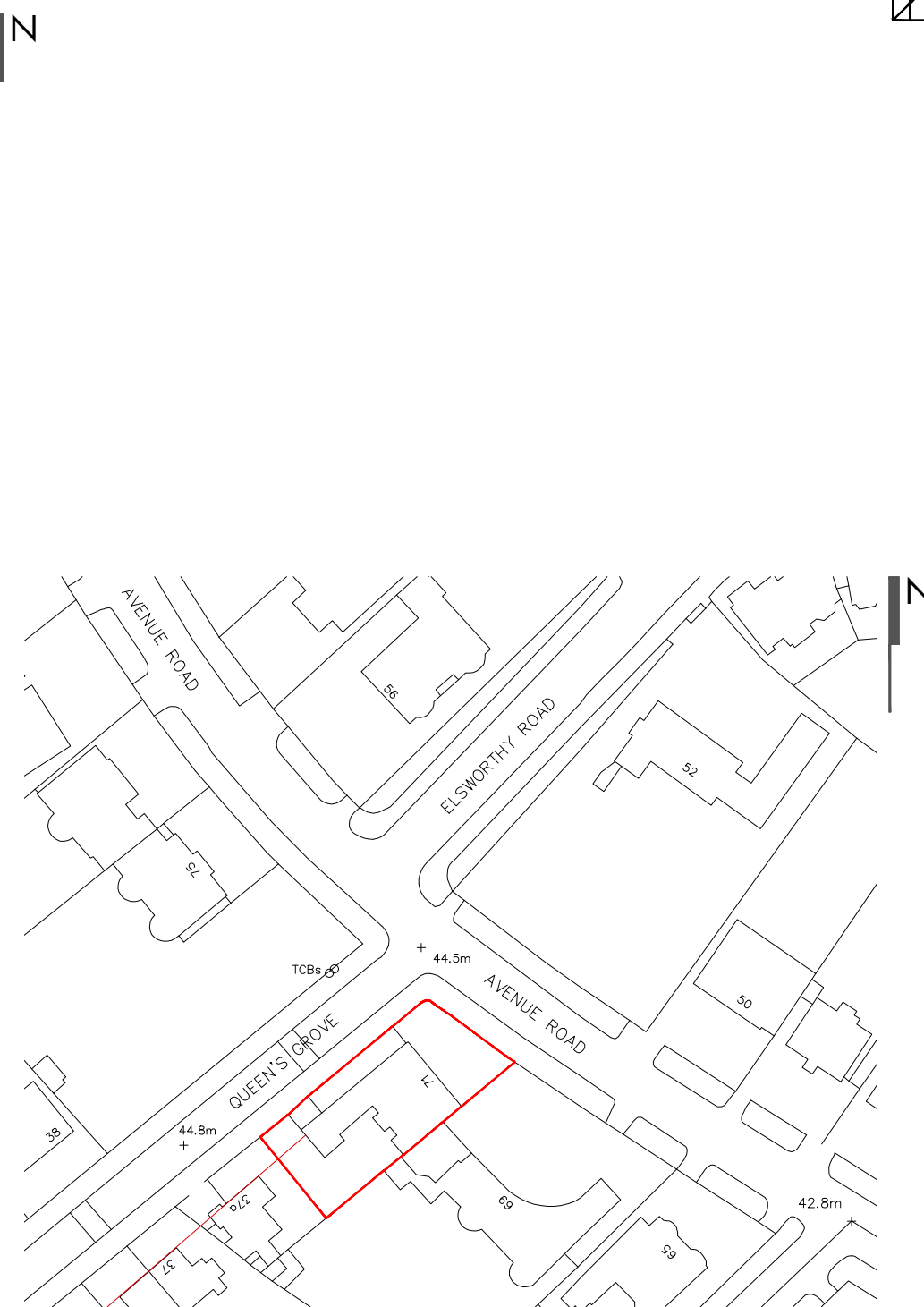


**SITE PLAN**  
SCALE 1:500



**LOCATION PLAN**  
SCALE 1:1250

— APPLICATION SITE

Please Note (1) All drawings and designs are covered by design right (intellectual property), and may not be distributed, copied or issue without written permission of Pu architect. (2) All design concepts are the sole property of Pu architect and no adaptations, reproductions or copies may be made without written permission of Pu architect. (3) All dimensions to be checked on site, any discrepancy between this drawing and other information is to be referred to Pu architect. (4) All dimensions in millimeters unless otherwise noted. (5) Do not use for construction unless approved by Pu architect.—

Dimensions stated are for guidance only, contractor to verify all boundary positions and dimensions on site prior to commencing any works, making workshop drawings or obtaining any materials.  
No site supervision is implied or undertaken unless otherwise separately arranged.  
The drawing does not indicate the extent of any excavation works and the contractor is to determine this prior to submitting a quotation for the works or commencing any works.  
The drawing does not indicate or imply the structural condition of the property, the survey carried out was a "measure survey" for assistance in the preparation of details for Planning and Building Regulations purposes only. The details shown assume that the property is in sound condition and that there are no adverse ground conditions.  
Prior to commencing works the contractor must verify with the client that no underpinning of the property has been carried out and that no structural survey has been undertaken reporting that structural and/or ground problems exist.

Prior to commencing works the contractor must obtain verification from the client or his legal adviser that no restrictive covenants exist or that any "right of light" will not be infringed and if so that reasonable steps have been taken by the client to comply with them.  
Prior to commencing works the contractor must have sight of the Planning and Building Regulations approval and must note any conditions thereon, in particular, the Planning Consent will require samples of the facing materials to be submitted to the Planning Authority for their written approval prior to installation on site.  
All materials and workmanship to comply with the current Building Regulations and all relevant British Standards and Codes of Practice.



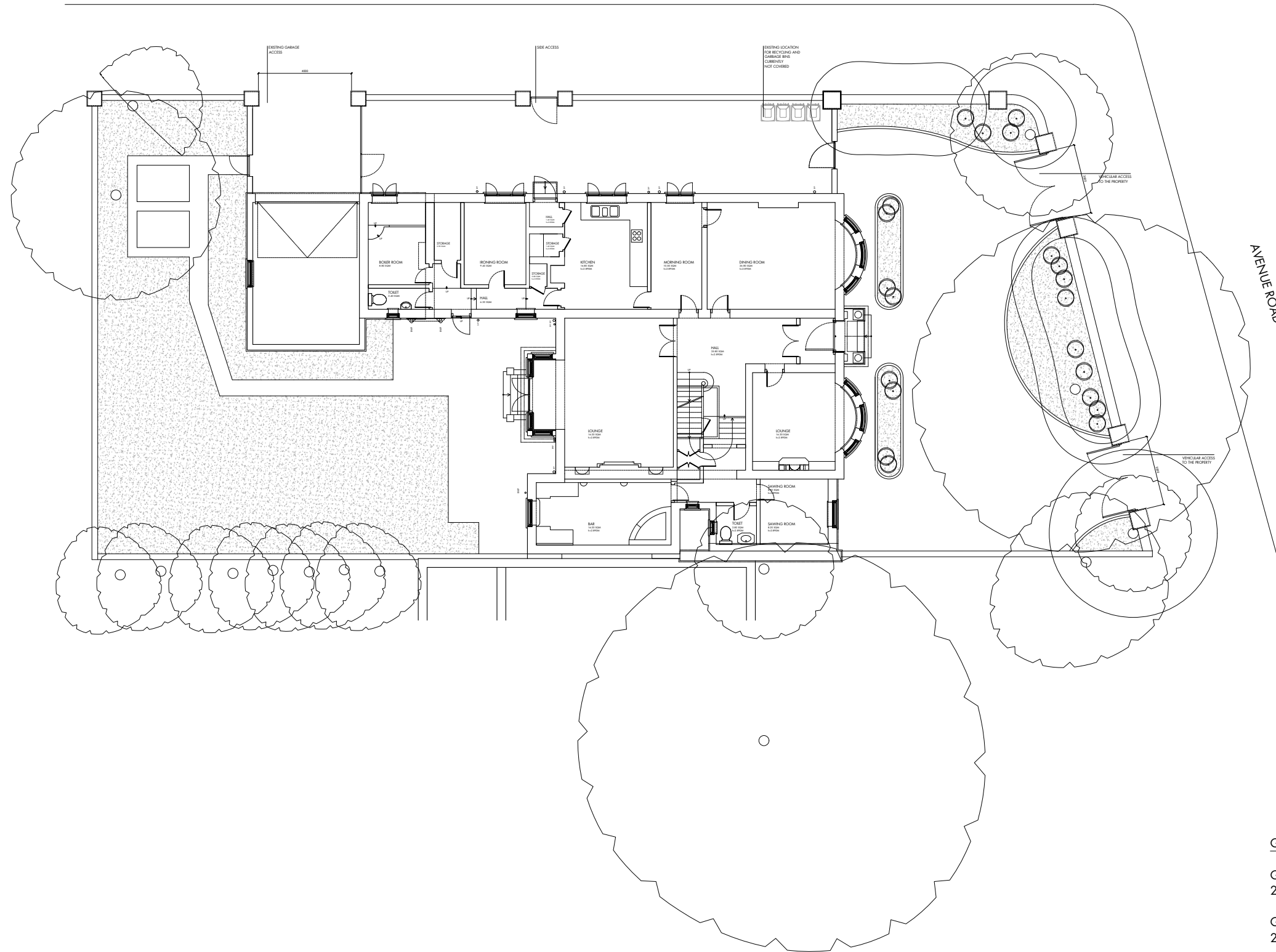
Pu architect  
—  
25 Villiers Road  
London  
WD19 4AG  
United Kingdom  
—  
pu@puarchitect.com  
www.puarchitect.com  
+44 (0) 7858 809 627

71 Avenue Road  
London  
NW8 6HP  
address...  
Mr Meir N N Gareh  
client...  
—  
19.07.19  
date...  
**P\_19\_245**  
project no...

**Site Plan**  
**Location Plan**  
drawing title...  
—  
**1:500 1:1250 A3**  
scale...  
**Planning**  
status...  
**P001 Rev\_A**  
drawing no...



QUEEN'S GROVE



**GROUND FLOOR  
PLAN**  
SCALE 1:200

**Ground Floor Area:**

GIA Sq m    GIA Sq ft  
245.00    2637.00

GEA Sq m    GEA Sq ft  
278.00    2992.00

Please Note (1) All drawings and designs are covered by design right (intellectual property), and may not be distributed, copied or issue without written permission of Pu architect. (2) All design concepts are the sole property of Pu architect and no adaptations, reproductions or copies may be made without written permission of Pu architect. (3) All dimensions to be checked on site, any discrepancy between this drawing and other information is to be referred to Pu architect. (4) All dimensions in millimeters unless otherwise noted. (5) Do not use for construction unless approved by Pu architect.—

Dimensions stated are for guidance only, contractor to verify all boundary positions and dimensions on site prior to commencing any works, making workshop drawings or obtaining any materials.

No site supervision is implied or undertaken unless otherwise separately arranged.

The drawing does not indicate the extent of any excavation works and the contractor is to determine this prior to submitting a quotation for the works or commencing any works.

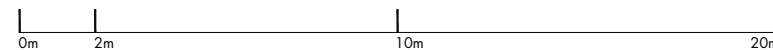
The drawing does not indicate or imply the structural condition of the property, the survey carried out was a "measure survey" for assistance in the preparation of details for Planning and Building Regulations purposes only. The details shown assume that the property is in sound condition and that there are no adverse ground conditions.

Prior to commencing works the contractor must verify with the client that no underpinning of the property has been carried out and that no structural survey has been undertaken reporting that structural and/or ground problems exist.

Prior to commencing works the contractor must obtain verification from the client or his legal adviser that no restrictive covenants exist or that any "right of light" will not be infringed and if so that reasonable steps have been taken by the client to comply with them.

Prior to commencing works the contractor must have sight of the Planning and Building Regulations approval and must note any conditions thereon, in particular, the Planning Consent will require samples of the facing materials to be submitted to the Planning Authority for their written approval prior to installation on site.

All materials and workmanship to comply with the current Building Regulations and all relevant British Standards and Codes of Practice.



Pu architect  
—  
25 Villiers Road  
London  
WD19 4AG  
United Kingdom

pu@puarchitect.com  
www.puarchitect.com  
+44 (0) 7858 809 627

71 Avenue Road  
London  
NW8 6HP  
address,  
Mr Meir N N Gareh  
client.

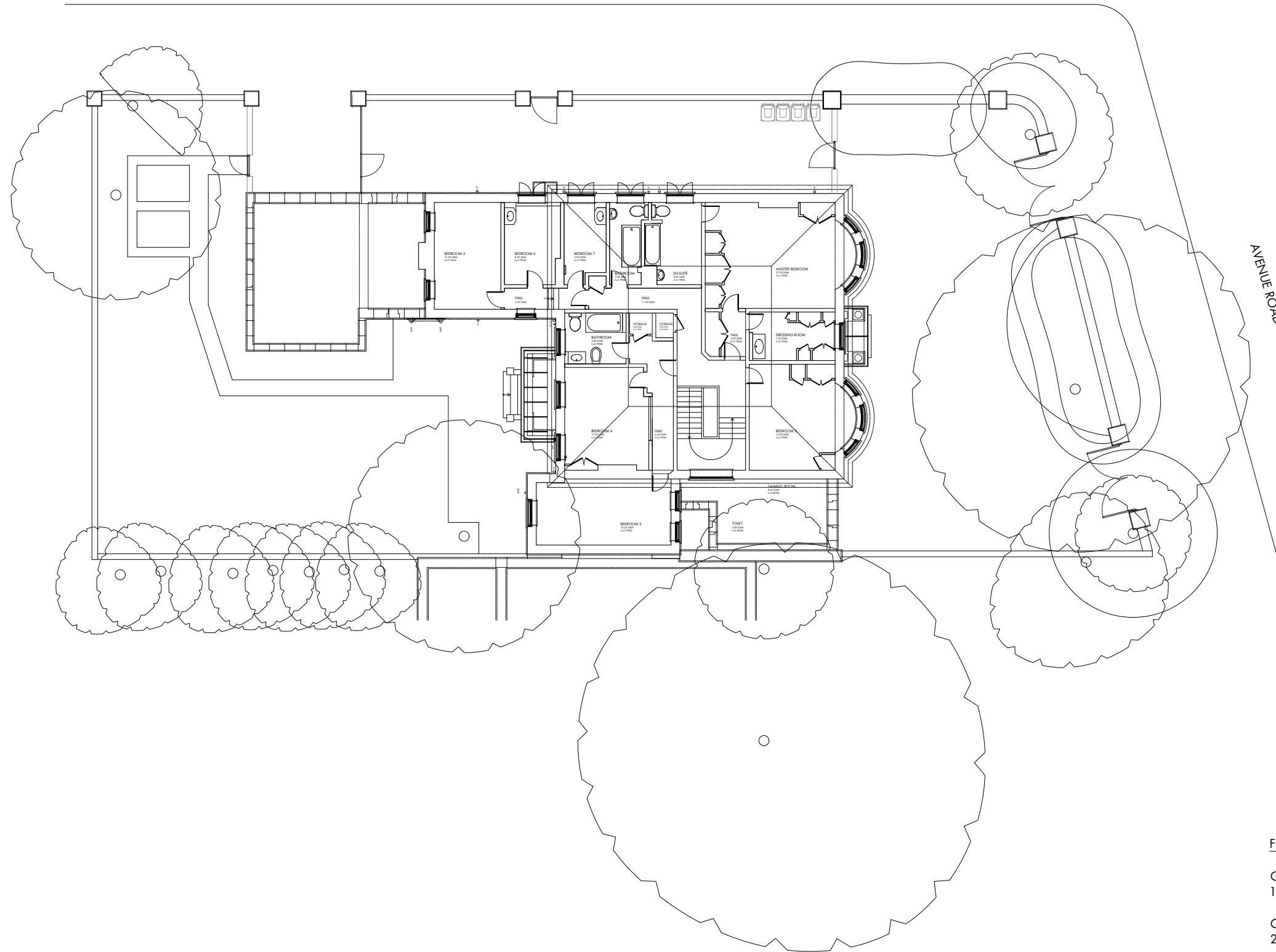
19.07.19  
date,  
**P\_19\_245**  
project no.

**Ground floor Plan**  
**Existing**  
drawing title,

1:200 A3  
scale,  
**Planning**  
status,  
**P010** Rev\_J  
drawing no.



QUEEN'S GROVE



FIRST FLOOR PLAN SCALE 1:200

First Floor Area:

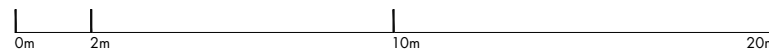
GIA Sq m 181.00 GIA Sq ft 1948.00

GEA Sq m 207.00 GEA Sq ft 2228.00

Please Note (1) All drawings and designs are covered by design right (intellectual property), and may not be distributed, copied or issue without written permission of Pu architect. (2) All design concepts are the sole property of Pu architect and no adaptations, reproductions or copies may be made without written permission of Pu architect. (3) All dimensions to be checked on site, any discrepancy between this drawing and other information is to be referred to Pu architect. (4) All dimensions in millimeters unless otherwise noted. (5) Do not use for construction unless approved by Pu architect.

Prior to commencing works the contractor must obtain verification from the client or his legal adviser that no restrictive covenants exist or that any "right of light" will not be infringed and if so that reasonable steps have been taken by the client to comply with them. Prior to commencing works the contractor must have sight of the Planning and Building Regulations approval and must note any conditions thereon, in particular, the Planning Consent will require samples of the facing materials to be submitted to the Planning Authority for their written approval prior to installation on site. All materials and workmanship to comply with the current Building Regulations and all relevant British Standards and Codes of Practice.

Dimensions stated are for guidance only, contractor to verify all boundary positions and dimensions on site prior to commencing any works, making workshop drawings or obtaining any materials. No site supervision is implied or undertaken unless otherwise separately arranged. The drawing does not indicate the extent of any excavation works and the contractor is to determine this prior to submitting a quotation for the works or commencing any works. The drawing does not indicate or imply the structural condition of the property, the survey carried out was a "measure survey" for assistance in the preparation of details for Planning and Building Regulations purposes only. The details shown assume that the property is in sound condition and that there are no adverse ground conditions. Prior to commencing works the contractor must verify with the client that no underpinning of the property has been carried out and that no structural survey has been undertaken reporting that structural and/or ground problems exist.



Pu architect 25 Villiers Road London WD19 4AG United Kingdom

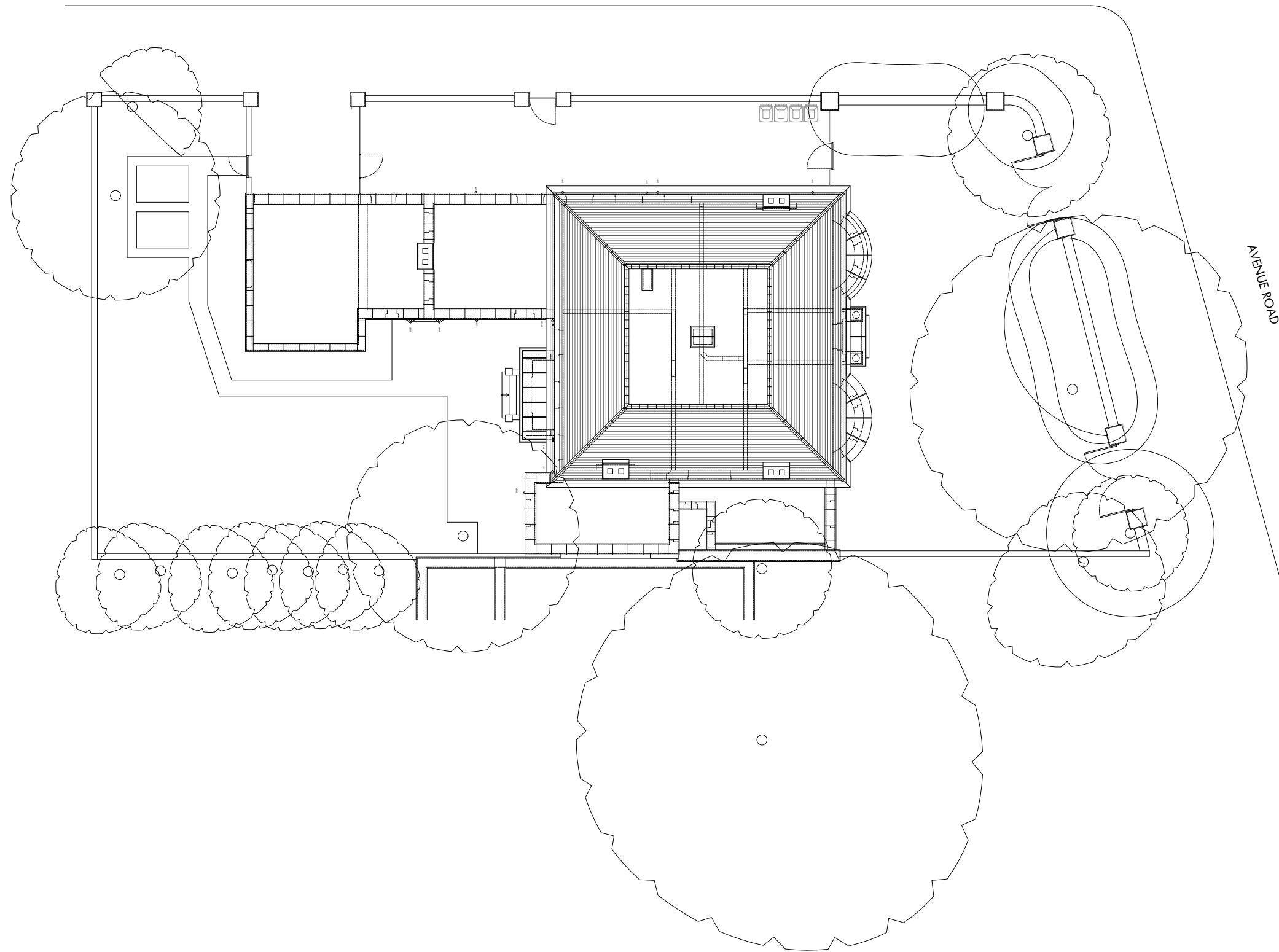
pu@puarchitect.com www.puarchitect.com +44 (0) 7858 809 627

71 Avenue Road London NW8 6HP Mr Meir N N Gareh

19.07.19 P\_19\_245

First floor Plan Existing 1:200 A3 Planning P011 Rev\_1

QUEEN'S GROVE

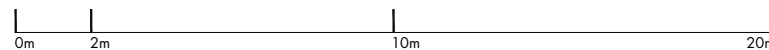


ROOF PLAN  
SCALE 1:200

Please Note (1) All drawings and designs are covered by design right (intellectual property), and may not be distributed, copied or issue without written permission of Pu architect. (2) All design concepts are the sole property of Pu architect and no adaptations, reproductions or copies may be made without written permission of Pu architect. (3) All dimensions to be checked on site, any discrepancy between this drawing and other information is to be referred to Pu architect. (4) All dimensions in millimeters unless otherwise noted. (5) Do not use for construction unless approved by Pu architect.—

Dimensions stated are for guidance only, contractor to verify all boundary positions and dimensions on site prior to commencing any works, making workshop drawings or obtaining any materials.  
No site supervision is implied or undertaken unless otherwise separately arranged.  
The drawing does not indicate the extent of any excavation works and the contractor is to determine this prior to submitting a quotation for the works or commencing any works.  
The drawing does not indicate or imply the structural condition of the property, the survey carried out was a "measure survey" for assistance in the preparation of details for Planning and Building Regulations purposes only. The details shown assume that the property is in sound condition and that there are no adverse ground conditions.  
Prior to commencing works the contractor must verify with the client that no underpinning of the property has been carried out and that no structural survey has been undertaken reporting that structural and/or ground problems exist.

— Prior to commencing works the contractor must obtain verification from the client or his legal adviser that no restrictive covenants exist or that any "right of light" will not be infringed and if so that reasonable steps have been taken by the client to comply with them.  
Prior to commencing works the contractor must have sight of the Planning and Building Regulations approval and must note any conditions thereon, in particular, the Planning Consent will require samples of the facing materials to be submitted to the Planning Authority for their written approval prior to installation on site.  
All materials and workmanship to comply with the current Building Regulations and all relevant British Standards and Codes of Practice.  
—



Pu architect  
—  
25 Villiers Road  
London  
WD19 4AG  
United Kingdom

pu@puarchitect.com  
www.puarchitect.com  
+44 (0) 7858 809 627

71 Avenue Road  
London  
NW8 6HP  
address,  
Mr Meir N N Gareh  
client.

19.07.19  
date,  
**P\_19\_245**  
project no.

Roof Plan  
Existing  
drawing title,

1:200 A3  
scale,

Planning  
status,  
**P012** Rev\_1  
drawing no.



**FRONT  
ELEVATION**  
SCALE 1:100

Please Note (1) All drawings and designs are covered by design right (intellectual property), and may not be distributed, copied or issue without written permission of Pu architect. (2) All design concepts are the sole property of Pu architect and no adaptations, reproductions or copies may be made without written permission of Pu architect. (3) All dimensions to be checked on site, any discrepancy between this drawing and other information is to be referred to Pu architect. (4) All dimensions in millimeters unless otherwise noted. (5) Do not use for construction unless approved by Pu architect.—

Dimensions stated are for guidance only, contractor to verify all boundary positions and dimensions on site prior to commencing any works, making workshop drawings or obtaining any materials.  
No site supervision is implied or undertaken unless otherwise separately arranged.  
The drawing does not indicate the extent of any excavation works and the contractor is to determine this prior to submitting a quotation for the works or commencing any works.  
The drawing does not indicate or imply the structural condition of the property, the survey carried out was a "measure survey" for assistance in the preparation of details for Planning and Building Regulations purposes only. The details shown assume that the property is in sound condition and that there are no adverse ground conditions.  
Prior to commencing works the contractor must verify with the client that no underpinning of the property has been carried out and that no structural survey has been undertaken reporting that structural and/or ground problems exist.

—  
Prior to commencing works the contractor must obtain verification from the client or his legal adviser that no restrictive covenants exist or that any "right of light" will not be infringed and if so that reasonable steps have been taken by the client to comply with them.  
Prior to commencing works the contractor must have sight of the Planning and Building Regulations approval and must note any conditions thereon, in particular, the Planning Consent will require samples of the facing materials to be submitted to the Planning Authority for their written approval prior to installation on site.  
All materials and workmanship to comply with the current Building Regulations and all relevant British Standards and Codes of Practice.  
—



Pu architect  
—  
25 Villiers Road  
London  
WD19 4AG  
United Kingdom  
—

pu@puarchitect.com  
www.puarchitect.com  
+44 (0) 7858 809 627  
—

71 Avenue Road  
London  
NW8 6HP  
address\_—  
Mr Meir N N Gareh  
client\_—

19.07.19  
date\_—  
**P\_19\_245**  
project no. —

**Front Elevation**  
Existing  
drawing title\_—

1:100 A3  
scale\_—  
**Planning**  
status\_—  
**P020** Rev\_1  
drawing no. —



**SIDE  
ELEVATION**  
SCALE 1:100

Please Note (1) All drawings and designs are covered by design right (intellectual property), and may not be distributed, copied or issue without written permission of Pu architect. (2) All design concepts are the sole property of Pu architect and no adaptations, reproductions or copies may be made without written permission of Pu architect. (3) All dimensions to be checked on site, any discrepancy between this drawing and other information is to be referred to Pu architect. (4) All dimensions in millimeters unless otherwise noted. (5) Do not use for construction unless approved by Pu architect.—

Dimensions stated are for guidance only, contractor to verify all boundary positions and dimensions on site prior to commencing any works, making workshop drawings or obtaining any materials.  
No site supervision is implied or undertaken unless otherwise separately arranged.  
The drawing does not indicate the extent of any excavation works and the contractor is to determine this prior to submitting a quotation for the works or commencing any works.  
The drawing does not indicate or imply the structural condition of the property, the survey carried out was a "measure survey" for assistance in the preparation of details for Planning and Building Regulations purposes only. The details shown assume that the property is in sound condition and that there are no adverse ground conditions.  
Prior to commencing works the contractor must verify with the client that no underpinning of the property has been carried out and that no structural survey has been undertaken reporting that structural and/or ground problems exist.

— Prior to commencing works the contractor must obtain verification from the client or his legal adviser that no restrictive covenants exist or that any "right of light" will not be infringed and if so that reasonable steps have been taken by the client to comply with them.  
Prior to commencing works the contractor must have sight of the Planning and Building Regulations approval and must note any conditions thereon, in particular, the Planning Consent will require samples of the facing materials to be submitted to the Planning Authority for their written approval prior to installation on site.  
All materials and workmanship to comply with the current Building Regulations and all relevant British Standards and Codes of Practice.  
—



Pu architect  
—  
25 Villiers Road  
London  
WD19 4AG  
United Kingdom  
—

pu@puarchitect.com  
www.puarchitect.com  
+44 (0) 7858 809 627  
—

71 Avenue Road  
London  
NW8 6HP  
address\_—  
Mr Meir N N Gareh  
client\_—

19.07.19  
date\_—  
**P\_19\_245**  
project no\_—

**Side Elevation**  
Existing  
drawing title\_—  
  
1:100 A3  
scale\_—  
**Planning**  
status\_—  
**P021 Rev\_H**  
drawing no\_—



**REAR  
ELEVATION**  
SCALE 1:100

Please Note (1) All drawings and designs are covered by design right (intellectual property), and may not be distributed, copied or issue without written permission of Pu architect. (2) All design concepts are the sole property of Pu architect and no adaptations, reproductions or copies may be made without written permission of Pu architect. (3) All dimensions to be checked on site, any discrepancy between this drawing and other information is to be referred to Pu architect. (4) All dimensions in millimeters unless otherwise noted. (5) Do not use for construction unless approved by Pu architect.—

Dimensions stated are for guidance only, contractor to verify all boundary positions and dimensions on site prior to commencing any works, making workshop drawings or obtaining any materials.  
No site supervision is implied or undertaken unless otherwise separately arranged.  
The drawing does not indicate the extent of any excavation works and the contractor is to determine this prior to submitting a quotation for the works or commencing any works.  
The drawing does not indicate or imply the structural condition of the property, the survey carried out was a "measure survey" for assistance in the preparation of details for Planning and Building Regulations purposes only. The details shown assume that the property is in sound condition and that there are no adverse ground conditions.  
Prior to commencing works the contractor must verify with the client that no underpinning of the property has been carried out and that no structural survey has been undertaken reporting that structural and/or ground problems exist.

— Prior to commencing works the contractor must obtain verification from the client or his legal adviser that no restrictive covenants exist or that any "right of light" will not be infringed and if so that reasonable steps have been taken by the client to comply with them.  
Prior to commencing works the contractor must have sight of the Planning and Building Regulations approval and must note any conditions thereon, in particular, the Planning Consent will require samples of the facing materials to be submitted to the Planning Authority for their written approval prior to installation on site.  
All materials and workmanship to comply with the current Building Regulations and all relevant British Standards and Codes of Practice.  
—



Pu architect  
—  
25 Villiers Road  
London  
WD19 4AG  
United Kingdom  
—

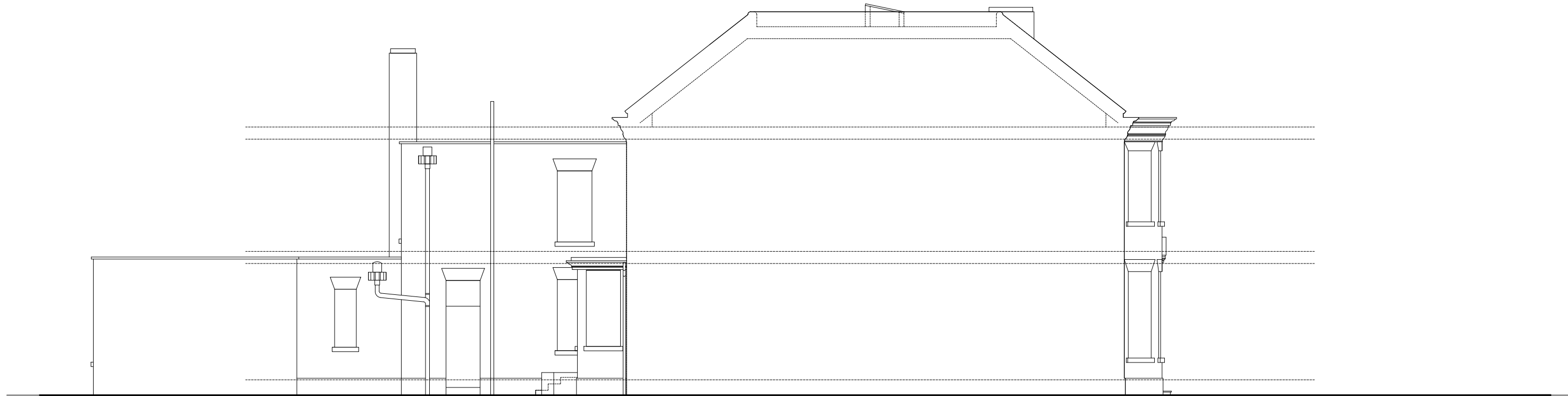
pu@puarchitect.com  
www.puarchitect.com  
+44 (0) 7858 809 627  
—

71 Avenue Road  
London  
NW8 6HP  
address\_—  
Mr Meir N N Gareh  
client\_—

19.07.19  
date\_—  
**P\_19\_245**  
project no\_—

**Rear Elevation**  
**Existing**  
drawing title\_—

1:100 A3  
scale\_—  
**Planning**  
status\_—  
**P022** Rev\_1  
drawing no\_—



**SIDE  
ELEVATION**  
SCALE 1:100

Please Note (1) All drawings and designs are covered by design right (intellectual property), and may not be distributed, copied or issue without written permission of Pu architect. (2) All design concepts are the sole property of Pu architect and no adaptations, reproductions or copies may be made without written permission of Pu architect. (3) All dimensions to be checked on site, any discrepancy between this drawing and other information is to be referred to Pu architect. (4) All dimensions in millimeters unless otherwise noted. (5) Do not use for construction unless approved by Pu architect.—

Dimensions stated are for guidance only, contractor to verify all boundary positions and dimensions on site prior to commencing any works, making workshop drawings or obtaining any materials.  
No site supervision is implied or undertaken unless otherwise separately arranged.  
The drawing does not indicate the extent of any excavation works and the contractor is to determine this prior to submitting a quotation for the works or commencing any works.  
The drawing does not indicate or imply the structural condition of the property, the survey carried out was a "measure survey" for assistance in the preparation of details for Planning and Building Regulations purposes only. The details shown assume that the property is in sound condition and that there are no adverse ground conditions.  
Prior to commencing works the contractor must verify with the client that no underpinning of the property has been carried out and that no structural survey has been undertaken reporting that structural and/or ground problems exist.

— Prior to commencing works the contractor must obtain verification from the client or his legal adviser that no restrictive covenants exist or that any "right of light" will not be infringed and if so that reasonable steps have been taken by the client to comply with them.  
Prior to commencing works the contractor must have sight of the Planning and Building Regulations approval and must note any conditions thereon, in particular, the Planning Consent will require samples of the facing materials to be submitted to the Planning Authority for their written approval prior to installation on site.  
All materials and workmanship to comply with the current Building Regulations and all relevant British Standards and Codes of Practice.  
—



Pu architect  
—  
25 Villiers Road  
London  
WD19 4AG  
United Kingdom  
—

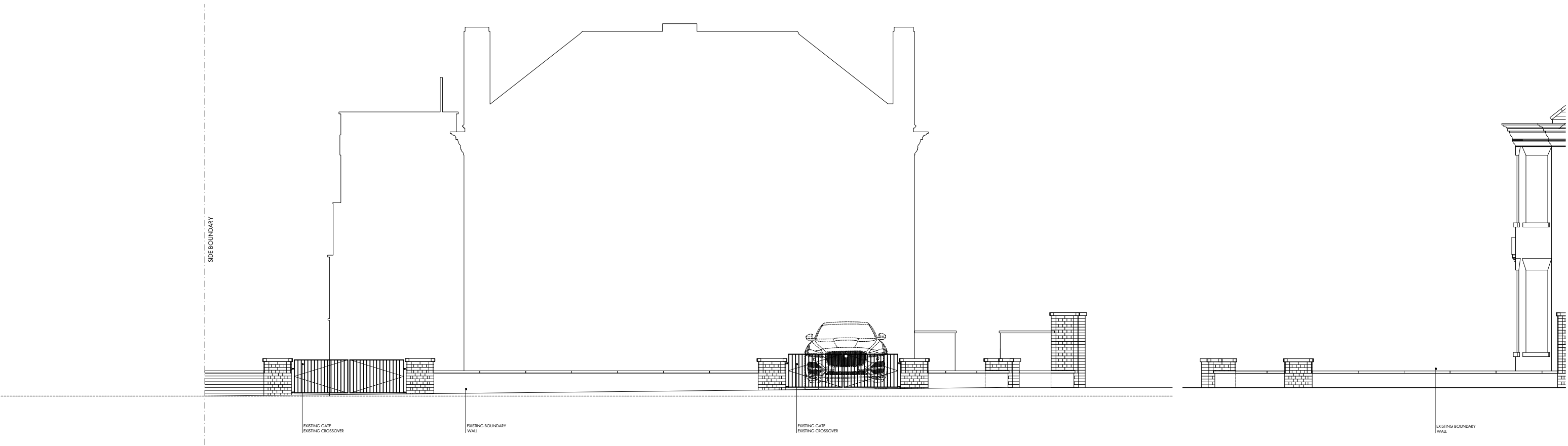
pu@puarchitect.com  
www.puarchitect.com  
+44 (0) 7858 809 627  
—

71 Avenue Road  
London  
NW8 6HP  
address\_—  
Mr Meir N N Gareh  
client\_—

19.07.19  
date\_—  
**P\_19\_245**  
project no\_—

**Side Elevation**  
Existing  
drawing title\_—  
  
1:100 A3  
scale\_—  
**Planning**  
status\_—  
**P023** Rev\_ **H**  
drawing no\_—





STREET ELEVATION  
AVENUE ROAD  
SCALE 1:200

STREET ELEVATION  
QUEEN'S GROVE  
SCALE 1:200



STREET ELEVATION  
QUEEN'S GROVE  
SCALE 1:200

Please Note (1) All drawings and designs are covered by design right (intellectual property), and may not be distributed, copied or issue without written permission of Pu architect. (2) All design concepts are the sole property of Pu architect and no adaptations, reproductions or copies may be made without written permission of Pu architect. (3) All dimensions to be checked on site, any discrepancy between this drawing and other information is to be referred to Pu architect. (4) All dimensions in millimeters unless otherwise noted. (5) Do not use for construction unless approved by Pu architect.—

Dimensions stated are for guidance only, contractor to verify all boundary positions and dimensions on site prior to commencing any works, making workshop drawings or obtaining any materials.  
No site supervision is implied or undertaken unless otherwise separately arranged.  
The drawing does not indicate the extent of any excavation works and the contractor is to determine this prior to submitting a quotation for the works or commencing any works.  
The drawing does not indicate or imply the structural condition of the property, the survey carried out was a "measure survey" for assistance in the preparation of details for Planning and Building Regulations purposes only. The details shown assume that the property is in sound condition and that there are no adverse ground conditions.  
Prior to commencing works the contractor must verify with the client that no underpinning of the property has been carried out and that no structural survey has been undertaken reporting that structural and/or ground problems exist.

— Prior to commencing works the contractor must obtain verification from the client or his legal adviser that no restrictive covenants exist or that any "right of light" will not be infringed and if so that reasonable steps have been taken by the client to comply with them.  
Prior to commencing works the contractor must have sight of the Planning and Building Regulations approval and must note any conditions thereon, in particular, the Planning Consent will require samples of the facing materials to be submitted to the Planning Authority for their written approval prior to installation on site.  
All materials and workmanship to comply with the current Building Regulations and all relevant British Standards and Codes of Practice.  
—



Pu architect  
—  
25 Villiers Road  
London  
WD19 4AG  
United Kingdom  
—

pu@puarchitect.com  
www.puarchitect.com  
+44 (0) 7858 809 627  
—

71 Avenue Road  
London  
NW8 6HP  
address,  
Mr Meir N N Gareh  
client,  
—

19.07.19  
date,  
P\_19\_245  
project no.,  
—

<b>Boundary - Street Elevation</b>	
Existing	
drawing title,	
1:100 A3	
scale,	
Planning	
status,	
P040 Rev_	
drawing no.,	