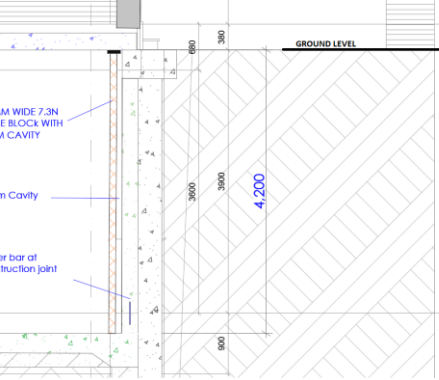


# BUILDER DOCUMENTATION COMMENT RESPONSE SHEET (BDCRS)



Document Number 03RZS2303 STAGE: 03 COMMENTED BY: CAMPBELL REITH  
 Document Title: Structural Report Date: 08/08/23 RESPONSE BY: ADKINS CONSULTANTS

Item	Section / Page	Document Reviewer Comments	Document Originator Response	Response By	Date dd-mm-yyyy	Comment (Closed / Open)	Response Accepted by CRS Originator / Date
	4.3 / 11	<p>The proposal involves the complete demolition of the existing property to enable the construction of new dwelling with three storeys and a basement covering the entire building footprint. The original depth of the basement was indicated to be 3.60m below ground level (bgl); however the newly submitted BIA indicates the basement level will be at 6.20m bgl and the full depth of the basement cannot be ascertained from architectural drawings. The structural report indicates the basement will be c. 4.20m bgl and that there will be a localised deeper basement area where a pool is proposed. Clarification is required and the basement depth and extent should be clearly indicated on the drawings (which should be scaled) and adopted consistently in the BIA and structural report.</p>	 <p>So, it's not 3.6 m from ground level. It is 3.9 m. 3.6 m is floor to ceiling height of the basement. Again 3.9m is FFL so, structurally we designed the slab 300mm below the FFL to leave space for insulation or void (subject to architectural detail). Therefore, structurally TOC is 4.2 BGL. Similarly, the Poolside is 1.5m down than this and hence the TOC at the pool area is 5.7m BGL.</p> <p>Structural reference - AR-A-ZS-06,07 &amp; 08 &amp; Structural report Section B Page 20 REV B</p> <p>Recommendation: The architect to show structural and architectural limits. The structural limit for the raft is 300mm below architectural FFL.</p>	Response by Adkins to be verified by Architect	08/08/23	OPEN	
	4.11 / 12	<p>A Structural Report is presented which indicates the basement excavation will be facilitated by the installation of a contiguous piled retaining wall. The reinforced concrete basement slab will act as a raft foundation and, together with the piled retaining wall, will take the loads of the proposed structure. The report mentions the need of bracing/props to support the retaining wall during the excavation, however states that temporary design will be</p>	<p>It is already mentioned in the structural report REV A section "I" on page 37 table.</p>	Response by Adkins	08/08/23	OPEN	

		responsibility of the temporary works contractor. The length of the embedded retaining wall is not indicated. Waterproofing and groundwater ingress mitigation measures are presented					
	4.14 / 12	The GMA describes the basement construction as comprising underpinning and secant piled embedded retaining walls which does not accord with the Structural Calculations report. Clarification on the following items is also required:	GMA	Response to GMA	08/08/23	OPEN	
	4.14 / 12	Embedded piled retaining wall depth is assumed to be 10m bgl. As the basement excavation will be c. 6.20m bgl (to be confirmed) and the embedded retaining wall is taking structural loads in the long term, outline calculations are required to support assumptions regarding the pile length.	Structural Report REV B Appendix A Page 90 includes the preliminary calculation for the pile with 100kN. It's a preliminary calculation. This needs to be reassessed by the piling specialist.	Response by Adkins	08/08/23	OPEN	
	4.14 / 12	The GMA states that any party wall (to No. 69 Avenue Road?) has not been included in the analysis. At this stage, all the walls within the zone of influence of the basement should be analyzed and an expected category of damage should be provided. A plan showing the geometry of neighboring walls in relation to the basement is required.		Response to GMA	08/08/23	OPEN	
	4.15 / 13	The section on structural monitoring presented in the BIA (7.5) indicates that some neighboring structures may experience damage within Category 2 of the Burland Scale. This cannot be accepted and requires further clarification	I thought after we had a meeting, we eliminated category 2 damage. The explanation was that the neighboring property is undergoing basement construction and they have got permission.	Response by Adkins	08/08/23	OPEN	
1.	5.2 / 14	Clarification on the proposed basement excavation depth is required. It should also be confirmed whether the property is detached or semi-detached and the BIA updated as necessary. Architectural drawings should be amended to show basement depth in all the sections presented and documents to be updated to be consistent.	"The property in question is classified as a detached property. In terms of its structural configuration, the upper surface of the raft foundation stands at an elevation of -4.2 meters, except for the swimming pool area where the elevation is -5.7 meters from BGL. It is important to note that after accounting for a general concrete thickness of 300mm and 500mm for drops along with 200 road-base, the adjusted elevations would be -4.7 & -4.9 meters for the general area and -6.2 & -6.4 meters for the swimming pool area. Therefore, the maximum excavation depth is 6.4m. These adjustments are subject to confirmation through an architectural verification process to ensure accuracy and adherence to the proposed design."	by Architect	08/08/23	Open	
2.	5.6/14	A Structural Report has been provided. Clarification on the estimated depth of the piled retaining wall is required.	Structural Report REV B Appendix A Page 90 includes the preliminary calculation for the pile with 100kN. It's a preliminary calculation. This needs to be reassessed by the piling contractor.	Response by Adkins	08/08/23	Open	
4.	5.8/14	The section on structural monitoring presented in the BIA indicates the presence of walls within Category 2 of the Burland Scale. This cannot be accepted ad require further clarification.		Response to GMA	08/08/23	Open	
5.							
6.							
7.							
8.							
9.							
10.							
11.							
12.							

VCRS Originator gives document code (from Code 1 to Code 4):

Document Code: ...1.....

Code 1 Work may proceed

Code 2 Revise and resubmit. Work may proceed subject to resolution of indicate comments

Code 3 Revise and resubmit. Work may not proceed

Code 4 Review not required or for information

**Notes:**

- **One VCRS per document**
- **Comments on drawings' hard copy to be attached with the VCRS**

Any print of this document is an uncontrolled copy

Page 1 of 1