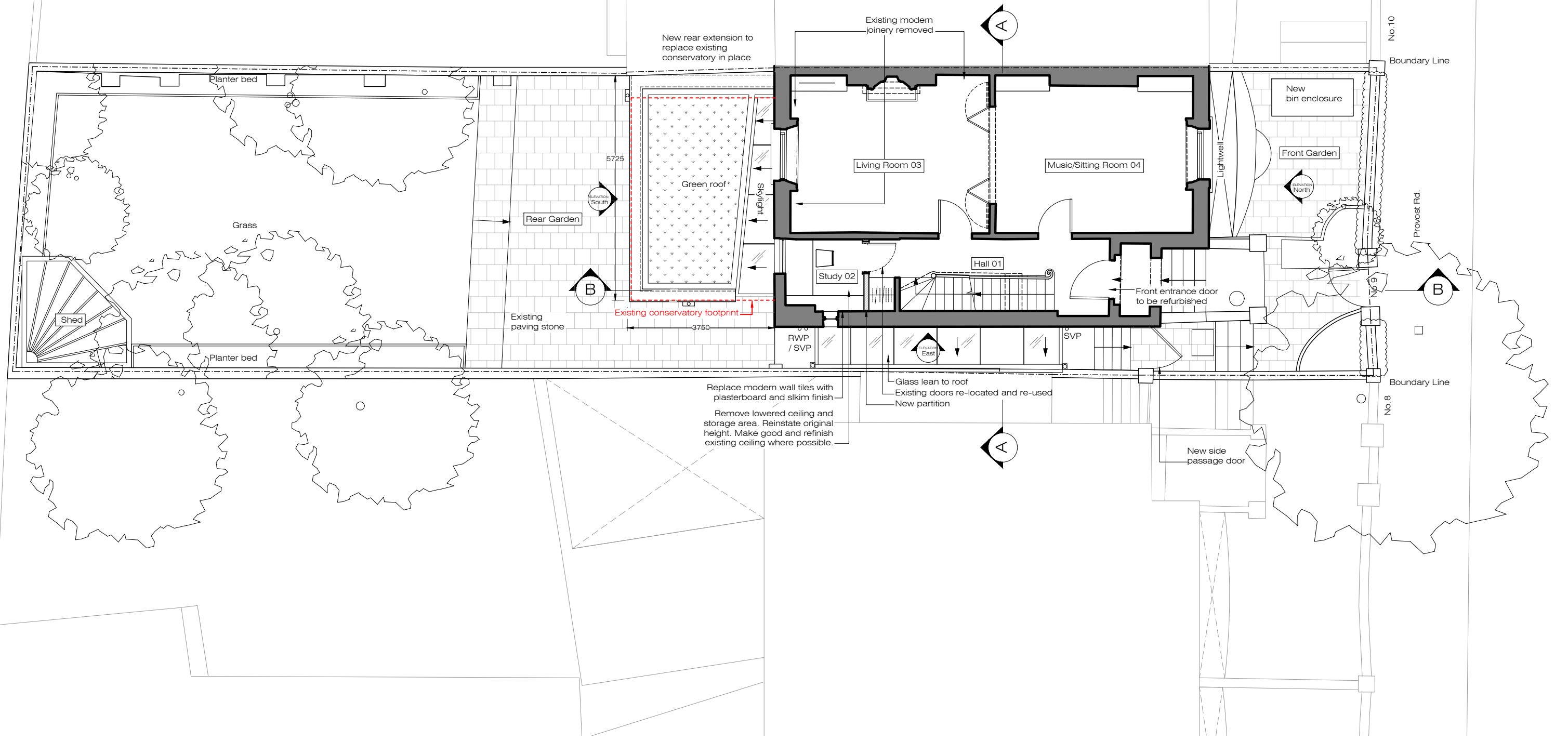
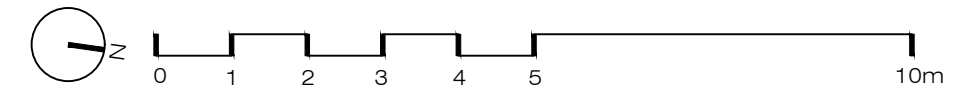


- Notes:
- All internal doors to be refurbished and re-used. New doors are to match existing detailing. Refer to door details.
 - All existing windows to rear and side elevation and front elevation second floor to be replaced with double glazed painted timber windows to match like for like the existing windows
 - For proposed work to existing floors and floor build-ups types refer to drawing AD-08, to be read in conjunction with this floor plan.



X PROPOSED
Site and Upper Ground Floor Plan 1:100@A3

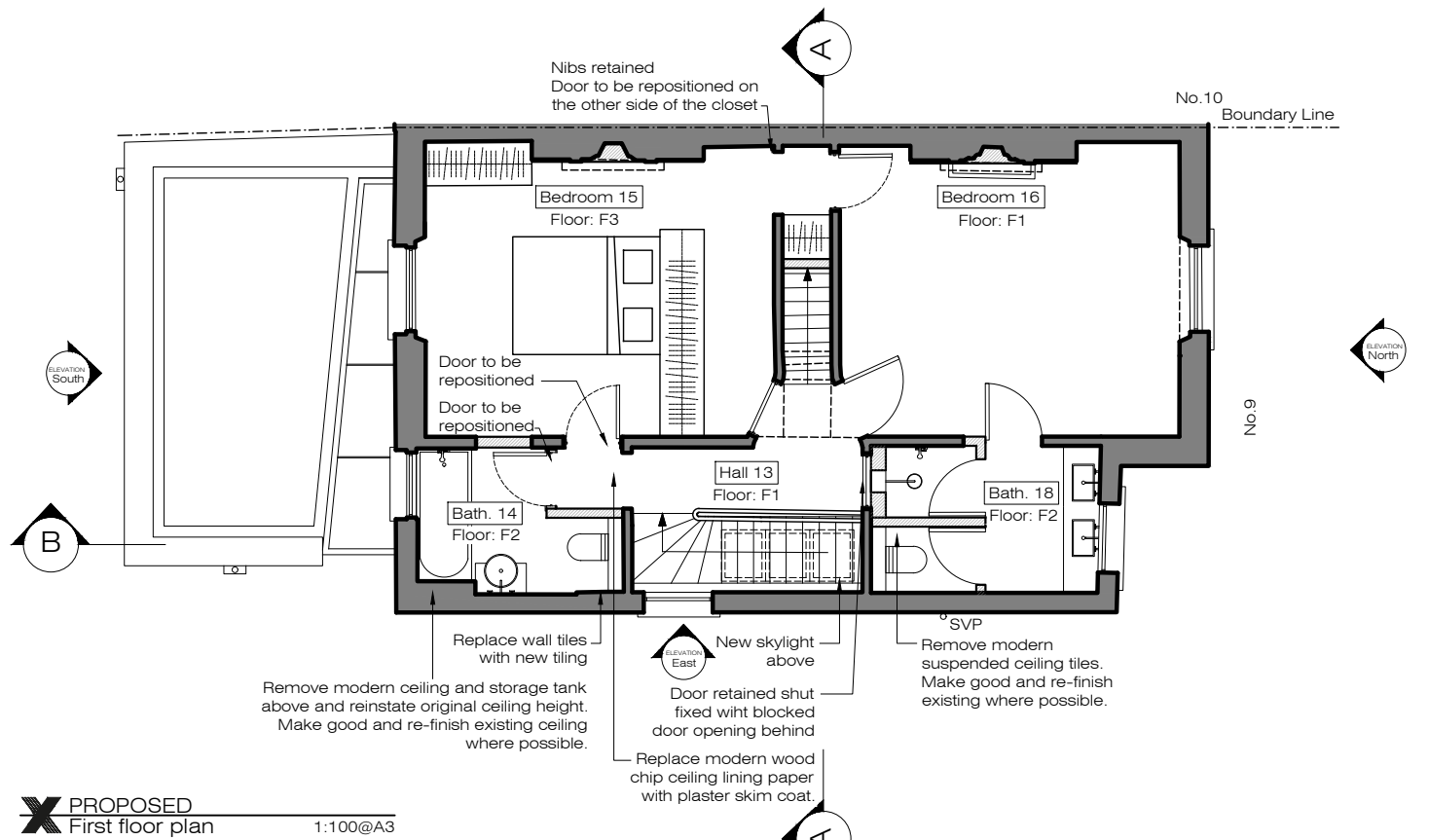


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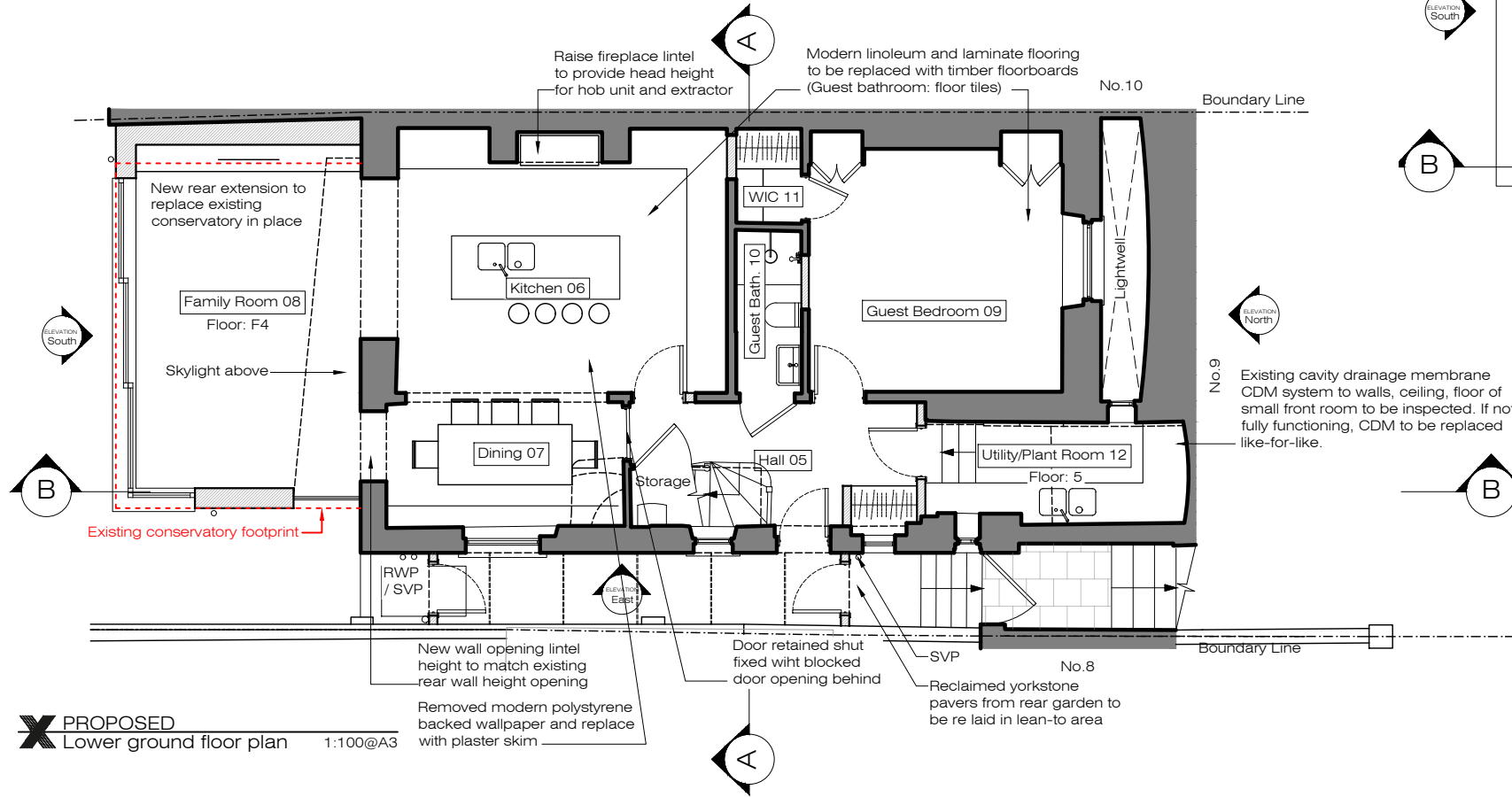
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 - All drawings to be approved by XUL Architecture prior to construction.

ADDITIONAL NOTE:

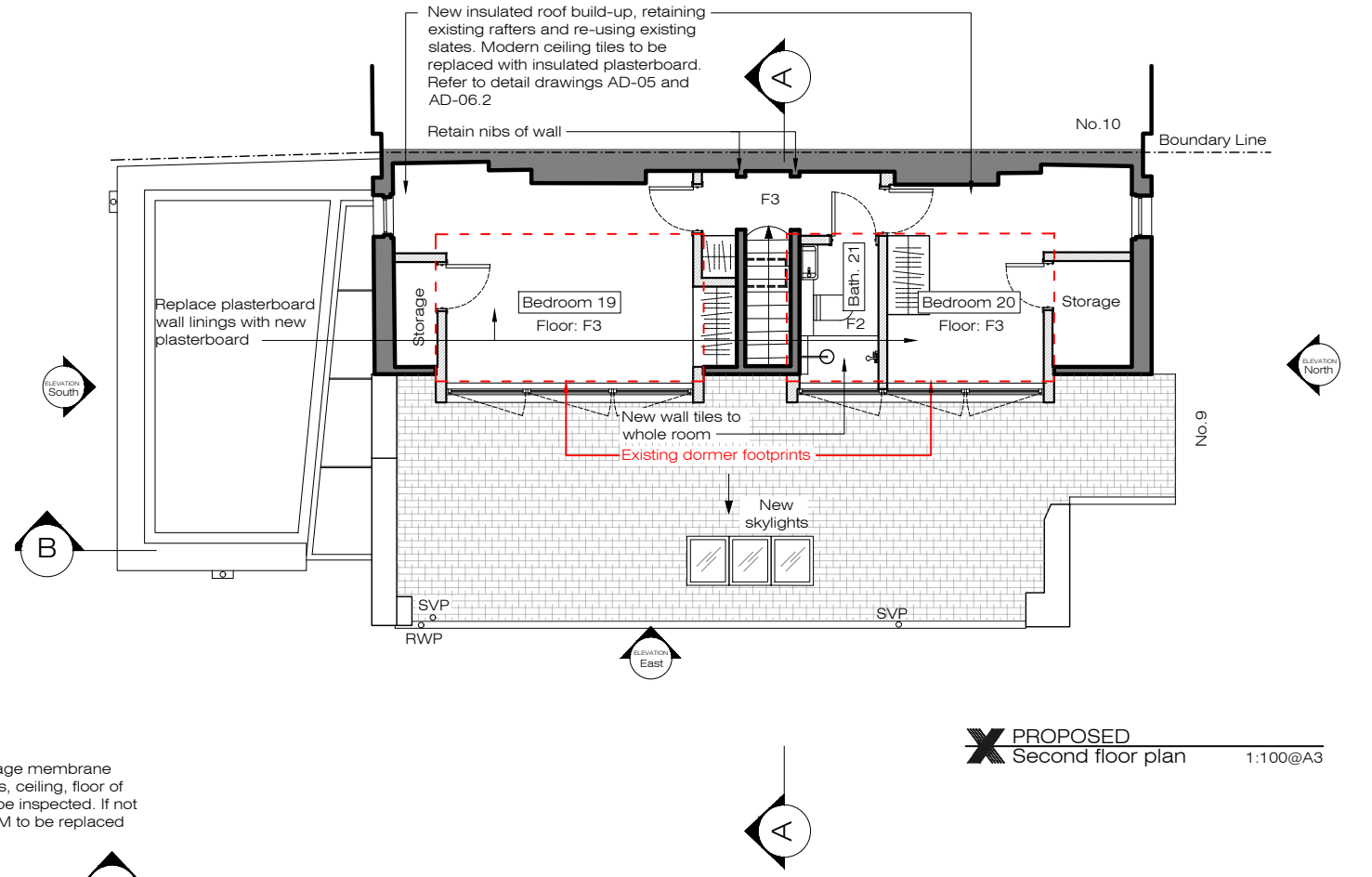
Issue key: Information (I) Planning (P) Tender (T) Construction (C) As Built (B)	Project Address 9 Provost Rd, NW3 4ST		Issue For: PLANNING
	Scale	1:100@A3	PROPOSED
	Rev. Date	03.09.23	Site and Upper Ground Floor Plan
	Drawn	TP	Dwg. No. PA-01 Rev. P-01
	Checked	IW	Project Number 23066



X PROPOSED
First floor plan 1:100@A3



X PROPOSED
Lower ground floor plan 1:100@A3



X PROPOSED
Second floor plan 1:100@A3

- Notes:
- All internal doors to be refurbished and re-used. New doors are to match existing detailing. Refer to door details.
 - All existing windows to rear and side elevation and front elevation second floor to be replaced with double glazed painted timber windows to match like for like the existing windows
 - For proposed work to existing floors and floor build-ups types refer to drawing AD-08, to be read in conjunction with this floor plan.
 - For floor type F5 refer to drawing AD-01

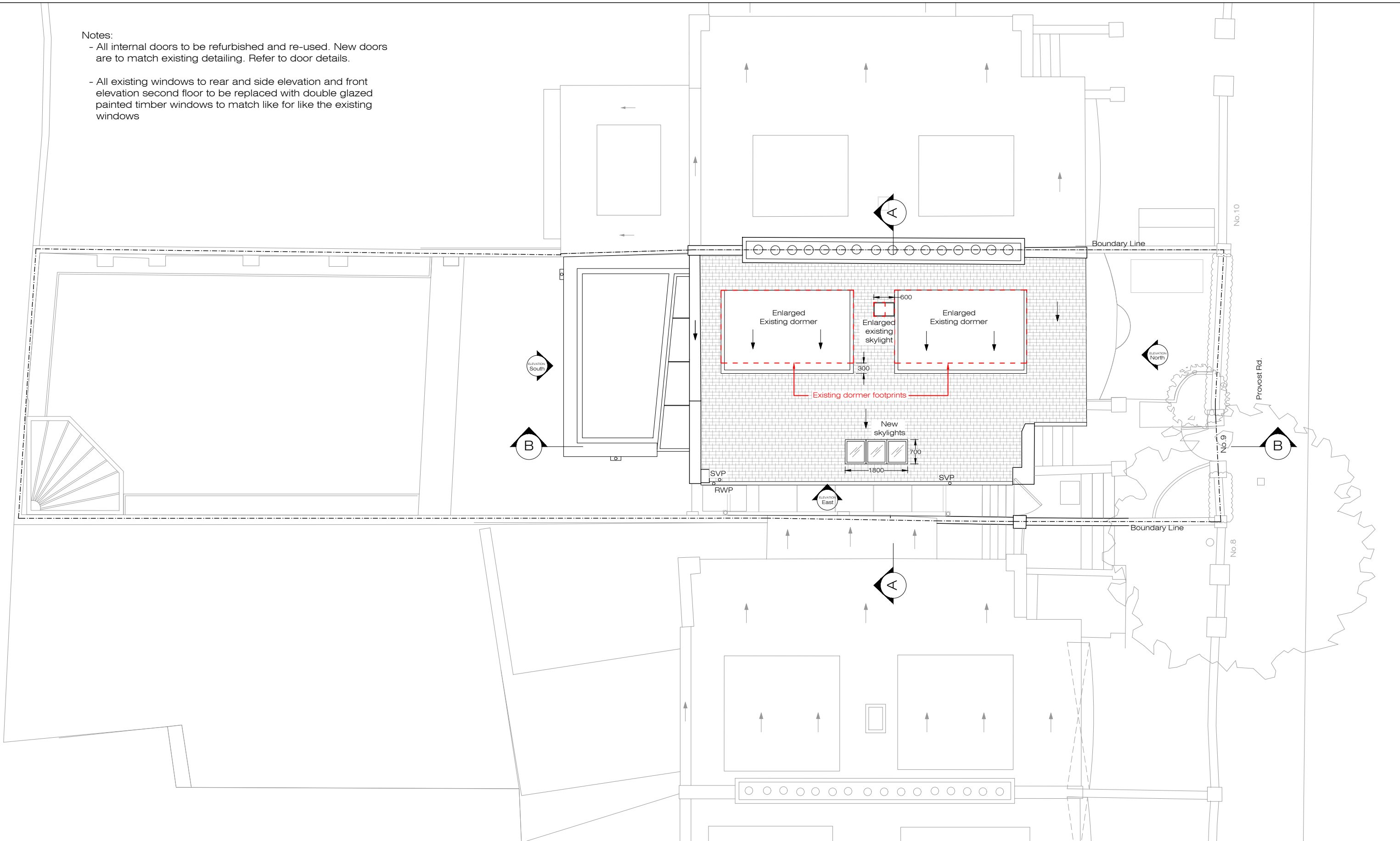


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ADDITIONAL NOTE:	Issue key: Information (I) Planning (P) Tender (T) Construction (C) As Built (B)	Project Address 9 Provost Rd, NW3 4ST	Issue For: PLANNING
		Scale 1:100@A3	PROPOSED
		Rev. Date 03.09.23	Floor Plans
		Drawn TP	Dwg. No. PA-02 Rev. P-01
		Checked IW	Project Number 23066

- Notes:
- All internal doors to be refurbished and re-used. New doors are to match existing detailing. Refer to door details.
 - All existing windows to rear and side elevation and front elevation second floor to be replaced with double glazed painted timber windows to match like for like the existing windows



X PROPOSED
Roof plan
1:100@A3



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ADDITIONAL NOTE:

Issue key:

- Information (I)
- Planning (P)
- Tender (T)
- Construction (C)
- As Built (B)

Project Address
9 Provost Rd, NW3 4ST

Scale 1:100@A3 PROPOSED

Rev. Date 03.09.23 Roof Plan

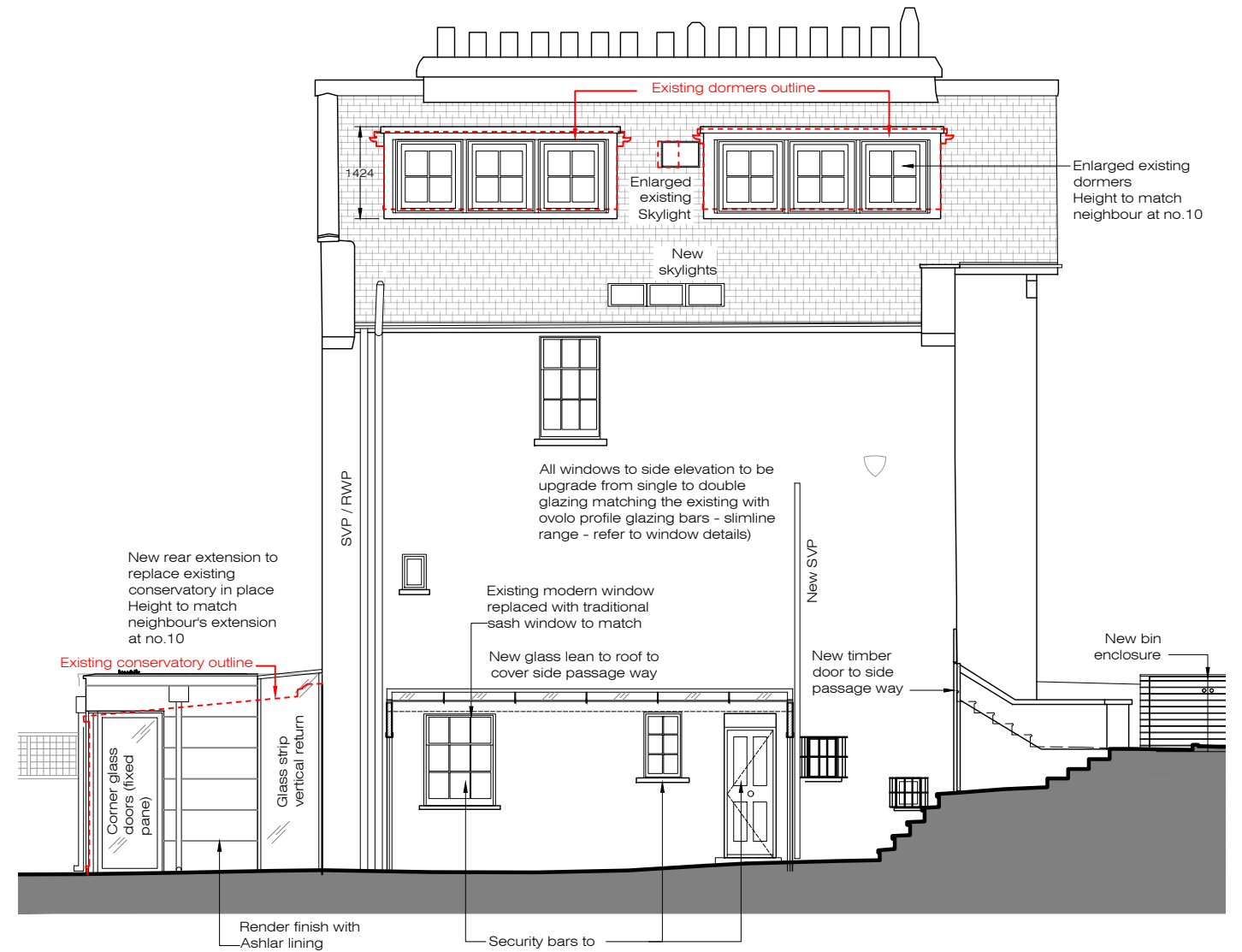
Drawn TP Dwg. No. PA-03 Rev. P-01

Checked IW Project Number 23066

Issue For:
PLANNING



X PROPOSED
North Elevation (Front) 1:100@A3

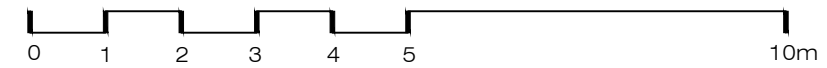



X PROPOSED
East Elevation (Side) 1:100@A3

Notes:
 - All internal doors to be refurbished and re-used. New doors are to match existing detailing. Refer to door details.
 - All existing windows to rear and side elevation and front elevation second floor to be replaced with double glazed painted timber windows to match like for like the existing windows

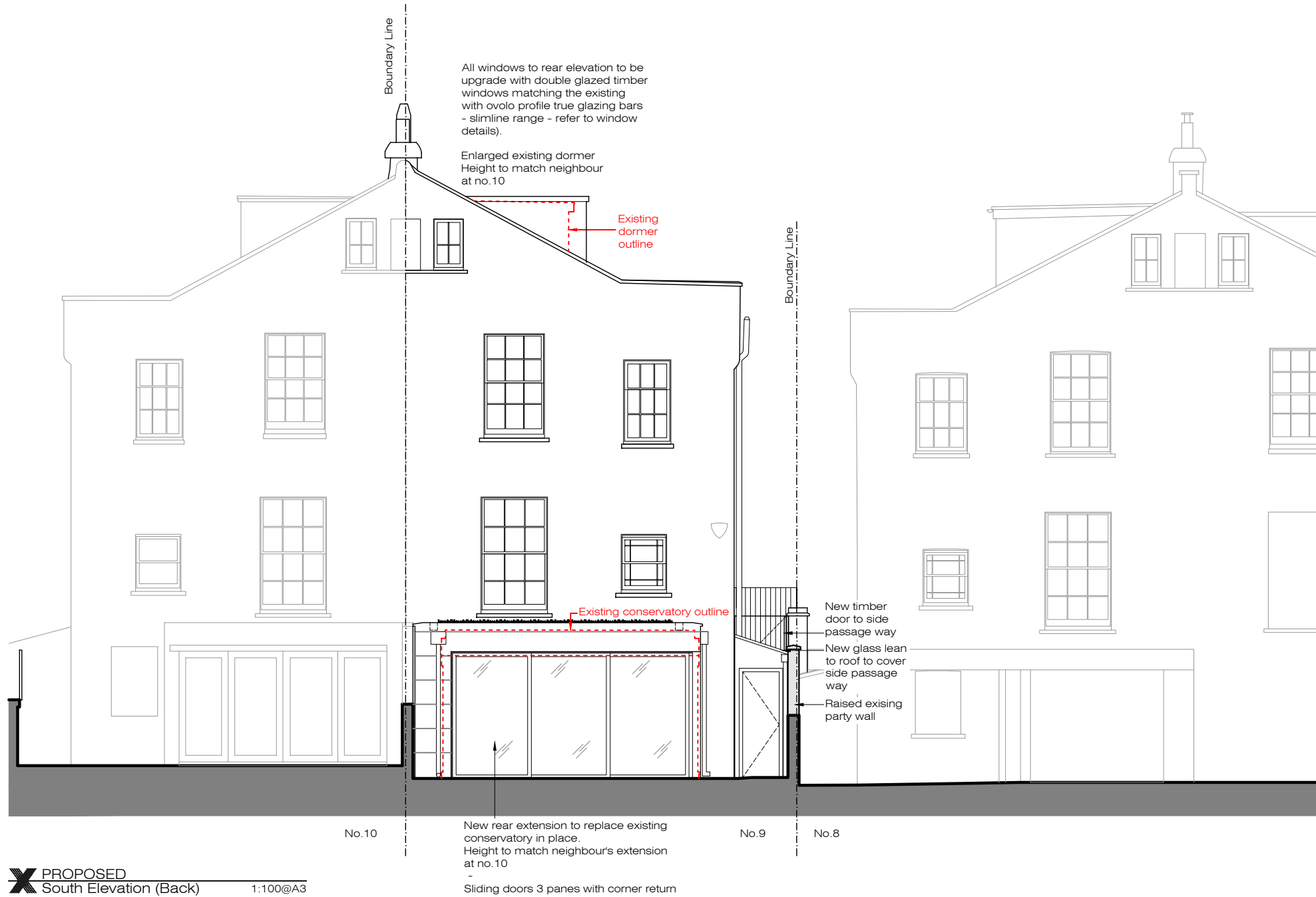


X PROPOSED
North Elevation (Front) - Street view 1:100@A3

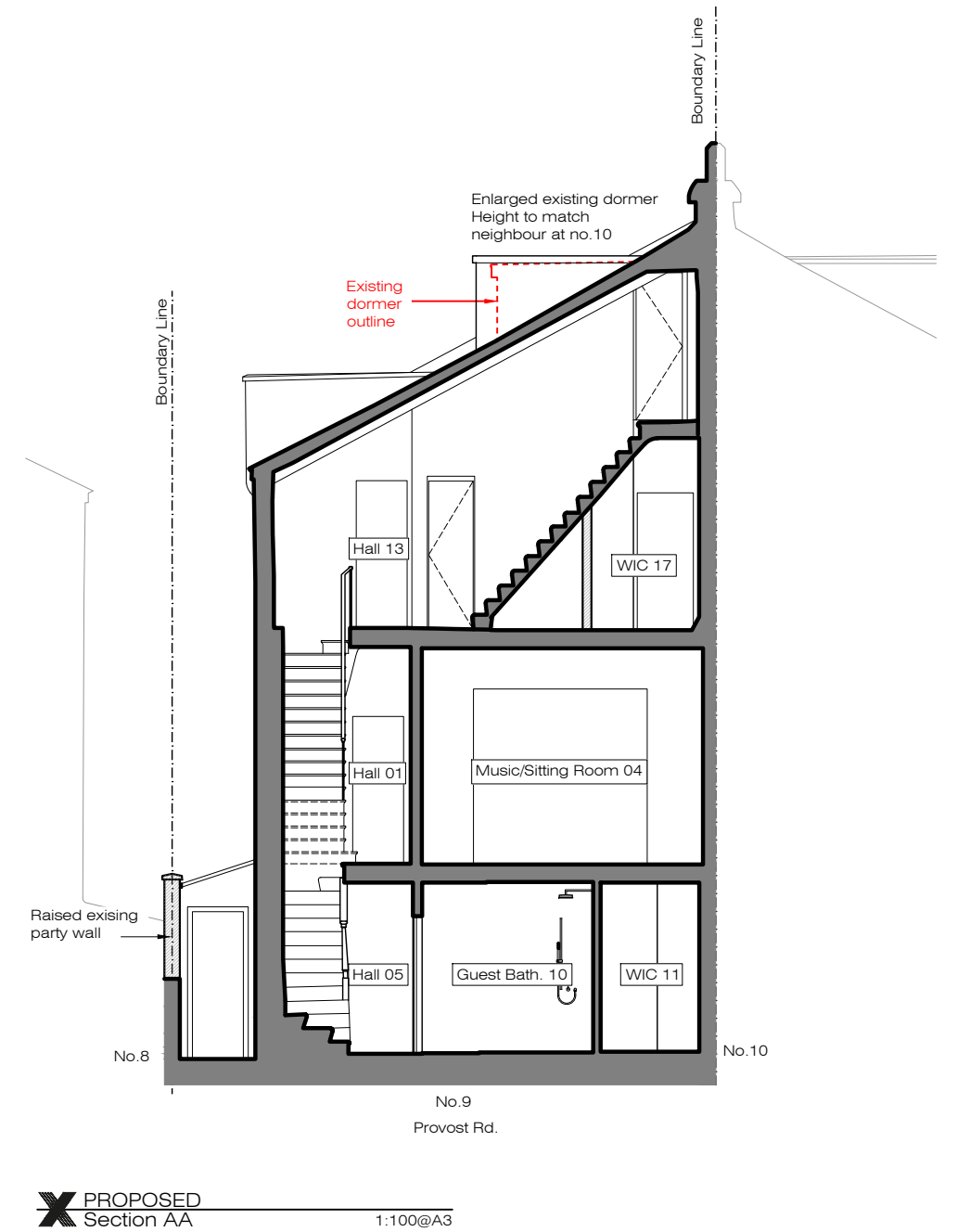


 <p>Ground Floor Office 33 Beisize Lane London NW3 5AS Office: +44 (0) 207 431 9014 info@xularchitecture.co.uk www.xularchitecture.co.uk</p>	PLEASE NOTE:			ADDITIONAL NOTE:			Issue key:		Project Address		Issue For:			
	1. All dimensions to be checked on site before fabrication. 2. Contractor to refer to engineers drawings before proceeding with works. 3. All drawings and designs are covered by design right (intellectual property), and may not be distributed, copied or issued without written permission by the Architect.			4. All design concepts are the sole property of the Architect and no adaptations, reproductions or copies may be made without written permission of the Architect. 5. These drawings are subject to any variation required or recommendation by any statutory authority, or for the better carrying out of the works.			6. Samples to be provided by contractor for XUL Architecture's approval. 7. All finishes to XUL Architecture's satisfaction. 8. All drawings to be approved by XUL Architecture prior to construction.		Information (I) Planning (P) Tender (T) Construction (C) As Built (B)		9 Provost Rd, NW3 4ST Scale 1:100@A3 Rev. Date 03.09.23		PLANNING PROPOSED Elevations	
									Drawn TP Checked IW		Dwg. No. PA-04 Project Number 23066		Rev. P-01	

- Notes:
- All internal doors to be refurbished and re-used. New doors are to match existing detailing. Refer to door details.
 - All existing windows to rear and side elevation and front elevation second floor to be replaced with double glazed painted timber windows to match like for like the existing windows



X PROPOSED South Elevation (Back) 1:100@A3



X PROPOSED Section AA 1:100@A3



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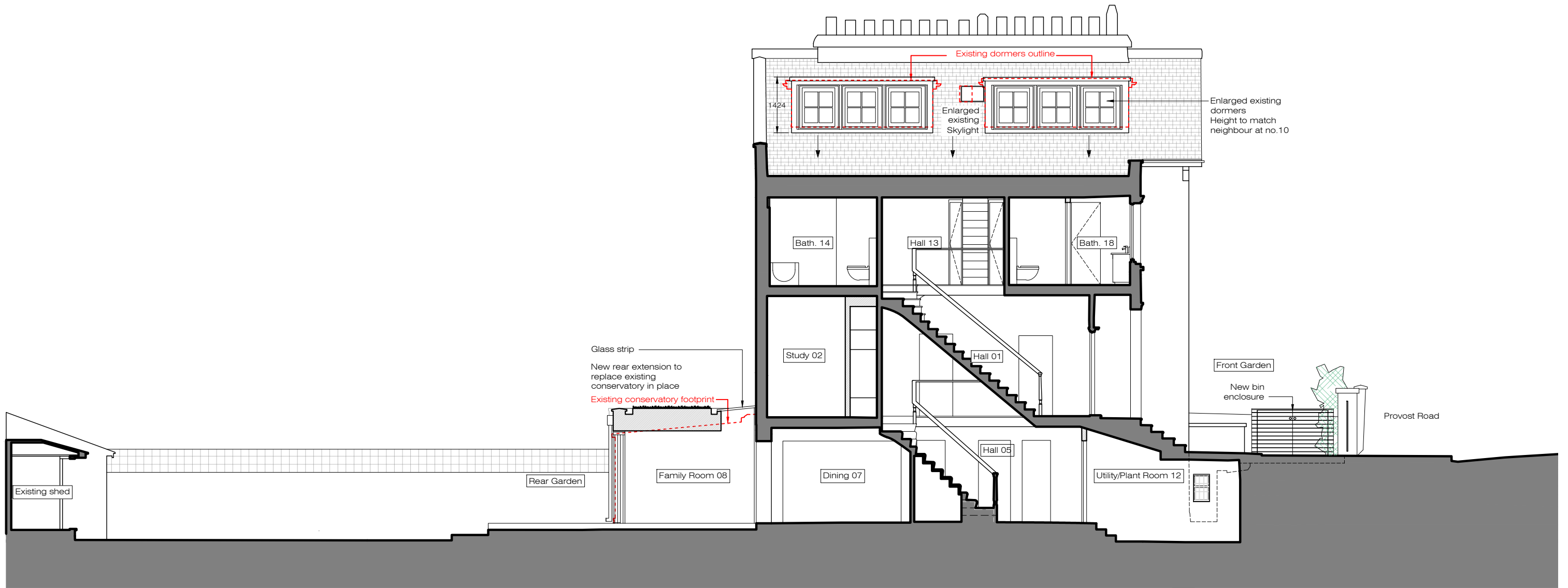
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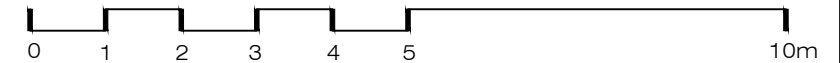
ADDITIONAL NOTE:

Issue key:	Project Address	Issue For:
Information (I)	9 Provost Rd, NW3 4ST	PLANNING
Planning (P)	Scale 1:100@A3	PROPOSED
Tender (T)	Rev. Date 03.09.23	Elevation & Section
Construction (C)	Drawn TP	Dwg. No. PA-05 Rev. P-01
As Built (B)	Checked IW	Project Number 23066

- Notes:
- All internal doors to be refurbished and re-used. New doors are to match existing detailing. Refer to door details.
 - All existing windows to rear and side elevation and front elevation second floor to be replaced with double glazed painted timber windows to match like for like the existing windows



X PROPOSED
Section BB
1:100@A3



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ADDITIONAL NOTE:

Issue key:

- Information (I)
- Planning (P)
- Tender (T)
- Construction (C)
- As Built (B)

Project Address
9 Provost Rd, NW3 4ST

Scale 1:100@A3 PROPOSED

Rev. Date 03.09.23 Section

Drawn TP Dwg. No. PA-06 Rev. P-01

Checked IW Project Number 23066

Issue For:
PLANNING