

6 September 2023

Rose Todd and Colette Hatton
Planning and Regeneration
2nd Floor
5 Pancras Square
c/o Town Hall
Judd Street
London
WC1H 9JE

Dear Rose and Colette,

University College London nos. 55-59 Gordon Square, London, WC1H 0NU
Listed Building Consent for internal works to nos. 55-59 Gordon Square (Planning Portal reference: PP-12333095)

On behalf of our client, University College London ('UCL' or the 'Applicant'), we hereby submit to the London Borough of Camden (the 'Council') an application for Listed Building Consent for internal works including the reinstatement of an original door at Ground Level; a new partition wall on Level 3; closing off two doors on Level 2 and one door on Level 3; and the refurbishment of tea points at nos. 55-59 Gordon Square. The description of development is:

"Closing off existing internal doors, reinstatement of an original door, a new partition to Level 3 of 55 Gordon Square, services and related works for Tea Points, general refurbishment works; and other associated works at nos. 55-59 Gordon Square."

The Site

The building is Grade II listed (listing reference 1113035) and is located within the Bloomsbury Conservation Area (Sub-area 2). It is located in the wider UCL Bloomsbury Campus on Bedford Way in the London Borough of Camden.

It is bounded to the north by Gordon Square, to the east by Bedford Way, to the southeast by UCL Institute of Education and to the west by Woburn Square. Nearby, are a number of listed buildings, including nos. 47-43 Gordon Square, nos. 10-18 Woburn Square (Grade II) to the west, and 20 Bedford Way (Grade II*) to the southeast.

The proposed works are internal only and consist of light-touch redecoration works to nos. 55-59 Gordon Square.

Pre-application meeting

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A pre-application meeting was held on 8 February 2022, with Conservation Officer Antonia Powell in which the proposed works were discussed. This was followed up by an email exchange in May 2023 with Conservation Officer Colette Hatton setting out the works in more detail. In an email dated 24 May 2023, Colette Hatton advised that Listed Building Consent would be required for the proposed works to ensure there is a record of the alterations.

Context

This application is part of general redecoration works to nos. 55-59 Gordon Square being carried out to modernise the building and enable its continued use as university offices. As part of the light-touch refurbishment, a number of works require Listed Building Consent, which form this application.

Proposed Development

The proposed works are set out in the following section.

Closing off existing internal doors

It is proposed to close off three internal doors on Floor 2 and one internal door on Floor 3 by locking the door shut, removing the ironmongery and applying an acoustic seal between the leaf and the frame (see Figure 3).

Figures 1 and 2 show the locations of these doors. They currently prevent optimum positioning of workplace furniture within the rooms. The proposed works to shut the doors off but leave them in situ allows them to be reinstated in future and retain their architectural features. Figure 4 shows a photograph of an example doorset that will be sealed. Please refer to drawing ref. 3147-GSP-1012-P3 for more detail.

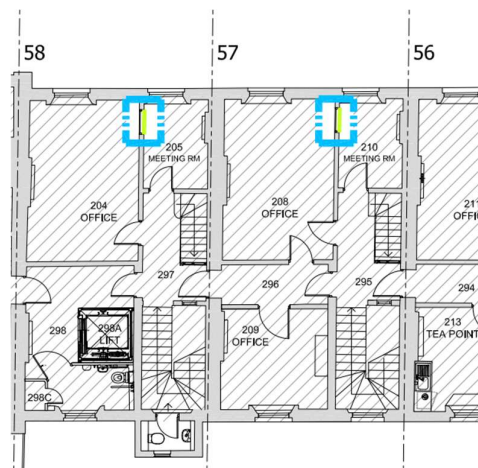


Figure 1 - Second Floor doors, highlighted in green

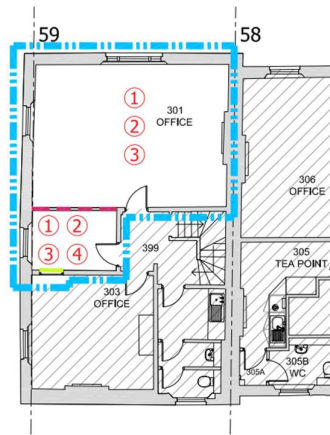


Figure 2 - Third Floor door, highlighted in green

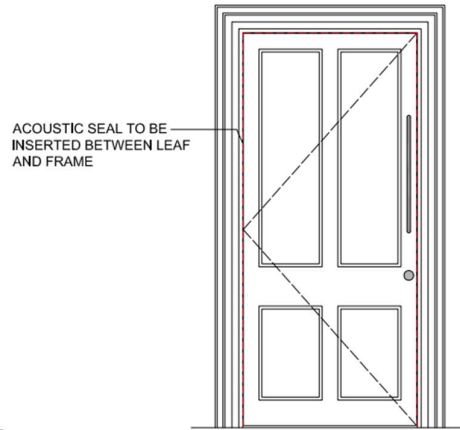


Figure 3 - Acoustic seal to be applied between the leaf and frame



Figure 4 - Photograph of an example doorset to be sealed (Floor 2)

Reinstatement of original door to Room. G-03

It is proposed to reinstate the original door to room G-03, on the Ground Floor, which was previously infilled. The current infilling of the door will be carefully removed to expose the door opening and a new doorset will be installed. It is proposed to install an FD305 doorset, which is a four panel door with vision panels. This matches existing doorsets in the building.

Figure 5 shows the location of this door and Figure 6 shows the current infill that will be removed from the frame. The frame, architrave and panelling will be retained. The radiator to be removed was installed at the time the door was infilled. Please refer to drawing ref. 3147-GSP-1010-P1 for more detail.

Following the removal of the infill, an inspection will be carried out of the condition of the existing leaf and reveal. It may be required to install a new door leaf if not present and for fire protection materials to be installed behind the reveals. In any case, the decoration will match existing architectural details of the door.

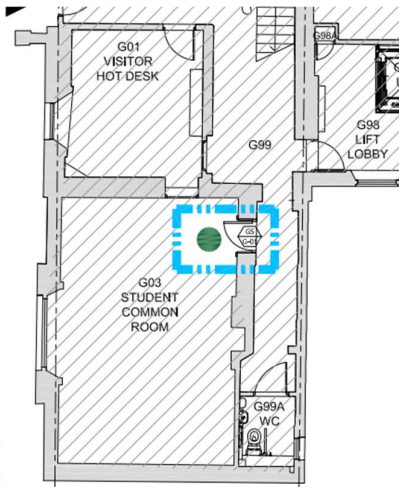


Figure 5 - Door to Rm. G-03 to be reinstated

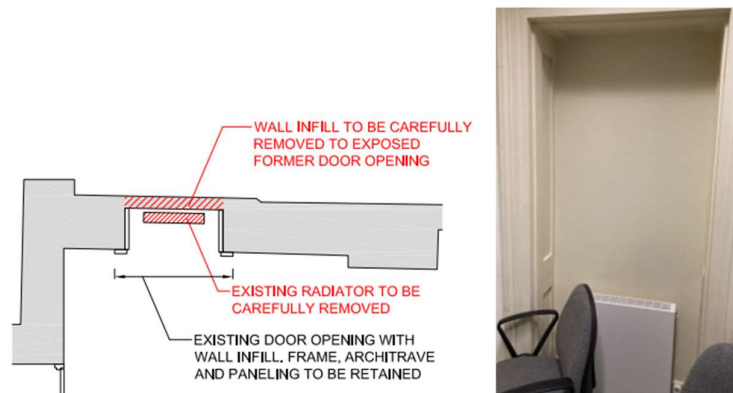


Figure 6 – Wall infill to be removed

New partition to Level 3, 55 Gordon Square

It is proposed to install a new partition wall into room 301 on Level 3. This is likely a reinstatement of a previous partition wall based on the layouts on other floors of the building and other buildings of this type and age. Figure 7 shows a comparison of the layout of Level 2 and Level 3 which suggests that the proposed partition will be a reinstatement of a previous partition.

The partition will be a metal stud and plasterboard partition wall, with the minimum number of fixings used to ensure the stability of the wall. The new partition and skirting will be painted to match the existing room. Figure 8 shows the proposed elevation of the partition wall.

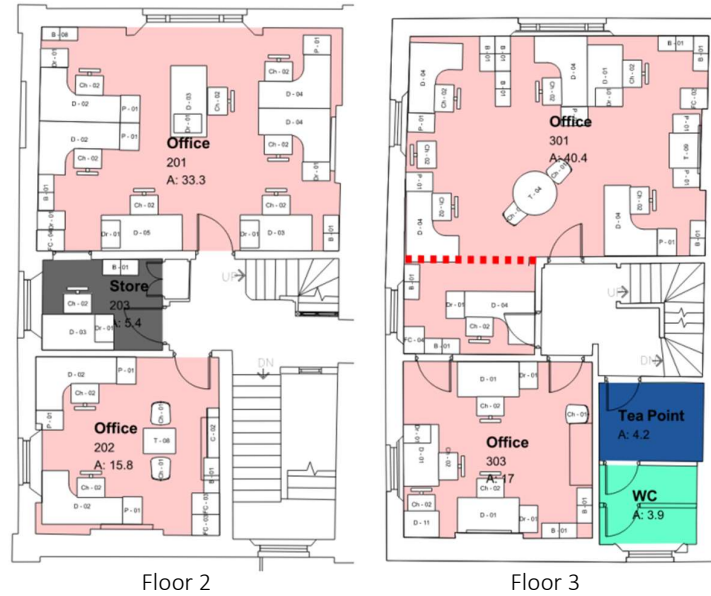


Figure 7 - Comparison of Floor 2 and 3 of 55 Gordon Square with the proposed new partition location indicated as a red dash line

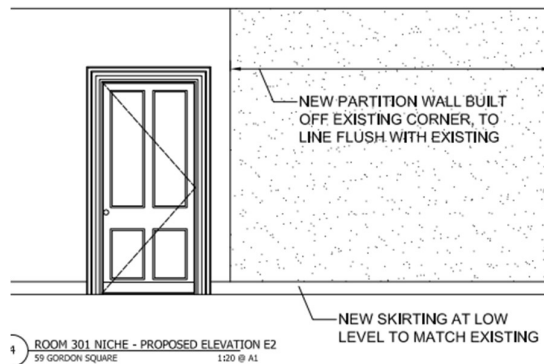


Figure 8 - Proposed elevation of partition wall

Tea Point Refurbishments

It is proposed to replace the existing tea points with new kitchenette and tea points. These tea points are not original features. This will involve replacing the existing cabinets, flooring and splashbacks with new higher quality materials. The proposals will also require amendments to existing services to service new tea points, such as power for new zip taps, surface mounted conduit and outlets.

In order to carry out these refurbishment works to modern fittings, it may require the lifting of floorboards to access services. Floorboards will be carefully lifted, stored safely during works and then put back and made good.

Where new services are required, they will be surface fixed with no fixings into original building fabric. This will enable the services to be removed in the future. Figure 9 shows the locations of the tea point refurbishment works.

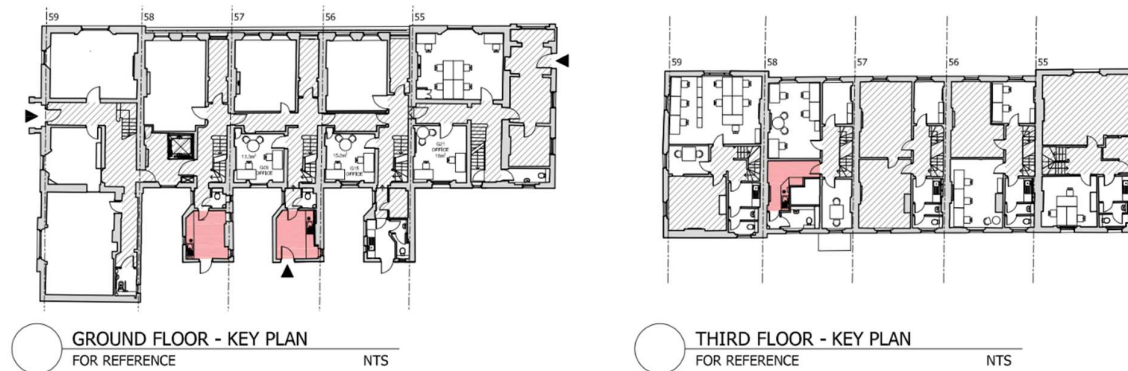


Figure 9 – Location of Tea Points

Planning Policy Considerations

This section of the letter sets out the key planning considerations for the proposal. These are design and heritage.

Given the minor nature of these proposals which will not alter the use, size or energy efficiency of the building, sustainability policies are not relevant and have therefore not been assessed.

Relevant Planning Policy Documents

- National Planning Policy Framework (2021)
- The London Plan (2021)
- Camden Local Plan (2017)

The following documents are material considerations in the assessment of these proposals:

- Bloomsbury Conservation Area Appraisal and Management Strategy (2011)
- Camden Planning Guidance: Design (2019)

The London Borough of Camden has conducted initial engagement on their Draft Local Plan. This consultation sought to identify key issues for the Plan moving forward. Given the early stage in the production of the new Local Plan, the consultation carries limited weight in the decision-making process.

Design and Heritage

The relevant design and conservation policies are as follows:

London Plan Policy HC1 Heritage conservation and growth: states that development proposals impacting heritage assets should be sensitive so as to preserve and enhance their significance, mitigating any potentially harmful effects.

Camden Local Plan Policy D1 Design: seeks to ensure that development proposals meet the highest standards of design, sustainability, respect local context and character, and resist development that would cause harm to any listed building or Conservation Area.

Camden Local Plan Policy D2 Heritage: maintains the need to protect and preserve Camden’s heritage assets through developments of high-quality design that respects the local context and character. It recognises the need to consider the relative weight of public benefits when assessing development proposals which results in substantial harm to listed buildings. It emphasises that the Council will resist any alterations or extensions which would cause harm to the special architectural and historic interest of a listed building.

Applicant Response

The site is located within the Bloomsbury Conservation Area and is Grade II listed. As such, UCL has carefully considered the design of the proposals to ensure it is minimal in scope and has limited impact on the Grade II listed building and Conservation Area.

As the proposed works are internal only, there will be no impact on the character of the Conservation Area or setting of neighbouring listed buildings. The internal works to remove the doors are reversible as they will be boarded up and the original architectural features retained. The proposed partition is likely a reinstatement of an original partition which will restore the building closer to its original form. The proposed reinstatement of the door on ground floor will also restore the building closer to its original form and will reveal original architectural features that were previously concealed.

The proposed tea points replace previous modern additions which have no significance in the context of the listed building. As such, this element of the proposal will not result in any harm to the building. As well as this, the services will be surface mounted, ensuring they can be removed easily without damage to the original building fabric.

The light touch redecoration of the building enhances and preserves it for future use by enabling its continued use as university offices. Overall, the proposed works are considered to comply with the policies outlined.

Application Submission

In addition to this covering letter and policy assessment, this application comprises and is supported by the following documents:

Document Type	Document Reference	Prepared by
Application Forms and Certificates	N/A	Deloitte
Site Location Plan	3147-GSP-0001 P1	Architon LLP
Site Plan	3147-GSP-0002 P1	Architon LLP
Existing Ground Floor Plan	3147-GSP-1001 P4	Architon LLP
Existing First Floor Plan	3147-GSP-1002 P3	Architon LLP
Existing Second Floor Plan	3147-GSP-1003 P4	Architon LLP
Existing Third Floor Plan	3147-GSP-1004 P4	Architon LLP
Existing Fourth Floor Plan	3147-GSP-1005 P2	Architon LLP
Proposed Ground Floor Plan	3147-GSP-1006 P2	Architon LLP
Proposed First Floor Plan	3147-GSP-1007 P1	Architon LLP

Proposed Second Floor Plan	3147-GSP-1008 P1	Architon LLP
Proposed Third Floor Plan	3147-GSP-1009 P1	Architon LLP
Proposed Fourth Floor Plan	3147-GSP-1010 P3	Architon LLP
Proposed Level 3 Niche Wall	3147-GSP-1011 P2	Architon LLP
Proposed Door Detail – Acoustic Seals	3147-GSP-1012 P4	Architon LLP
Proposed Ground Floor Door and Associated Works	3147-GSP-1013 P1	Architon LLP
Proposed Tea Points Plans and Elevations	3147-GSP-1015 P1	Architon LLP
Proposed Tea Point 213 Plans and Elevations	3147-GSP-1016 P1	Architon LLP
Schedule of Works	3147-GS1 P2	Overbury

We trust that you have all the information you need to validate the application. Should you have any queries or require any further information, then please do not hesitate to contact my colleague Alice Young-Lee (020 7303 4778 / alicesyounglee@deloitte.co.uk).

Yours sincerely



Deloitte LLP