

Our ref: Q200033
Your ref: PP-12288828
Email: [REDACTED]
Date: 5th September 2023



Development Management
London Borough of Camden
2nd Floor
5 Pancras Square
London
N1C 4AG

Dear Sam

FULL PLANNING APPLICATION FOR THE INSTALLATION OF TEMPORARY PORTACABIN TO BE USED AS A REGENERATION OFFICE FOR THE RESIDENTS OF JUNIPER CRESCENT

LAND ADAJCENT TO JUNIPER CRESCENT, CAMDEN TOWN, NW1 8HQ

I write on behalf of One Housing and Countryside ("the Applicant") and enclose a full application for the installation of a temporary portacabin on land adjacent to the roundabout on Juniper Crescent (hereafter referred to as the "Site") for a temporary period until October 2026.

The full description for the Proposed Development is as follows:

"Installation of temporary portacabin for use as a meeting, gathering, and presentation space in support of Juniper Crescent redevelopment."

In support of this application, please find enclosed the following documentation:

- This covering letter;
- Application form duly signed, dated and completed;
- Community Infrastructure Levy (CIL) Additional Information Form; and
- The following plans prepared by PRP architects (for approval):
 - Drawing Ref: PCJC02-PRP-ZZ-ZZ-DR-A-0100-P01_Site Location Plan
 - Drawing Ref: PCJC02-PRP-ZZ-ZZ-DR-A-1000-P01_Existing Ground Floor Plan
 - Drawing Ref: PCJC02-PRP-ZZ-ZZ-DR-A-1010-P01_Proposed Ground Floor Plan
 - Drawing Ref: PCJC02-PRP-ZZ-ZZ-DR-A-2010-P01_Existing East Elevation
 - Drawing Ref: PCJC02-PRP-ZZ-ZZ-DR-A-2011-P01_Proposed East Elevation
 - Drawing Ref: PCJC02-PRP-ZZ-ZZ-DR-A-2020-P01_Existing South Elevation

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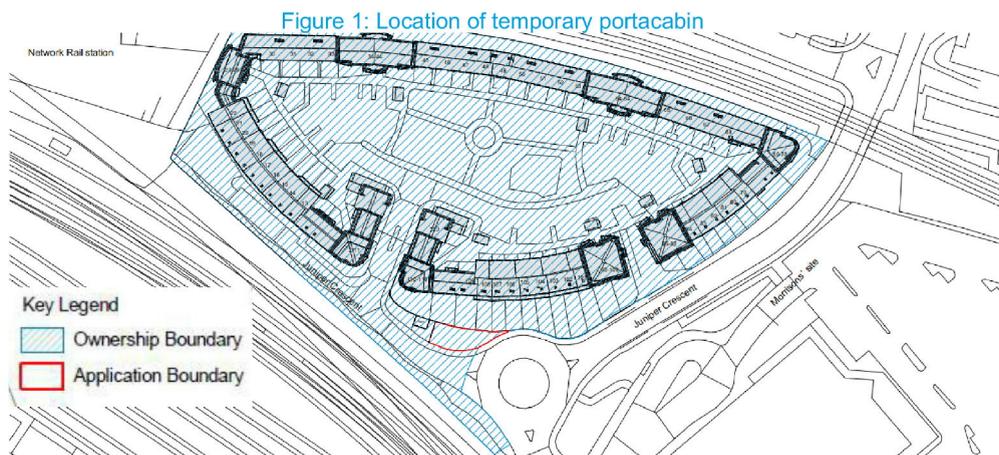


- o Drawing Ref: PCJC02-PRP-ZZ-ZZ-DR-A-2021-P01_Proposed South Elevation

The application has been submitted and the requisite application fee of £462 has been paid via the Planning Portal under reference (ref: PP-12288828).

Background

The Site extends 125.6 sqm in area and is located within the Juniper Crescent housing estate on the area of land adjacent to the roundabout located on Juniper Crescent. The Site is bound by residential back gardens to the north; Juniper Crescent to the east and south; and small grassed area to the west. The exact location of the Site is illustrated in Figure 1 below. Immediately to the east of the site is the Morrisons site which is currently under construction for a large mixed-use redevelopment.



The Applicant has been in pre-application discussions around the regeneration of Juniper Crescent with residents and the London Borough of Camden (“LBC”) since 2017. In December 2022, residents voted yes to redevelop the Juniper Crescent estate. Since then, a series of public consultation has taken place and is programmed to run until the submission of the full application for Juniper Crescent in March 2024. This will include a number of events, workshops and exhibitions with residents and local stakeholders.

To assist the above programmed consultation, the Applicant wishes to provide a temporary portacabin hub at the Juniper Crescent site to conveniently engage with local residents and stakeholders prior to the submission of the planning application. It will be used to facilitate in-person and one-to-one meetings and allow stakeholders the opportunity to ask questions about the proposals.



A portacabin is currently in place on the site and is used by the Applicant to engage with local residents. This will be replaced with the portacabin proposed in this application which is larger and more suitable to accommodate groups for discussions and meetings.

The existing portacabin does not have planning permission in this location but it does on the unused car parking area of 80 Gilbeys Yard under Application Ref. 2020/0473/P. This permission was granted in July 2020 when the wider redevelopment proposals involved the Gilbeys Yard housing estate. Since the end of 2020 however it was decided by the Applicant to progress with Juniper Crescent separately, and hence why the existing portacabin was relocated closer to Juniper Crescent. Application Ref. 2020/0473/P also expired on 31 May 2022 and hence why this application is being submitted.

Proposals

The proposed development involves the construction of a one storey steel flat sided cabin which will measure approximately 47 sq.m (GEA) in area and is 3m in height, 4.8m in width and 9.7m in length.

The proposed elevations are illustrated in Figure 2 below.

Figure 2: Proposed elevations



All existing landscaping including the white fencing and hedges will remain or be replaced with new but identical features on site.



The portacabin is sought for a temporary period until October 2026. The intention is for the cabin to remain on site until works start on the redevelopment of Juniper Crescent.

The portacabin will be fabricated offsite and lifted into place onsite. Installation will take up to one day which will require two lorries to lift the cabin into place. There will be minimal impact to residents.

The existing cabin will remain in place until the new cabin is installed. The existing cabin will be removed the same day the new cabin is installed to minimise any impacts to residents.

A total of three employees will support the hub and facilitate meetings with the stakeholders.

The proposed hours of operation are 08:00 to 20:00 Monday – Sunday.

Planning Policy

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that planning applications should be determined in accordance with the Development Plan unless material considerations indicate otherwise. The relevant statutory development plan for the Site comprises:

- The London Plan (March 2021)
- Camden Local Plan (July 2017)
- Camden Site Allocations (September 2013)

The draft Camden Site Allocations Local Plan document was published in February 2020 for consultation and once adopted it will replace the Camden Site Allocations (September 2013).

Assessment

Principle of development

London Plan Policy GG1 'Building strong and inclusive communities' states that those involved in planning and development must undertake early and inclusive engagement with stakeholders including local communities.

The Mayor's Good Practice Guide to Estate Regeneration sets out that housing associations and developers should engage openly and meaningfully with those affected by the project and that residents should be involved in shaping proposals and should be proactively supported to do so throughout the planning and design process.

The Site is located within the Juniper Crescent site which is allocated in the adopted and emerging Local Plan for a mixed-use redevelopment.

The proposed larger temporary portacabin will enable the Applicant to continue to engage with local residents about the redevelopment of Juniper Crescent. The existing portacabin currently located on



Site will be replaced by this proposed portacabin as there is a need to accommodate a more generous cabin for larger groups. Whilst the existing portacabin does not strictly have planning permission in this specific location¹, it has been located here since 2019 and no complaints nor enforcement action has been taken. As such, the principle of development has been established through the provision of the existing cabin and through application Ref. 2020/0473/P.

Heritage

The Site is located to the south of the Regents Canal Conservation Area but is located within the enclosed Juniper Crescent and adjacent to the Morrisons site which is currently under construction.

Camden Local Plan Policy D2 (Heritage) requires developments within conservation areas to preserve or where possible enhance the character and appearance of the area.

The external walls of the proposed portacabin will comprise of flat sided steel in a teal colour with timber joists and a monopitch roof.

Due to the size and location of the consultation hub, the proposals will not be visible and not result in any harmful impacts to Regents Canal Conservation Area. The temporary nature of the proposals and the fact the cabin will be located within the enclosed Juniper Crescent site also minimises any impact on the conservation area.

In summary, the proposals comprise quality, durable materials that are sympathetic to the surrounding area.

Amenity

Camden Local Plan (CLP) Policy A1 (Managing Impact of Development) seeks to ensure that the amenity of communities, occupiers and neighbours is protected whilst balancing the needs of development with the requirements of local areas and communities.

CLP Policy A4 (Noise and vibration) seeks to ensure that development does not create unacceptable noise and vibration impacts and does not harm the continued operation of existing uses.

The temporary regeneration office will not harm the visual amenity due to its proposed size and scale. The temporary nature also means that change to the street scene will be short-term and thus impact will be minimal.

As outlined in Policy A1, it is important to balance the needs of development. The provision of a temporary portacabin will facilitate the estate regeneration of Juniper Crescent and allow for

¹ LPA Ref. 2020/0473/P granted permission for the portacabin in the car parking area of Gilbeys Yard.



community engagement in the planning process, an approach which is noted above as promoted and encouraged by the Mayor.

Due to the temporary nature of the portacabin and the fact it has and will continued be used for resident engagement, the proposal will not result in unacceptable noise levels. The nature of the portacabin will assist residents and not cause harm to the surrounding amenity.

In summary, the proposals will not result in any negative impacts to amenity and therefore accord with planning policy.

Summary

In summary and having regard to relevant planning policies, the proposal for a temporary portacabin to inform local residents and stakeholders, and future users of the Juniper Crescent site is acceptable.

I trust that the enclosed application is acceptable, and I look forward to receiving confirmation of validation in due course. Please do not hesitate to contact me should you require any further information.

Yours sincerely



Sophie Butler
Assistant Planner

enc.
cc.