

GLA Architecture and Design

Southgate Office Village, Block E 286A Chase Road, London N14 6HF

T 020 8886 5100 E g@glaad.co.uk

DESIGN & HERITAGE STATEMEN.

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**Proposed driveway and drop kerb alteration to number
182 Regents Park Road, London NW1 8XP**

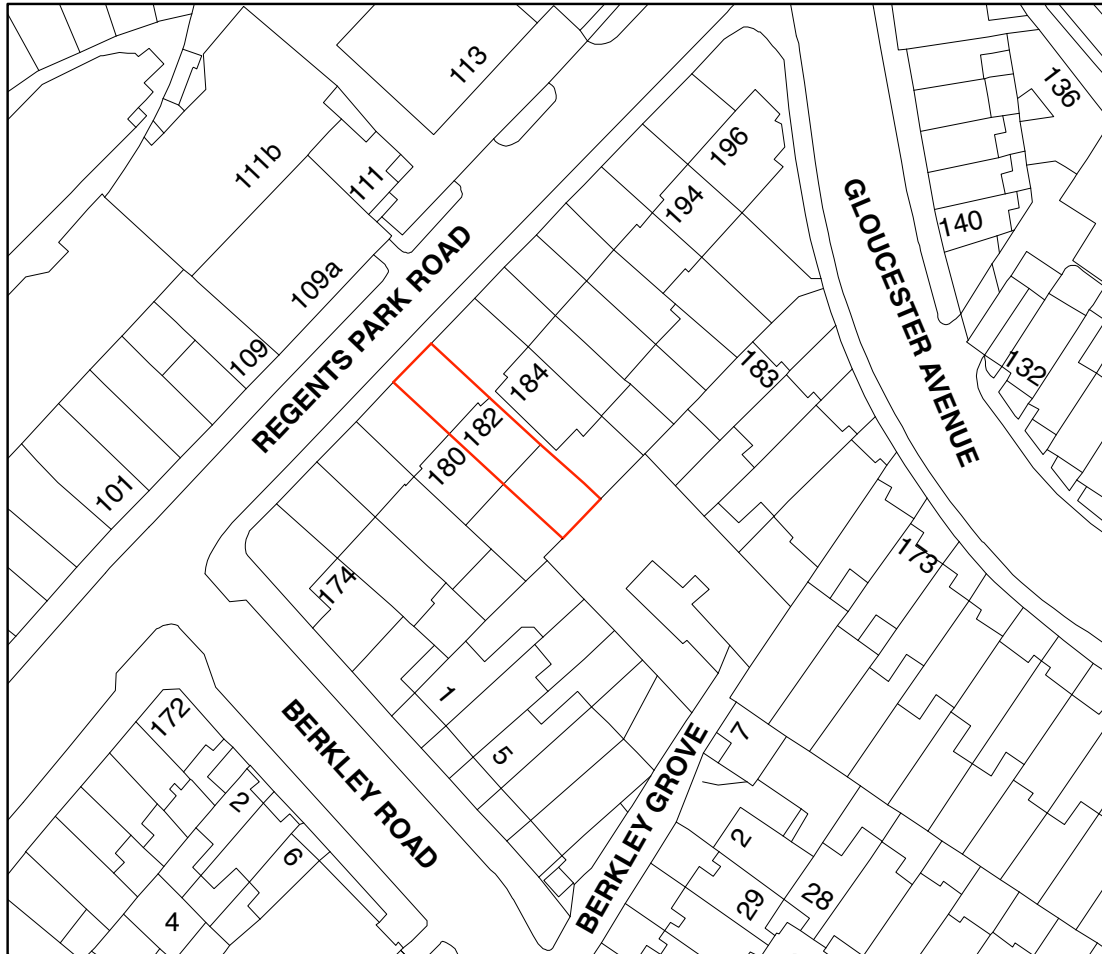


Front view from Regents Park Road

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Site plan.

North [^]

Building's Description & Location

182 Regents Park Road is an end of terrace five-storey 'villa type' building (including a basement) located within the Primrose Hill Conservation Area and Regents Park Road North sub area. The building is listed as making a positive contribution to the conservation area. Typical features on the property and terrace from 174-182 Regents Park Road include white stucco render to the front elevation, sliding sash timber windows, decorative pilasters, projecting window pediments, raised ground floors with steps to the entrance and front basement courtyards with external stepped access. The properties have large front garden fronted by gate piers, railings, low-level walls and plenty of vegetation. The front boundary wall of number 182 Regents Park Road is not original to the host building and is out of character from the neighbouring properties by missing gates, railings and piers that match the scale of the existing adjacent properties. In addition the property's bin stores have been located behind the front wall, thus creating a higher front wall. There is a disabled parking bay (number 177) to the front of the property, that is exclusive for our Client's use.

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Design Proposal

The proposal consists of a driveway, alteration of the drop kerb, removing the existing staircase to the basement and creating a new staircase, new balustrade, new railings, rebuilding the front and side boundary walls, new car gate, new pedestrian gate, new bin stores and new landscaping to the front garden of number 182 Regents Park Road.

The front garden area has a stepped access from the street, which is not suitable for our Client and therefore, a step free access is proposed by sloping the area towards the pavement.

The disabled person's parking bay number 177 is to be removed and alterations to the drop kerb is proposed.

We confirm that number 177 disabled bay and drop kerb is allocated to our Client exclusively, and therefore, the bay will not be lost to other users.

An electric car charging point to be fitted on the driveway and therefore, no need to run a cable across the pavement. This will eliminate any health and safety risks to the public.

The existing boundary wall with number 184 Regents Park Road was built at an incorrect angle, thus resulting in a loss of space to number 182's front garden. A replacement wall and pier is proposed in Yellow London Stock bricks. This will allow for a wide pedestrian gate, suitable for a wheelchair, a dedicated timber bin storage area topped with a green roof and create large planting areas to the front garden. The front boundary will be rebuilt with Yellow London Stock bricks to the new dwarf walls with new black metal railings above that will be in keeping with the immediate neighbours. Railings' finials to match the existing railings at number 180 Regents Park Road. New railings are also proposed above the existing basement staircase for fall protection, currently there are no railings. A new basement staircase is proposed to start at the new driveway along the boundary with number 180 Regents Park Road.

Our Client's daughter has provided us with the following statement:-

My father has Alzheimer's disease is provided with NHS Continuous care. He suffers from hallucinations which often lead him to want to leave the house. The careers struggle to take him out of the house, as he often wants to escape. He has on many occasions escaped and resulted on the police being called to assist. His condition is supervised by the psychiatrists at the Camden Memory Clinic.

The front garden is the only house accessible outside space my father has for fresh air, as the rear garden is located in the basement and there are too many step for him to safely go down. Without this outside space he is often confined to the inside of the house.

It is important for his mental health and stability to have a secure and safe outside space that has locked gates and he can be safely driven closer to the house to a secure area and not having to come out from the car onto the public pavement.

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Materials

1. Yellow London Stock bricks to side and front boundary walls, re-use existing bricks where possible.
2. Black metal railings, pedestrian gate and folding driveway electric gates.
3. Vehicle grade permeable paving for the parking bay to be Driveline Priora by Marshalls Mono Ltd.
4. Timber bin enclosure with green roof by the Bin Store Company.
5. Pedestrian paving to be Hydropave Shannon permeable paving by Tobermore
6. New black metal mailbox to front railings.
7. Black metal intercom and gate release to front railings.
8. Grey concrete basement staircase.

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