

Planning Statement



**In support of a proposal for extensions
and alterations to an existing 2 storey
end of terrace dwelling**

**Site at 8 Village Close, Belsize Lane,
London, NW3 5AH**

August 2023

1.0 Introduction

- 1.1 This Planning Statement has been prepared by Allen Planning Limited on behalf of our client to support a planning application for a

“Part demolition of dwelling; Single storey front extension; Part 2 and Part 3 storey side extension; Two storey rear extension; Single storey rear extension.”

- 1.2 Importantly the overall proposal is to create a Passive House on the site of an existing 1960s end-of-terrace house. We are proposing an extension and retrofit to achieve an exemplary, energy-exporting home whereby the building becomes a net producer of energy.
- 1.3 The purpose of this Statement is to describe the relevant site context and surrounding area together with the details of the proposed scheme development. It also outlines the planning policy context and provides an assessment of those policies that apply to the scheme development.
- 1.4 Potential extensions and alterations to this property were also the subject of pre-application discussions and this Statement will identify the alterations made to the scheme following the advice received from officers.
- 1.5 In addition to the detailed plans and this Statement the application is also supported by a detailed Design and Access Statement (DAS) and advice from a specialist arboricultural expert.
- 1.6 At the outset of this Statement it is important to establish that planning policy supports appropriately designed extensions to residential properties and there are no policies within the development plan that seek to prevent such domestic extensions.
- 1.7 Equally the Framework seeks early engagement where possible with the local planning authority and the applicant has undertaken such in the form of a pre application submission, and has amended that original scheme, taking into account the advice received, in the preparation and submission of this application.

2.0 Site Location

- 2.1 The application site at No. 8 Village Close is a two-storey end of terrace single family dwellinghouse located on the southern side of Belsize Lane, NW3.
- 2.2 The dwelling sits at the end of a row of dwellings built in the latter half of the 20th century (circa 1960). The terrace is characteristic for its period, with each dwelling having similar features and scales.
- 2.3 The most characteristic of these features include the regular pattern of fenestration, materials palette, projecting single storey vestibule entrance porches, and front and rear projecting brick party walls.
- 2.4 This terrace of houses at nos.1-8 lies behind a high brick boundary wall so that it is obscured from view in Belsize Lane.

- 2.5 The property is not listed and is not situated within a conservation area. At the northern end of Belsize Lane are two conservation areas which the site sits between. The Northwest boundary is shared with Fitzjohns/Netherhall Conservation Area and the Southwest boundary is shared with Belsize Park Conservation Area.
- 2.6 Whilst of course any views to/from the Conservation Area are material to this application there is no requirement to provide for a separate Heritage Impact Assessment.
- 2.7 There are a number of trees in close proximity protected by Tree Preservation Orders with one of them being on site.
- 2.8 The general location of the site is shown in Figure 1 below.



Figure 1 - General Site Location

3.0 Planning History including Amendments following Pre App

- 3.1 In terms of material planning history under reference 9300680- an application for the erection of a two-storey side extension and a single storey rear extension with a first-floor balcony was Granted 19/05/1995 but not implemented.
- 3.2 This application follows the submission of a pre-application submission to the LPA under reference 2022/5616/PRE which concluded:

“Overall, it is considered the construction of a side infill and rear extension is acceptable in principle in terms of design and amenity, subject to taking the above recommendations into consideration.

The front extension and terrace are considered unacceptable as it would harm the cohesive appearance of this terrace of properties which contributes to the character of the local area. Therefore, retaining the original elevation is a considered most appropriate. The proposed glazing should be redesigned to ensure it is not full length.”

Amendments following Pre-App

- 3.3 In accordance with planning best practice a pre-application submission was made to the LPA and the advice received has been assessed as part of this full application and several amendments to the previous scheme have been undertaken as set out below.
- 3.4 In this respect the front extension has been redesigned incorporating a reduction in height to the ground floor glazing.
- 3.5 The alignment of the front extension building line has not been amended since it is of very limited visibility from neighbouring terrace gardens. In this respect we submit that any perceived “disruption” to the consistency of the terrace would be minimal as evidenced by site photographs taken mid-March when foliage was sparse.
- 3.6 The porch typology itself has not been highlighted as significant to the character of the area in any available planning documents and the porches on the opposite side of Belsize Lane (directly visible to the streetscape) vary in materiality. The porch is already enclosed in the building envelope, as is also the case at No. 10 Village Close.
- 3.7 Although it would be almost entirely obscured from the street scene, the front terrace would be visible from neighbouring terrace gardens. In the interest of preserving a consistent appearance of the uniform terrace, the proposal now replaces the previously proposed terrace with reduced size first floor fenestration and a low profile pitched roof to the front extension.
- 3.8 Furthermore, the proposed 3rd floor of the side extension has been significantly revised. The roof form has reduced in height at both the ridge and front / rear eaves and the introduction of a split level at the side extension first floor allows the 3rd floor to sink down even further within the roof form.

4.0 Planning Policy

- 4.1 For the purposes of Section 38 of the Planning and Compulsory Purchase Act 2004, the Development Plan is made up of the 2021 revised National Planning Policy Framework and the 2021 London Plan.
- 4.2 In addition the Camden Local Plan (2017) forms the development plan supported in terms of this site by the Belsize Park Conservation Area Statement (2002) and Camden Supplementary Guidance on the following matters:
 - CPG - Design (2021)
 - CPG - Amenity (2021)
 - CPG- Home Improvements (2021)
 - CPG – Energy efficiency and adaptation (2021)
 - CPG – Biodiversity (2018)

4.3 Turning first to national guidance, **Paragraphs 8 -10** of the NPPF advise:

8. Achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways (so that opportunities can be taken to secure net gains across each of the different objectives):

*a) **an economic objective** – to help build a strong, responsive, and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation, and improved productivity; and by identifying and coordinating the provision of infrastructure.*

*b) **a social objective** – to support strong, vibrant, and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering well-designed, beautiful, and safe places, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being.*

*c) **an environmental objective** – to protect and enhance our natural, built and historic environment, including making effective use of land, improving biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.*

9. These objectives should be delivered through the preparation and implementation of plans and the application of the policies in this Framework; they are not criteria against which every decision can or should be judged. Planning policies and decisions should play an active role in guiding development towards sustainable solutions, but in doing so should take local circumstances into account, to reflect the character, needs and opportunities of each area.

*10. So that sustainable development is pursued in a positive way, at the heart of the Framework is a **presumption in favour of sustainable development** (paragraph 11).*

4.4 **Paragraph 11** identifies the fundamental thrust of the guidance which states that Plans and decisions should apply a presumption in favour of sustainable development which for decision taking means:

c) approving development proposals that accord with an up-to-date development plan without delay; or

d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date⁸, granting permission unless:

i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed.

ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

4.5 Paragraph 119 adds that planning policies and decisions should promote an effective use of land in meeting the need for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions. Strategic policies should set out a clear strategy for accommodating objectively assessed needs, in a way that makes as much use as possible of previously developed or 'brownfield' land.

- 4.6 In terms of design paragraph 126 advises that the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.
- 4.7 Paragraph 130 adds that planning decisions should ensure that developments:
- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development.*
 - b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping.*
 - c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);*
 - d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit.*
 - e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and*
 - f) create places that are safe, inclusive, and accessible and which promote health and well-being, with a high standard of amenity for existing and future users⁴⁹; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience*
- 4.8 Paragraph 134 notes that development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design⁵², taking into account any local design guidance and supplementary planning documents such as design guides and codes. Conversely, significant weight should be given to:
- a) development which reflects local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes; and/or*
 - b) outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings*

London Plan, 2021

- 4.9 The London Plan was adopted in March 2021 and is thereby up to date.
- 4.10 **Policy D3** deals with optimising site capacity through the design-led approach stating:

A All development must make the best use of land by following a design-led approach that optimises the capacity of sites, including site allocations. Optimising site capacity means ensuring that development is of the most appropriate form and land use for the site. The design-led approach requires consideration of design options to determine the most appropriate form of development that responds to a site's context and capacity for growth, and existing and planned supporting infrastructure capacity (as set out in Policy D2 Infrastructure requirements for sustainable densities), and that best delivers the requirements set out in Part D.

B Higher density developments should generally be promoted in locations that are well connected to jobs, services, infrastructure, and amenities by public transport, walking and cycling, in accordance with Policy D2 Infrastructure requirements for sustainable densities. Where these locations have existing areas of high-density buildings, expansion of the areas should be positively considered by Boroughs where appropriate. This could also include expanding Opportunity Area boundaries where appropriate.

C In other areas, incremental densification should be actively encouraged by Boroughs to achieve a change in densities in the most appropriate way. This should be interpreted in the context of Policy H2

4.11 Policy D4 in terms of delivering good design adds:

Design analysis and development certainty

A Masterplans and design codes should be used to help bring forward development and ensure it delivers high quality design and place-making based on the requirements set out in Part B of Policy D3 Optimising site capacity through the design-led approach.

B Where appropriate, visual, environmental and movement modelling/assessments should be undertaken to analyse potential design options for an area, site or development proposal. These models, particularly 3D virtual reality and other interactive digital models, should, where possible, be used to inform plan-making and decision-taking, and to engage Londoners in the planning process.

Design scrutiny

C Design and access statements submitted with development proposals should demonstrate that the proposal meets the design requirements of the London Plan.

D The design of development proposals should be thoroughly scrutinised by borough planning, urban design, and conservation officers, utilising the analytical tools set out in Part B, local evidence, and expert advice where appropriate. In addition, boroughs and applicants should make use of the design review process to assess and inform design options early in the planning process. Development proposals referable to the mayor must have undergone at least one design review early on in their preparation before a planning application is made, or demonstrate that they have undergone a local borough process of design scrutiny, based on the principles set out in Part E if they:

1) include a residential component that exceeds 350 units per hectare; or

2) propose a building defined as a tall building by the borough (see Policy D9 Tall buildings), or that is more than 30m in height where there is no local definition of a tall building

E The format of design reviews for any development should be agreed with the borough and comply with the mayor's guidance on review principles, process and management, ensuring that:

- 1) design reviews are carried out transparently by independent experts in relevant disciplines*
- 2) design review comments are mindful of the wider policy context and focus on interpreting policy for the specific scheme*
- 3) where a scheme is reviewed more than once, subsequent design reviews reference and build on the recommendations of previous design reviews*
- 4) design review recommendations are appropriately recorded and communicated to officers and decision makers*
- 5) schemes show how they have considered and addressed the design review recommendations*
- 6) planning decisions demonstrate how design review has been addressed.*

Maintaining design quality

F The design quality of development should be retained through to completion by:

- 1) ensuring maximum detail appropriate for the design stage is provided to avoid the need for later design amendments and to ensure scheme quality is not adversely affected by later decisions on construction, materials, landscaping details or minor alterations to layout or form of the development*
- 2) ensuring the wording of the planning permission, and associated conditions and legal agreement, provide clarity regarding the quality of design*
- 3) avoiding deferring the assessment of the design quality of large elements of a development to the consideration of a planning condition or referred matter*
- 4) local planning authorities considering conditioning the ongoing involvement of the original design team to monitor the design quality of a development through to completion.*

4.12 Policy D6 addresses matters of housing quality and standards and states:

Housing development should be of high-quality design and provide adequately-sized rooms (see Table 3.1) with comfortable and functional layouts which are fit for purpose and meet the needs of Londoners without differentiating between tenures.

Qualitative aspects of a development are key to ensuring successful sustainable housing. Table 3.2 sets out key qualitative aspects which should be addressed in the design of housing developments.

Housing development should maximise the provision of dual aspect dwellings and normally avoid the provision of single aspect dwellings. A single aspect dwelling should only be provided where it is considered a more appropriate design solution to meet the requirements of Part B in Policy D3 Optimising site capacity through the

design-led approach than a dual aspect dwelling, and it can be demonstrated that it will have adequate passive ventilation, daylight and privacy, and avoid overheating.

The design of development should provide sufficient daylight and sunlight to new and surrounding housing that is appropriate for its context, whilst avoiding overheating, minimising overshadowing and maximising the usability of outside amenity space.

Housing should be designed with adequate and easily accessible storage space that supports the separate collection of dry recyclables (for at least card, paper, mixed plastics, metals, glass) and food waste as well as residual waste.

Housing developments are required to meet the minimum standards below which apply to all tenures and all residential accommodation that is self-contained.

Private internal space

1) Dwellings must provide at least the gross internal floor area and built-in storage area set out in Table 3.1.

2) A dwelling with two or more bedspaces must have at least one double (or twin) bedroom that is at least 2.75m wide. Every other additional double (or twin) bedroom must be at least 2.55m wide.

3) A one bedspace single bedroom must have a floor area of at least 7.5 sq.m. and be at least 2.15m wide.

4) A two-bedspace double (or twin) bedroom must have a floor area of at least 11.5 sq.m..

5) Any area with a headroom of less than 1.5m is not counted within the Gross Internal Area unless used solely for storage (If the area under the stairs is to be used for storage, assume a general floor area of 1 sq.m. within the Gross Internal Area).

6) Any other area that is used solely for storage and has a headroom of 0.9-1.5m (such as under eaves) can only be counted up to 50 per cent of its floor area, and any area lower than 0.9m is not counted at all.

7) A built-in wardrobe counts towards the Gross Internal Area and bedroom floor area requirements but should not reduce the effective width of the room below the minimum widths set out above. Any built-in area in excess of 0.72 sq.m. in a double bedroom and 0.36 sq.m. in a single bedroom counts towards the built-in storage requirement.

8) The minimum floor to ceiling height must be 2.5m for at least 75 per cent of the Gross Internal Area of each dwelling.

Private outside space

9) Where there are no higher local standards in the borough Development Plan Documents, a minimum of 5 sq.m. of private outdoor space should be provided for 1-2 person dwellings and an extra 1 sq.m. should be provided for each additional occupant, and it must achieve a minimum depth and width of 1.5m. This does not count towards the minimum Gross Internal Area space standards required in Table 3.1

G The Mayor will produce guidance on the implementation of this policy for all housing tenures.

Camden Local Plan (2017)

4.13 **Policy A1** “Managing the impact of development” states that:

“The Council will seek to protect the quality of life of occupiers and neighbours. We will grant permission for development unless this causes unacceptable harm to amenity.

We will:

- a. seek to ensure that the amenity of communities, occupiers and neighbours is protected;*
- b. seek to ensure development contributes towards strong and successful communities by balancing the needs of development with the needs and characteristics of local areas and communities;*
- c. resist development that fails to adequately assess and address transport impacts affecting communities, occupiers, neighbours and the existing transport network; and*
- d. require mitigation measures where necessary.*

The factors we will consider include:

- e. visual privacy, outlook;*
- f. sunlight, daylight and overshadowing;*
- g. artificial lighting levels;*
- h. transport impacts, including the use of Transport Assessments, Travel Plans and Delivery and Servicing Management Plans;*
- i. impacts of the construction phase, including the use of Construction Management Plans;*
- j. noise and vibration levels;*
- k. odour, fumes and dust;*
- l. microclimate;*
- m. contaminated land; and*
- n. impact upon water and wastewater infrastructure.*

4.14 **Policy D1** “Design” adds:

“The Council will seek to secure high quality design in development. The Council will require that development:

- a. respects local context and character;*
- b. preserves or enhances the historic environment and heritage assets in accordance with Policy D2 Heritage;*
- c. is sustainable in design and construction, incorporating best practice in resource management and climate change mitigation and adaptation;*
- d. is of sustainable and durable construction and adaptable to different activities and land uses;*
- e. comprises details and materials that are of high quality and complement the local character;*
- f. integrates well with the surrounding streets and open spaces, improving movement through the site and wider area with direct, accessible and easily recognisable routes and contributes positively to the street frontage;*
- g. is inclusive and accessible for all;*
- h. promotes health;*
- i. is secure and designed to minimise crime and antisocial behaviour;*
- j. responds to natural features and preserves gardens and other open space;*

- k. incorporates high quality landscape design (including public art, where appropriate) and maximises opportunities for greening for example through planting of trees and other soft landscaping,*
- l. incorporates outdoor amenity space;*
- m. preserves strategic and local views;*
- n. for housing, provides a high standard of accommodation; and*
- o. carefully integrates building services equipment.*

The Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

Excellence in design

The Council expects excellence in architecture and design. We will seek to ensure that the significant growth planned for under Policy G1 Delivery and location of growth will be provided through high quality contextual design.”

4.15 In addition **Policy D2** “Heritage”

“The Council will preserve and, where appropriate, enhance Camden’s rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets.

Designated heritage assets

Designed heritage assets include conservation areas and listed buildings.

The Council will not permit the loss of or substantial harm to a designated heritage asset, including conservation areas and Listed Buildings, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a. the nature of the heritage asset prevents all reasonable uses of the site;*
- b. no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation;*
- c. conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and*
- d. the harm or loss is outweighed by the benefit of bringing the site back into use.*

The Council will not permit development that results in harm that is less than substantial to the significance of a designated heritage asset unless the public benefits of the proposal convincingly outweigh that harm.

Conservation areas

Conservation areas are designated heritage assets and this section should be read in conjunction with the section above headed ‘designated heritage assets’. In order to maintain the character of Camden’s conservation areas, the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas.

The Council will:

- e. require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area;*
- f. resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area;*

g. resist development outside of a conservation area that causes harm to the character or appearance of that conservation area; and
h. preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden's architectural heritage."

4.16 The development plan is supported in terms of this site by the Belsize Park Conservation Area Statement (2002) and Camden Supplementary Guidance on the following matters:

- CPG - Design (2021)
- CPG - Amenity (2021)
- CPG- Home Improvements (2021)
- CPG – Energy efficiency and adaptation (2021)
- CPG – Biodiversity (2018)

5.0 Planning Issues

5.1 The application proposes several extensions and alterations to this two-storey end of terraced dwelling and these are described below:

- Single storey front extension
- Part 2 and Part 3 storey side extension
- Two storey rear extension
- Single storey rear extension

5.2 On that basis the material considerations for this application are the impacts on townscape (including views into/out of the nearby conservation areas); the amenities of neighbouring dwellings and also the quality of residential accommodation to be proposed.

Townscape/Design

5.3 The Framework and indeed the Council's design policies are aimed at achieving the highest standard of design in all developments, including where alterations and extensions are proposed.

5.4 Policy D1 of the Local Plan requires development to be of the highest architectural and urban design quality which improves the function, appearance, and character of the area. In addition, in terms of heritage Policy D2 states that the Council will preserve, and where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas and listed buildings.

5.5 The DAS contains a detailed assessment of the context of the site including and appearance of the nearby and a full assessment of the design of the proposed scheme upon such matters and we therefore do not reiterate such a detailed assessment within this Statement.

5.5 In overview the site occupies an end terrace position next to a high boundary wall set back from the street behind a tall wall and landscaping.

5.6 The proposed demolitions will be focused on the front and rear elevations, with only partial demolition of the side (end terrace) wall to link the main building to the proposed side extension. Internally, the structural elements will be retained,

including the first-floor beams and joists. The structural elements of the extensions will be fixed to the existing structure.

- 5.7 At the existing front and rear elevations the lightweight building fabric and poor performance windows and doors are of little architectural value. Operational energy savings from their replacement with high quality alternatives will exceed embodied carbon costs in the medium term, making great carbon savings in the long
- 5.8 At present the existing building footprint is 61 sqm and whilst the proposed building footprint would increase to 119 sqm the scheme has been carefully designed to take appropriate advantage of the space between existing projections and along the side of the building, the majority of which are already paved.
- 5.9 The existing building is two storey and has a gross internal area of 92 sqm and these proposals would have a small section across 3 storeys (there is a split level in the side extension which reduces the height of the 3rd storey) and a gross internal area of 194 sqm. Importantly the overall height remains lower than the rear wall of No. 9 Belsize Court Garages
- 5.10 The proposed side extension is set back at ground floor level from both the front of No. 9 Belsize Court Garages and the front of the Village Close terrace to ensure it is visibly subordinate.
- 5.11 Importantly this retains a “visual break” between the two distinct building forms of Belsize Court Garages and Village Close. That being said this existing “gap” itself is not a prominent part of the street scene and has limited visibility from Belsize Lane or Belsize Court Garages due to the boundary wall, vegetation and large trees which obscure the view from many angles.
- 5.12 The second floor is designed with a set back from the existing pitched roof forms and is set alongside the existing Village Close end terrace wall. At the rear, the side extension becomes single storey and remains below the height of the existing trellis on the rear garden wall. Additional planting on the rear extension will further obscure the property from Lyndhurst Gardens.
- 5.13 Given the significant detail provided within the DAS supporting the intrinsic design quality and materials of these proposals together with the detailed HIA, which has been undertaken, we conclude that these proposals would constitute firstly a high standard of individual design entirely appropriate to the host building and the wider context of the site.
- 5.14 In addition the development proposed given the siting of the dwelling, well set back from the road, the developments as proposed would preserve both the character and appearance of views into and out of the nearby Conservation Areas.
- 5.15 **In these respects not only is the statutory test for development within the conservation area fully satisfied but so are the design guidance of the Framework and development plan policies in these regards**

Impact upon neighbouring properties

- 5.16 Securing a good standard of amenity for all existing and future occupants of land and buildings is one of the core principles of the NPPF as set out in paragraph 130.

- 5.17 Policy A1 (Managing the impact of development) of the Camden Local Plan seeks to ensure that the existing residential amenities of neighbouring properties are protected, particularly with regard to visual privacy, outlook, sunlight, daylight and overshadowing, noise and vibration levels.
- 5.18 The dwelling sits at the end of a short terrace and does have residential properties on both its sides and rear boundary.
- 5.19 The proposed rear extension in line with existing porch projection and neighbour's conservatory with the proposed front extension in line with existing porch projections. The Side extension proposed would be set back from 9 Belsize Court Garages front elevation by 236mm.
- 5.20 The proposed front side and rear extensions due to their size, location and design would not harm the amenity of any adjoining residential occupiers in terms of the loss of natural light, outlook, privacy, or light spill.
- 5.21 The proposed front terrace element of these overall proposals, due to its size and location, would not harm the amenity of any neighbouring properties.
- 5.22 It is in the light of all of the above that we submit that these proposals take due account of the amenity of neighbouring residents, would avoid unacceptable harm to the amenities of these properties and as a result are wholly compliant with the requirements of development plan policy in these regards.**

Trees

- 5.23 There are a number of trees on three boundaries of the site.
- 5.24 On this basis, the Applicant has engaged SJA trees who have surveyed the site and produced a tree survey plan and schedule.
- 5.25 Included in the survey are four nearby trees covered by TPOs (Trees T3, T6, T8 and T9), of which one tree is on site (T6 - European Lime). The neighbouring trees T1, T2 and T3 are within conservation areas and therefore protected implicitly from common law pruning rights within the site.
- 5.26 The proposed works in this application do not encroach on any root protection areas identified in the tree survey. In particular, it is noted that the significant level change between 8 Village Close and both bordering conservation areas has restricted possible root growth into the rear corner of the site. As, such there is no risk of harm to trees outside of the site.
- 5.27 There is no tree removal proposed within the site and amendments to the site entrance are positioned to avoid disturbance of any root areas at the front of the site. Proposed tree planting is located outside of the existing root areas and therefore poses no risk**

Housing Quality & Sustainability

- 5.28 Improving housing stock is supported in principle both by the London Plan and by the Development Plan.

- 5.29 This application proposes the conversion and extensions of the existing dwelling to form a “fabric-first”, ecologically low-impact retrofit to the Passive House Enerphit standard. It may be possible to achieve the Enerphit Plus standard which balances energy imports with on site energy production.
- 5.30 On this basis the existing gas supply will be disconnected, and the house will become all-electric. An electric heat pump will supply hot water needs and any space heating requirements. All new windows will be triple glazed, and the building and the dwelling will be well-insulated to a standard compatible with the requirements of a ‘zero-carbon’ imperative.
- 5.31 In addition, high-performance solar panels on the sunny roof should be able to supply most of the building’s very small annual energy needs when combined with a battery and a special import-export grid energy tariff. Rainwater will be harvested and re-used for toilet flushing, drainage design permitting.
- 5.32 All of these features proposed through this application will result in a highly energy-efficient and ecological building. Its remaining life span will be significantly lengthened by the high quality deep retrofit. The improved building will be fit to last at least the next two hundred years (outliving several generations of power stations and other forms of energy generation) and therefore be of great public benefit.
- 5.33 In the short term, the works will add to the overall carbon footprint due to the construction and use of new materials. In the medium to long term however, the upgrade will result in the reduction of energy consumption, thus decreasing the carbon footprint and achieving ‘zero-zero’ status in both operational and embodied energy. This also takes into account expected maintenance cycles and components’ life cycle carbon emissions.
- 5.34 The proposed would thereby be entirely supported by the Development Plans policies on sustainable development and construction.

6.0 Conclusion

- 6.1 The Government actively supports the extension of appropriately designed residential extensions and there are no policies within the development plan which seek to prevent such forms of development. It further supports energy efficient homes and the retrofit of dwellings in terms of such matters.
- 6.2 Furthermore, both national guidance and local policy seek to improve existing housing stock, and, on that basis, it is submitted that in principle the development proposed not only accords with planning policy it is also supported by it.
- 6.3 This application seeks to extend this existing dwelling in a number of areas all of which form a coherent collective and be of a high standard of design utilising high quality materials entirely appropriate for the building itself and also for the wider area and it is submitted that this development would constitute a high standard of individual design.
- 6.4 In addition the scale; design; materials and setting of this end of terrace dwelling set back from the highway to the rear of a high frontage wall would preserve both the character and appearance of views into and out of the nearby conservation areas and fulfil the “statutory test” in such regards.

- 6.5 The development proposed would avoid any adverse impacts upon the amenities of nearby residents and would also create no adverse impacts in terms of matters of car parking, existing trees or highway safety.
- 6.6 **On the basis of all of the above it is concluded that the development proposed is in accordance with the development plan, would create good quality accommodation in a sustainable location and on that basis is compliant with sustainable development of new housing and the relevant policies for such within the Development Plan.**