

8 Village Close Belsize Lane, London, NW3 5AH

Design and Access Statement

22 August 2023

Rev B



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01. Introduction

Executive Summary

This document has been prepared by Bere Architects on behalf of our client Robin Zaragoza, and outlines the design development work carried out to date for the site at 8 Village Close, Belsize Lane, London, NW3 5AH.

It lays out how the constraints and opportunities presented by the site have been identified and maximised to produce a high quality, site-specific design response, which will respect the character of the surrounding context whilst providing a high-quality deep retrofit resulting in a highly energy-efficient and ecological building.

This document should be read in conjunction with the drawings and consultant reports submitted alongside.

Outline Proposal

Our proposal is to create a Passive House on the site of an existing 1960s end-of-terrace house. We are proposing an extension and renovation to achieve an exemplary, energy-exporting home whereby the building becomes a net producer of energy. It is a responsible, visionary family home designed for permanence and to support multi-generational family occupancy.

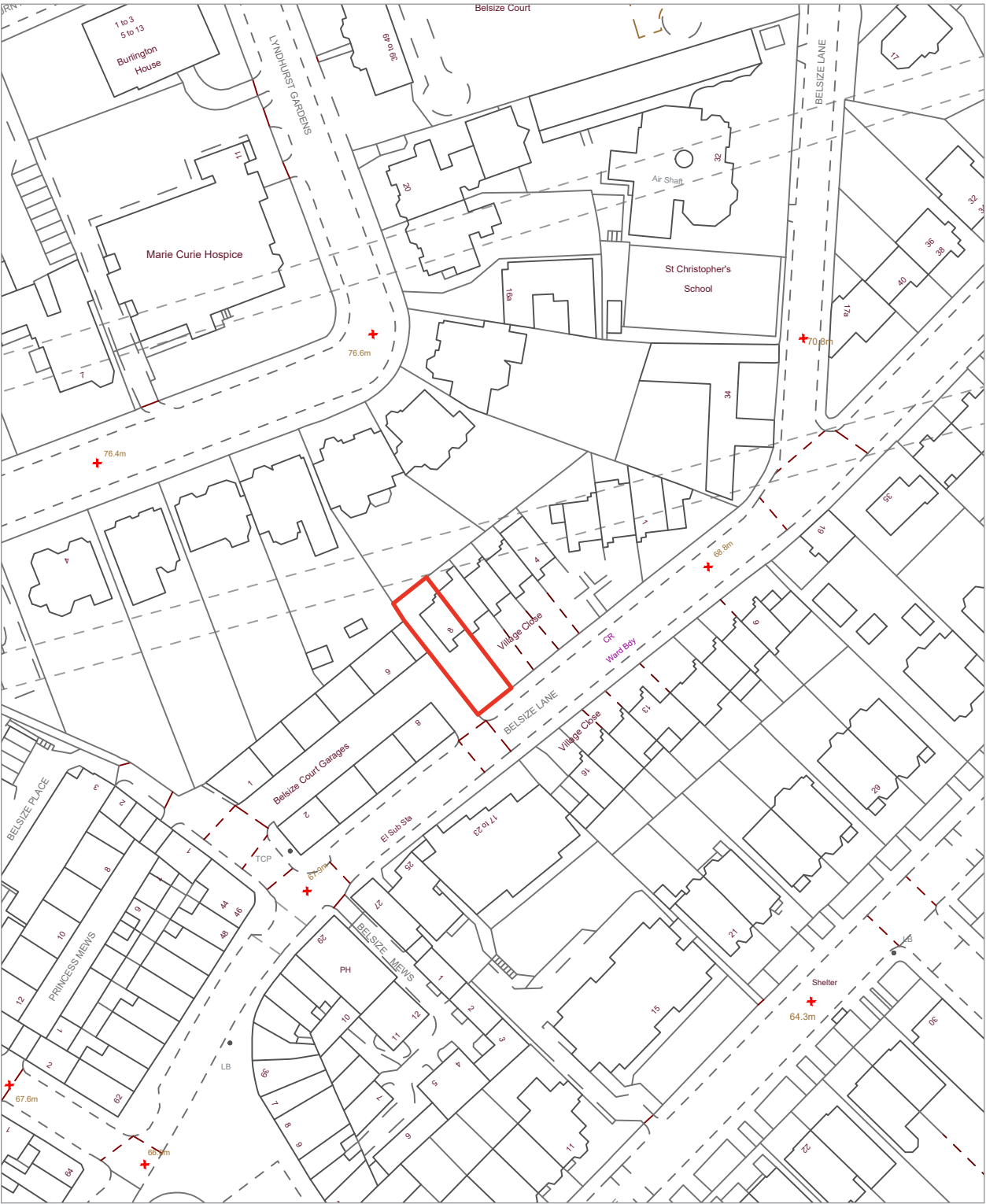
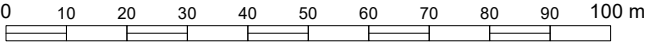


Figure 1. Existing Location Plan



02. Site Location & History

Site Location

The site is located in the London Borough of Camden and sits between two conservation areas at the northern end of Belsize Lane. The North West boundary is shared with Fitzjohns Netherhall Conservation Area and the South West boundary is shared with Belsize Park Conservation Area.

There are good public transport links within walking distance: Belsize Park Underground Station (7 minutes), Hampstead Heath Overground Station (11 minutes), Swiss Cottage Underground Station (11 minutes) and Finchley Road Station (14 minutes). There are several nearby bus stops.

Site History

The house is at the end of a terrace which was originally built as part of the 1960s development of Ornan Road and Belsize Lane. The terraces in this development have a largely homogenous style and are the dominant type in the area excluded from Fitzjohns Netherhall and Belsize Park Conservation Areas.

Whilst the original drawings for Village Close could not be found in the Camden archives, the GLC Supplement to names of streets and places from 1955-1966 confirms that the naming of Village Close was approved in 1960.

Map Key:

Site Boundary

Fitzjohns Netherhall Conservation Area

Public Transport

Belsize Park Conservation Area



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Figure 2. Satellite imagery of 8 Village Close

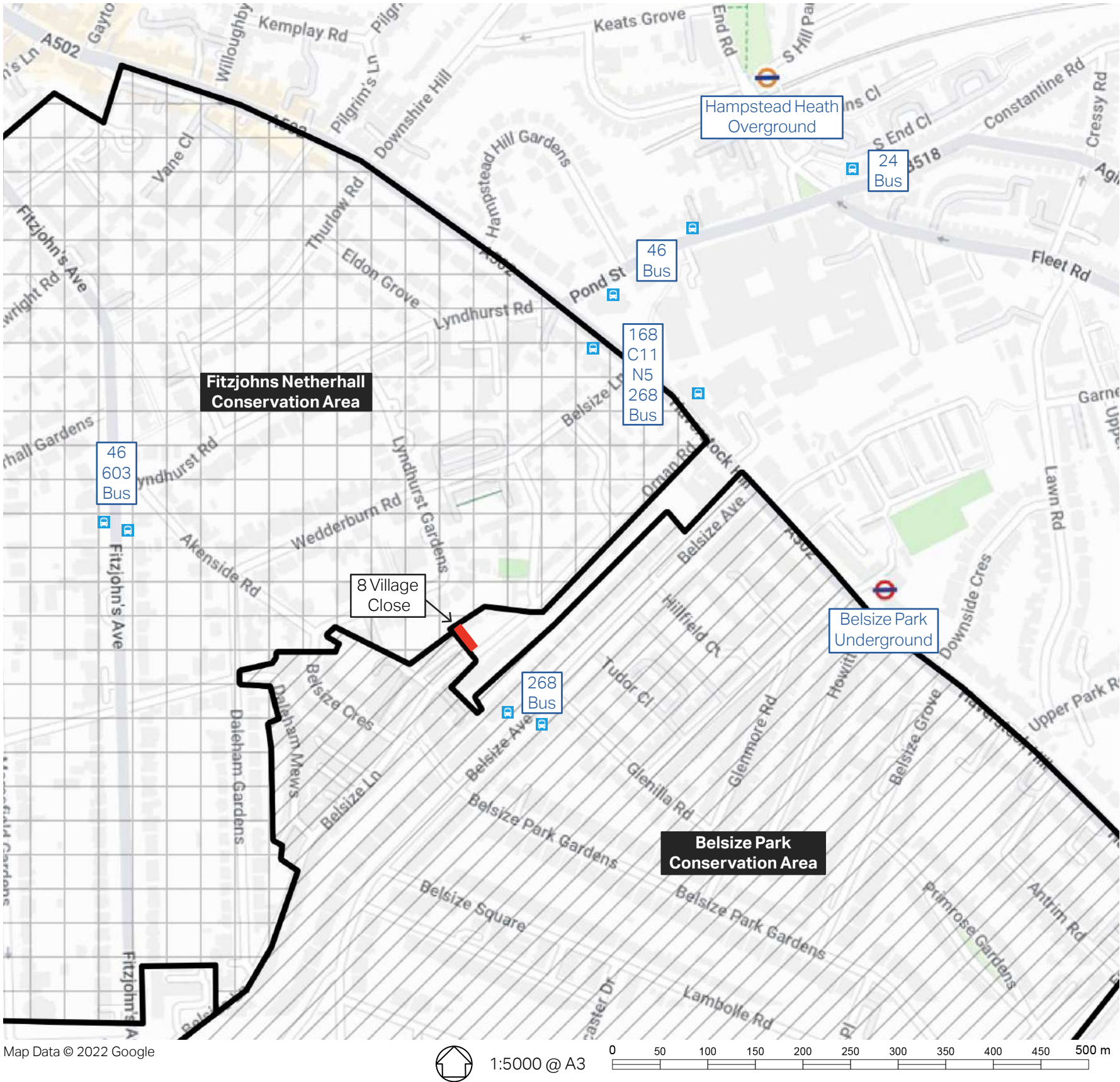


Figure 3. Adjacent conservation areas and nearby transport

03. Existing Site

Site Plan

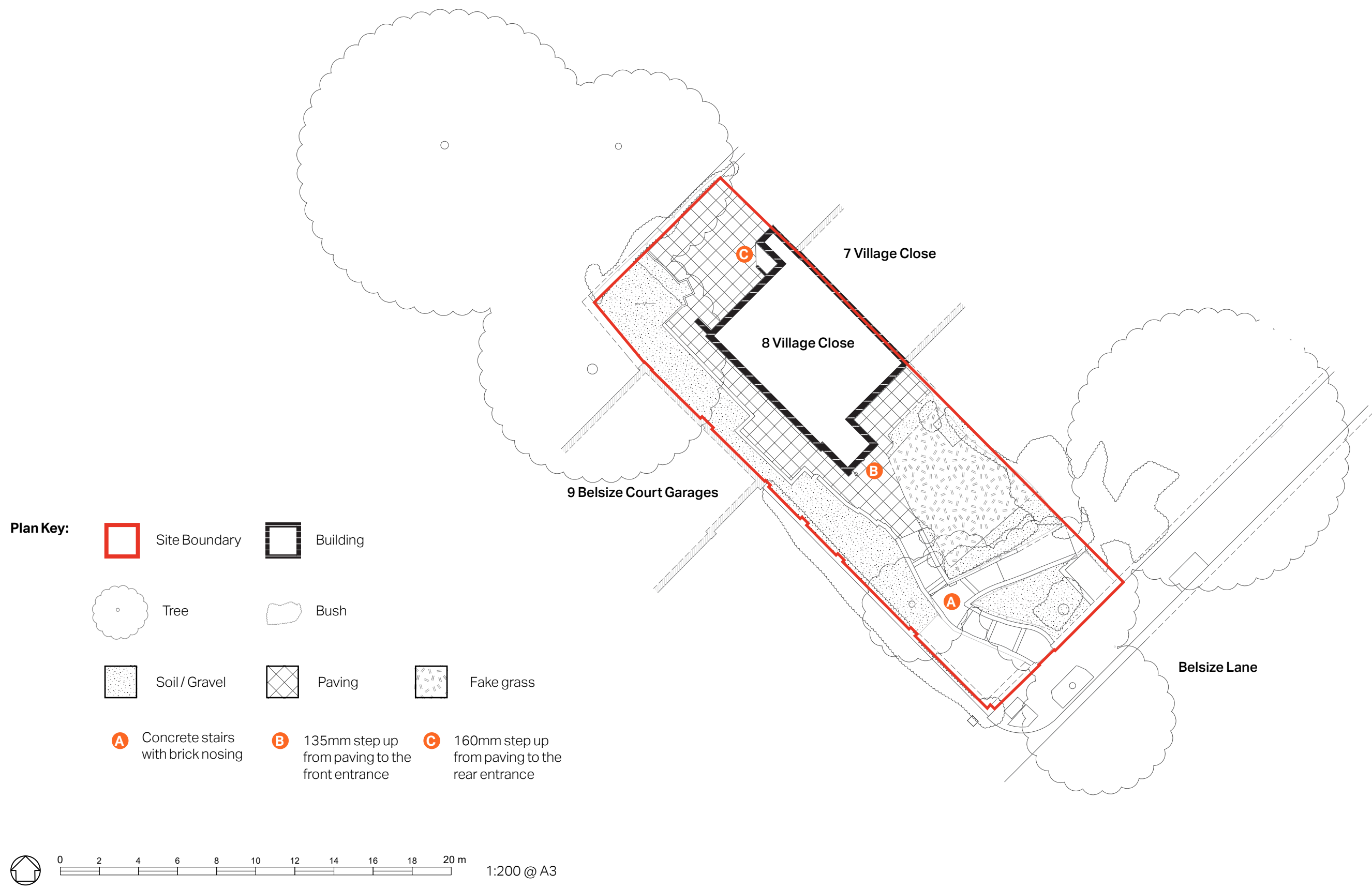


Figure 4. Existing Site Plan

Immediate Context

The site has a strong sense of privacy and separation from the public realm due to tall boundary walls along the street. These are retaining walls which hide the significant level change from street to site level.

- A** Entry is at the South East end of the site through a door on Belsize Lane. This entrance is shared with No. 7 Village Close.
- B** The outside pavement level of Belsize Lane is around 1.7m below the level of the front garden of 8 Village Close.
- C** A staircase immediately within the wall splits in two directions, providing access to both front gardens of Nos. 7 and 8 Village Close.
- D** The access to No. 7 is through the site of No. 8 and has been granted as a right of way in the title register.
- E** A timber fence screens the access to No. 7 from the front garden of No. 8 and separates the front gardens of Nos. 7 and 8.
- F** A brick wall separates No. 8 Village Close from No.9 Belsize Court Garages. The section highlighted in solid black on the site plan is included in the title register for No. 9 Belsize Court Garages.

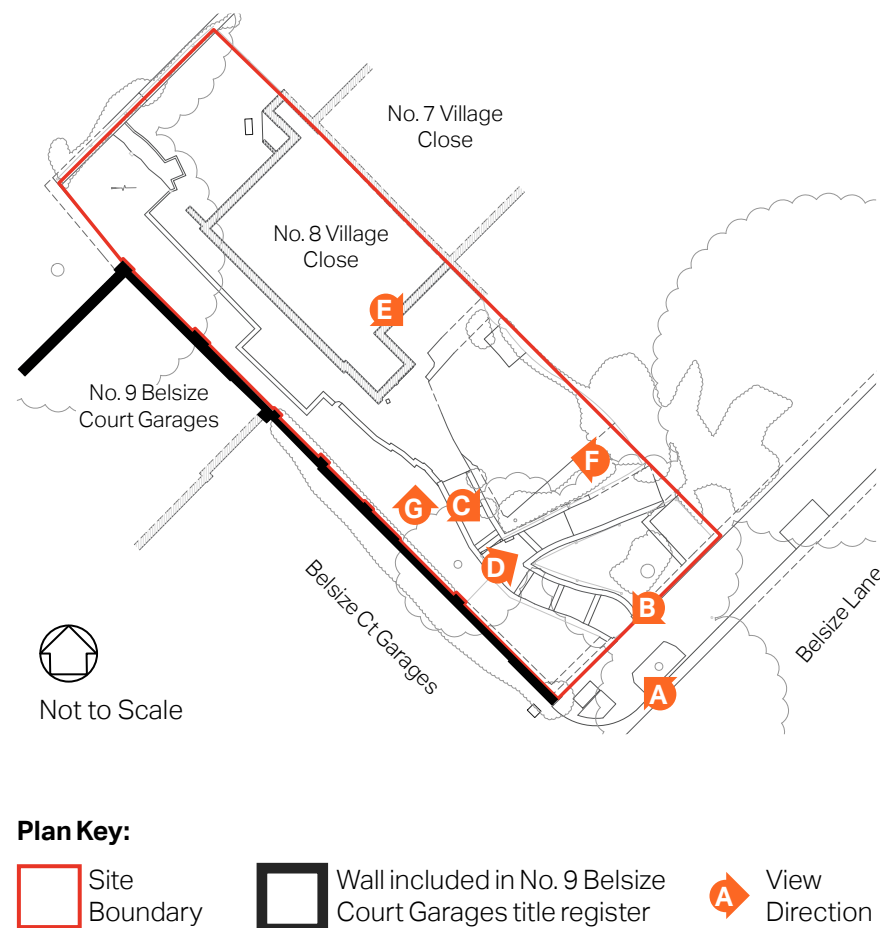


Figure 5. Entrance to site from Belsize Lane

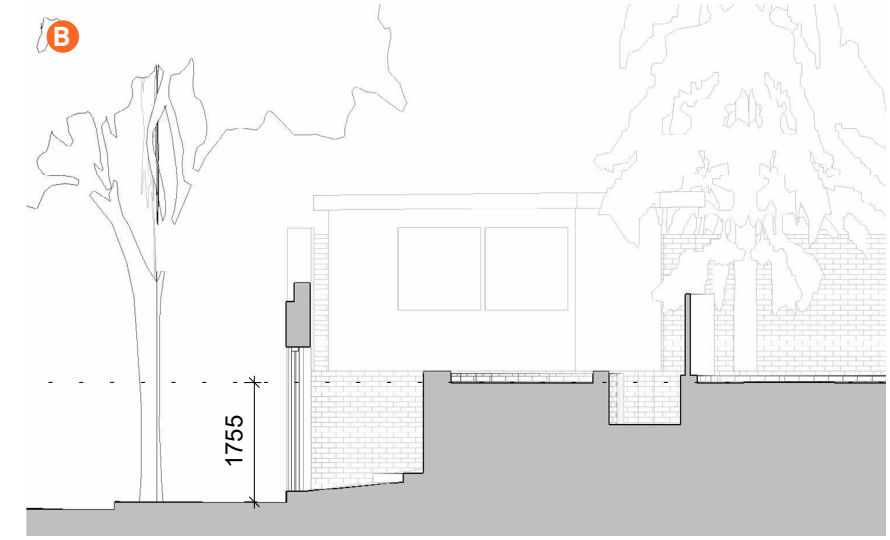


Figure 6. Entrance to site from Belsize Lane, section



Figure 7. Staircase to No. 8 Village Close



Figure 8. No. 7 Village Close right of way



Figure 9. No. 8 Village Close front garden seen from first floor window



Figure 10. No. 8 Village Close front garden



Figure 11. No. 8 Village Close front garden

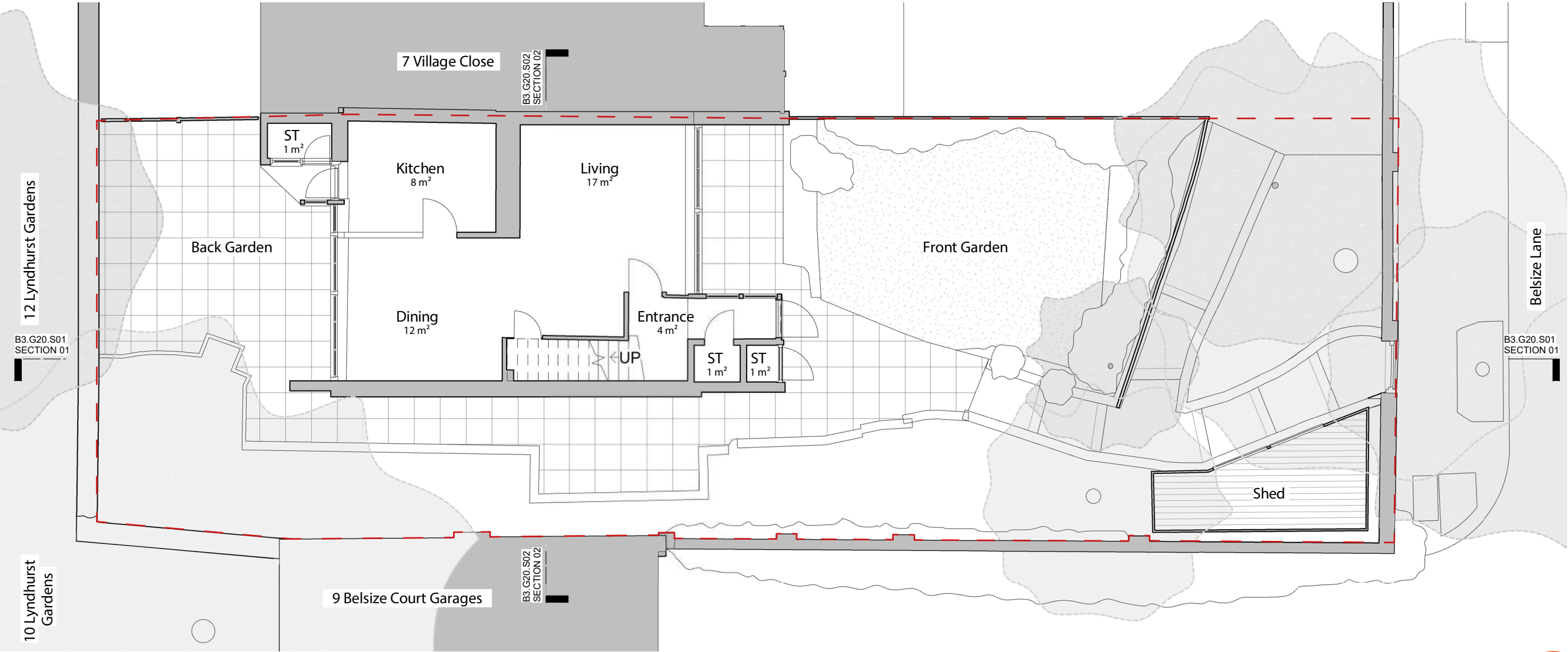
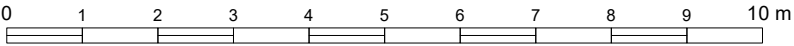


Figure 19. Existing Ground Floor Plan

1:100 @ A3



Existing Plans

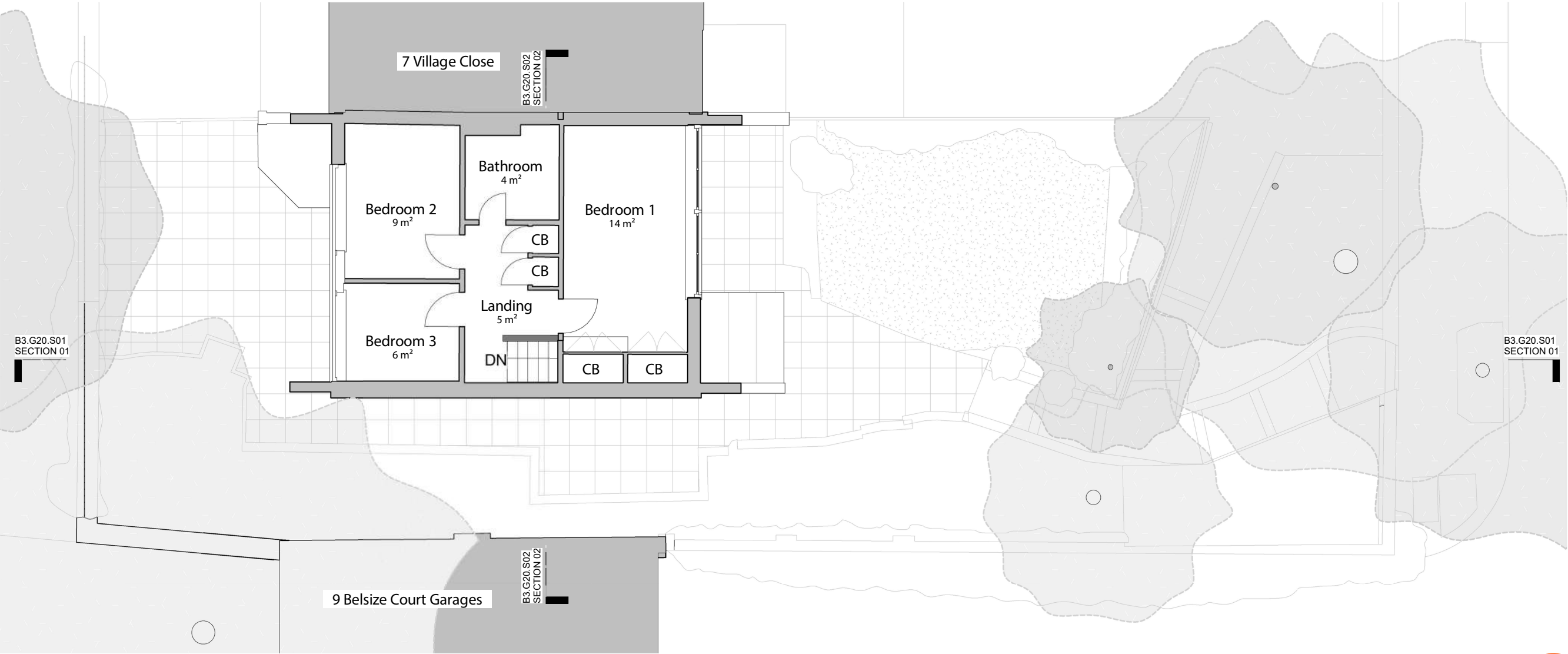
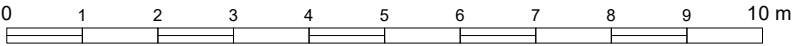


Figure 20. Existing First Floor Plan

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Existing Plans

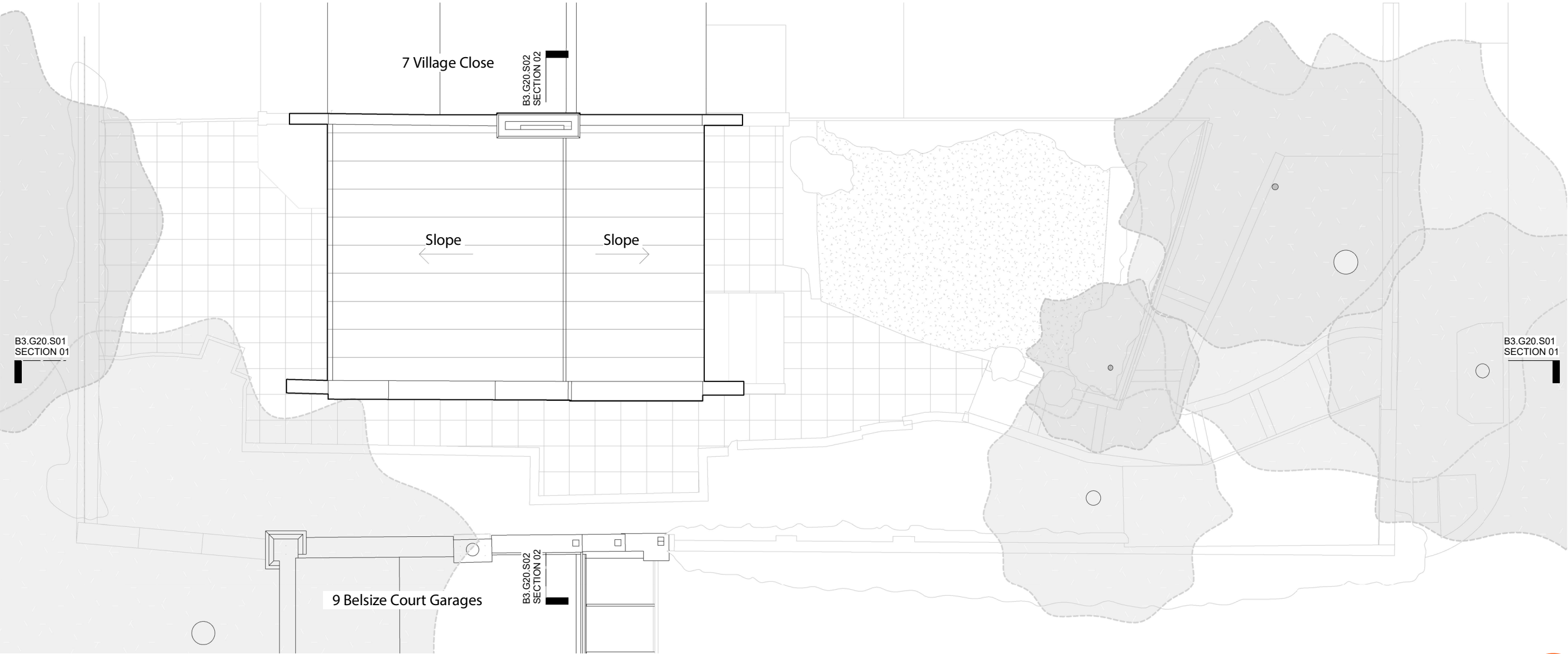
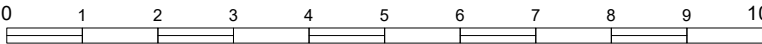


Figure 21. Existing Roof Plan

1:100 @ A3



Existing Sections

- Exact roof buildup is unknown. Assumed roof taken from survey drawings.

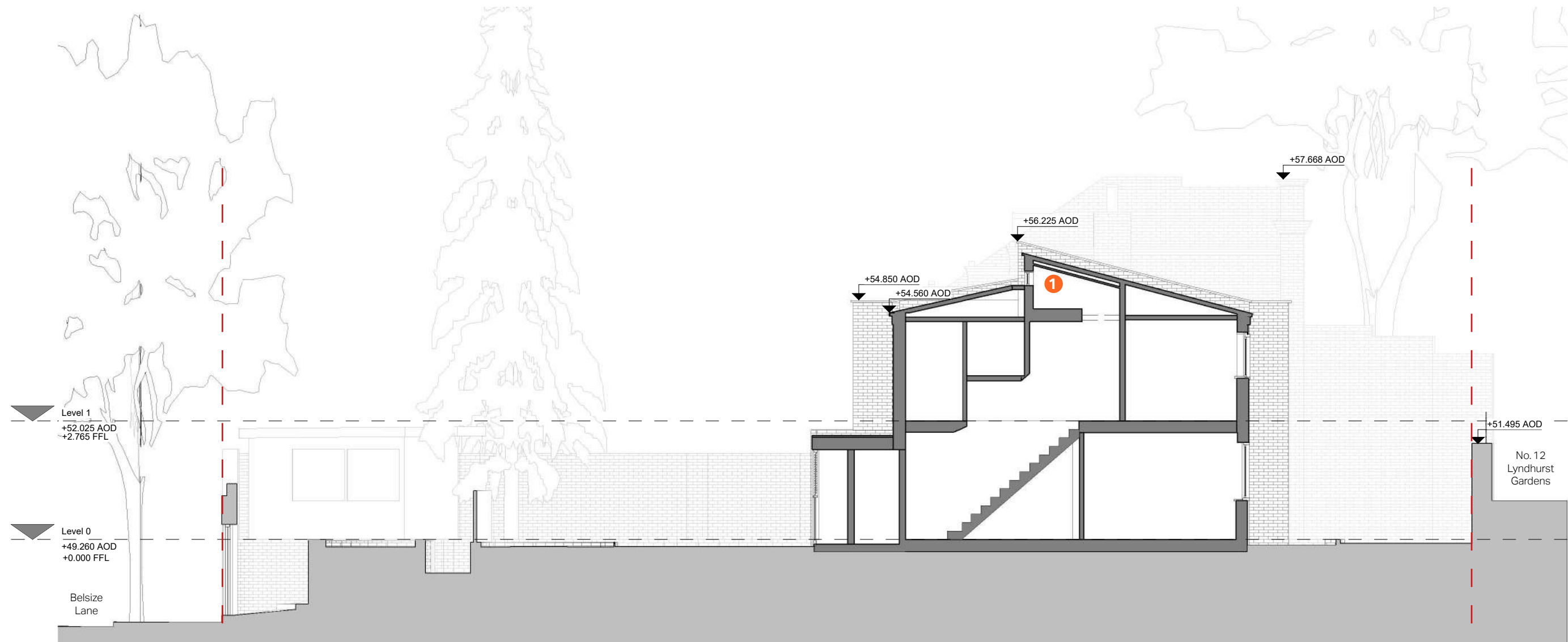
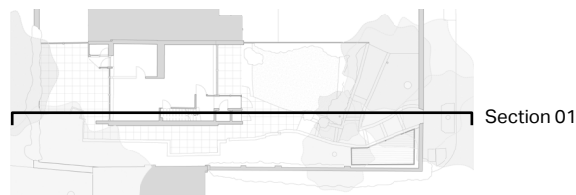
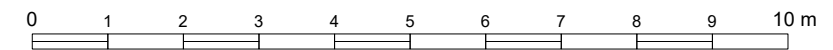


Figure 22. Existing Section 01

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Section 01

Existing Sections / Elevations

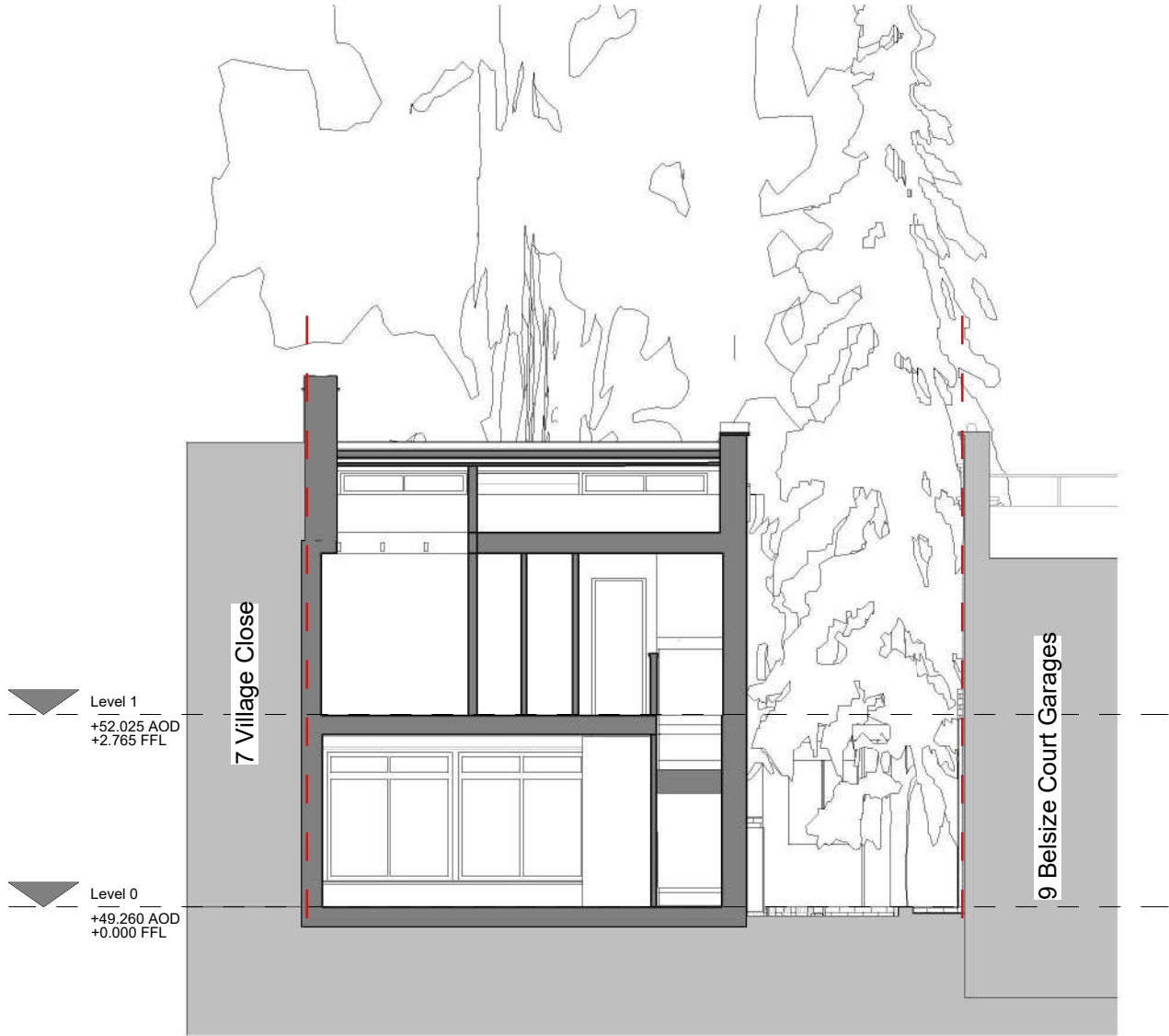


Figure 23. Existing Section 02

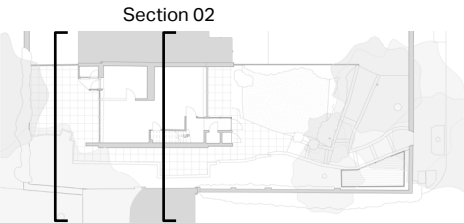
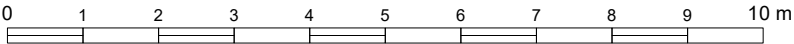


Figure 24. Existing North West Elevation

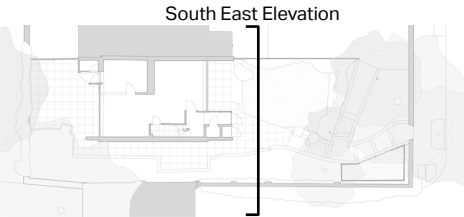
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Existing Elevations



Figure 25. Existing South East Elevation



Existing Elevations

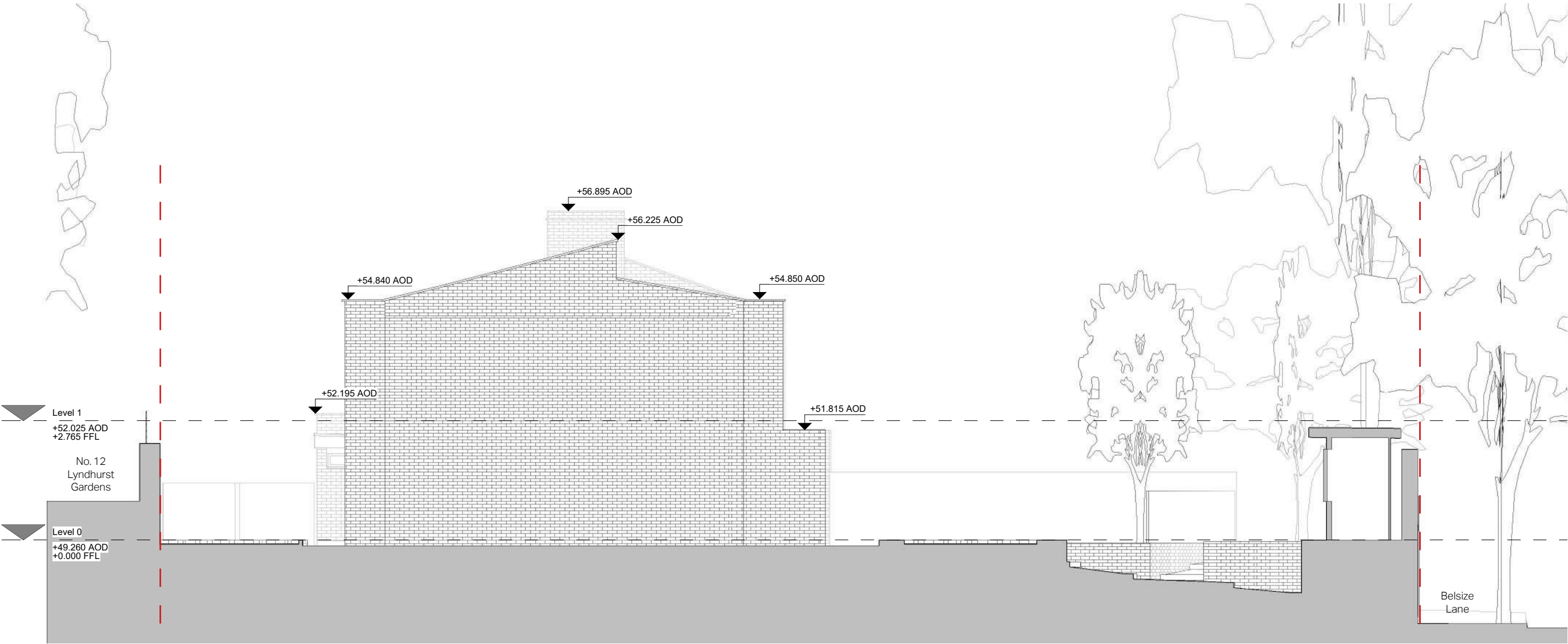
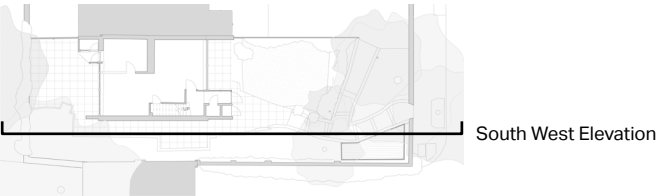


Figure 26. Existing South West Elevation

1:100 @ A3



04. Area Characteristics

Immediate Neighbourhood

The site of 8 Village Close is situated in a residential area and borders two conservation areas. In the streets adjacent to 8 Village Close, the houses are typically 3-4 storeys. By comparison, the two storey terraces of Village Close are lower in height.

A North West of the site, situated in the Fitzjohns Netherhall Conservation Area, is Lyndhurst Gardens. The closest row of houses, Nos. 4-16, are Grade II listed. This includes their front garden walls and gate piers

B There is currently a degree of separation between Lyndhurst Gardens and Village Close; a significant level change, the rear gardens of the properties, a number of large mature trees and planting on the bordering garden walls create a sense of privacy for both properties.

C South West of the site, situated in the Belsize Park Conservation Area, is Belsize Court Garages. Whilst these buildings are identified as making a positive contribution to the area, they are not listed. The 'Belsize Conservation Area Statement' (Camden, 2003) describes these buildings as:

'An attractive group of relatively intact mews terraces, many retaining original features such as garage doors, sash windows, and a door at first floor to No. 6.'

D It is noted that the site's closest neighbour, No. 9:

'Has an overtly modern extension but this maintains the building line and scale.'

E A brick wall with notable detailing separates No. 9 Belsize Court Garages from the site of 8 Village Close. The wall was raised to accommodate the modern two-storey extension of No. 9 Belsize Court Garages. The original stepped features were removed to allow the construction of the side wall, and similar features were reconstructed at the top of the new wall.

The neighbouring mews at Belsize Court Garages was constructed around 1880 as livery stables (Camden, 2003) whilst the modern extension at No.9 Belsize Court Garages was built following a successful planning appeal in 1997, regarding planning applications ref: PW9702287 (proposal) and ref: CW9702288 (demolition of existing).

Map Key:



Figure 27. Frontage of Lyndhurst Gardens Nos. 10 - 16



Figure 28. No. 8 Village Close rear garden view towards Lyndhurst Gardens



Figure 29. View towards No. 9 Belsize Court Garages

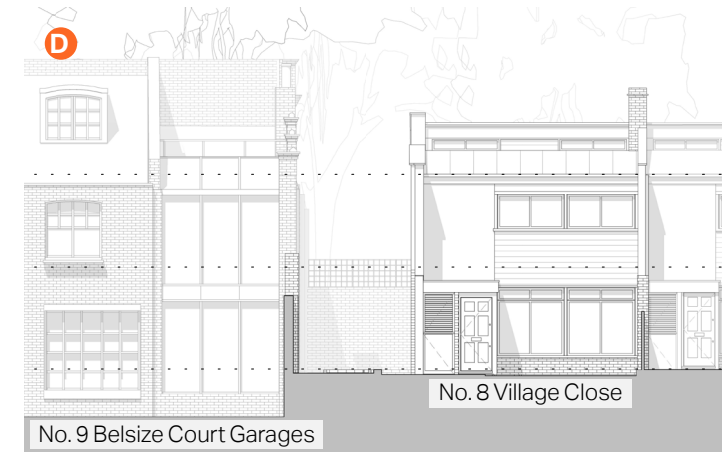


Figure 30. South East elevation of existing No. 8 Village Close

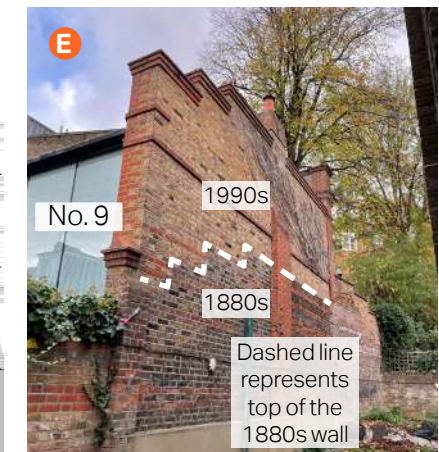


Figure 31. No. 9 brick detail



Figure 32. Satellite Imagery of surrounding area

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Street Context

8 Village Close is situated at the end of a terrace which extends North East along Belsize Lane. Terraces of a similar typology are located across the street and further North East on Ornan Road.

- A** Cladding materials across the terrace are predominantly timber, tile and brick. Of the 16 properties at Village Close, 8 have planning records granting permission for extensions or conservatories between the period 1983 - 2021.
- B** At the South Eastern end of the site, a garden wall and large mature trees inside the site boundary obscure the building from Belsize Lane, creating a strong sense of privacy. This front garden wall is outside of the conservation areas. No. 8 and No. 7 Village Close share one entrance from Belsize Lane while Nos. 1-6 share another entrance further down the road.
- C** On the opposite side of the street is a similar terrace which is not screened from Belsize Lane.



Figure 33. Nos. 1-8 Village Close from No.8 front garden

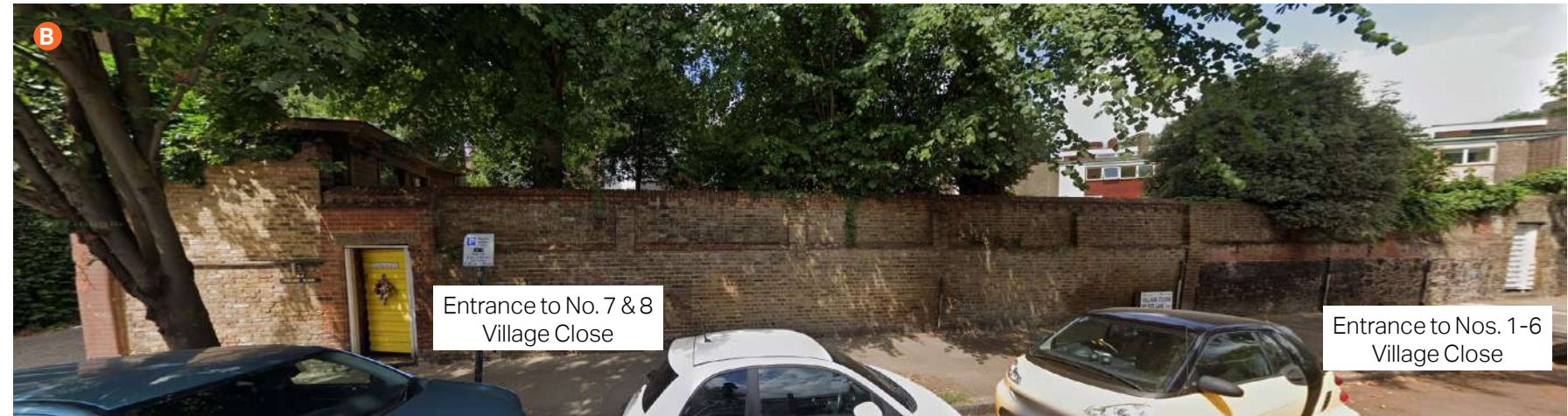


Figure 34. South East wall separating Nos. 1-8 Village Close from Belsize Lane



Figure 35. Nos. 9-16 Village Close seen from the street

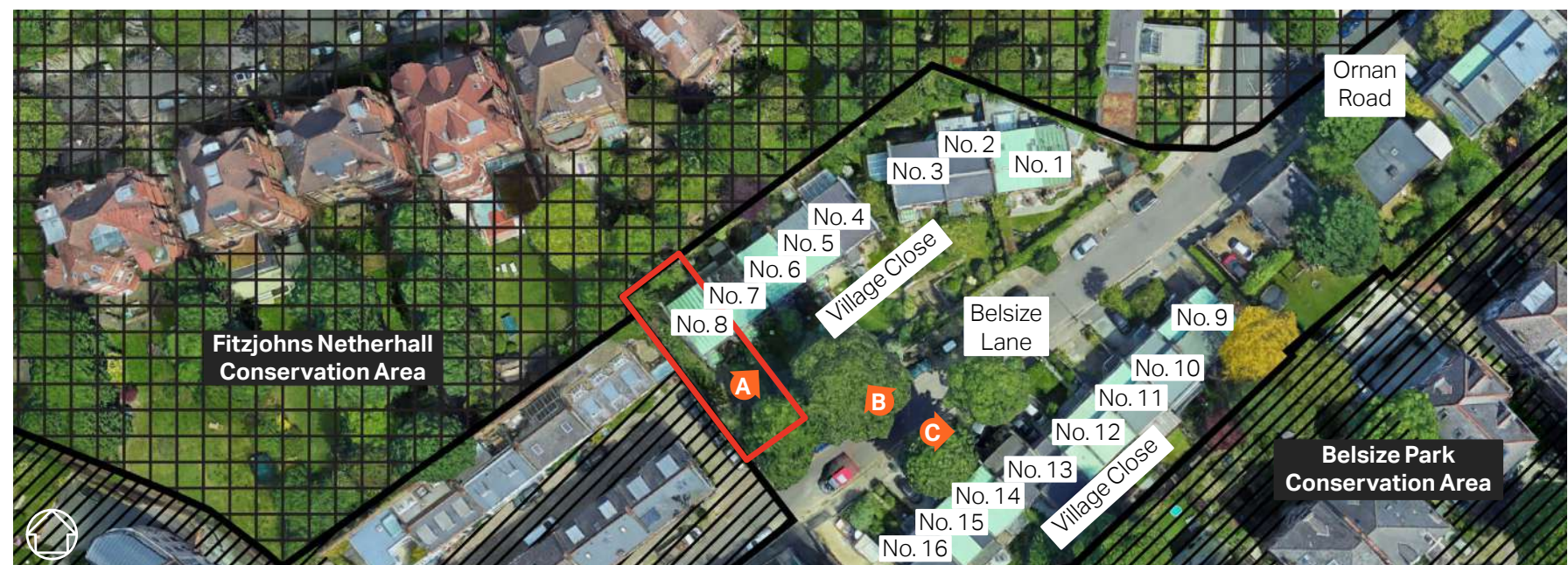


Figure 36. Satellite imagery of surrounding area

Map Key:

-  Site Boundary
-  Fitzjohns Netherhall Conservation Area
-  View Direction
-  Belsize Park Conservation Area

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05. Planning Overview

Summary

This chapter covers relevant planning considerations and comprises the following points:

- Conservation Areas
- Tree Preservation Orders
- Transport Links / PTAL
- Daylight and Sunlight Analysis
- Flood Risk
- Planning History & Neighbouring Sites

For a detailed planning, design and access statement outlining all relevant planning considerations that have been coordinated with the consultant team, please refer to separate Planning Statement prepared by Allen Planning.

Conservation Areas

The 1960s terraces of Village Close are not documented as contributing any historical or architectural merit to the surrounding area and subsequently the site of 8 Village Close is not included in either of the bordering conservation areas. Retaining walls and level changes at the site boundaries help to obscure the site from conservation areas.

Tree Preservation Orders

SJA trees surveyed the site and produced a tree survey plan and schedule. The survey plan can be seen below in Figure 37.

Included in the survey are four nearby trees covered by TPOs (Trees T3, T6, T8 and T9), of which one tree is on site (T6 - European Lime).

The neighbouring trees T1, T2 and T3 are within conservation areas and therefore protected implicitly from common law pruning rights within the site.

The proposed works do not encroach on any root protection areas identified in the tree survey. In particular, it is noted that the significant level change between 8 Village Close and both bordering conservation areas has restricted possible root growth into the rear corner of the site. As, such there is no risk of harm to trees outside of the site.

There is no tree removal proposed within the site and amendments to the site entrance are positioned to avoid disturbance of any root areas at the front of the site. Proposed tree planting is located outside of the existing root areas and therefore poses no risk.

Transport Links / PTAL

The transport maps below were accessed through the TFL WebCAT tool. The PTAL map is the 2021 forecast based off the 2015 dataset. The Travel Time map is the 2021 forecast based off the 2011 dataset. The site has a PTAL rating of 4 with good access public transport networks.

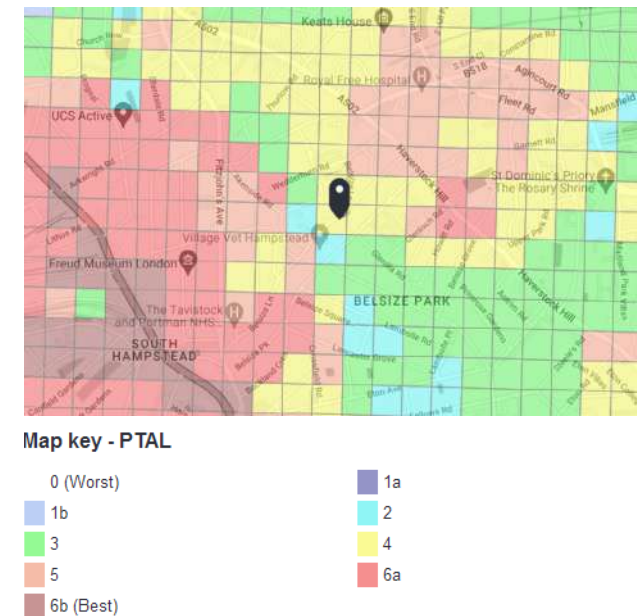


Figure 38. PTAL map, Copyright 2023 TFL

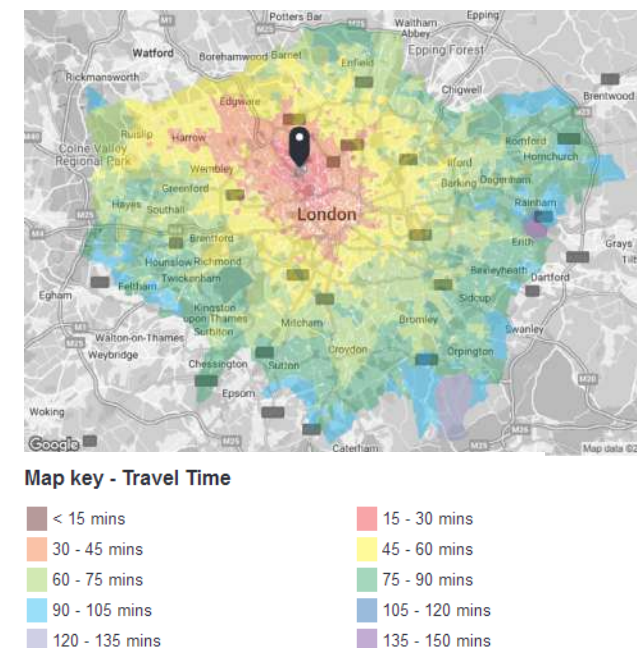


Figure 39. Travel Time map, Copyright 2023 TFL

Daylight and Sunlight

The proposal takes advantage of the space between existing projections and down the side of the building. This enables an enlarged foot print of the building without negatively affecting access to daylight to neighbouring buildings.

Additionally, where the side extension has a front projection, it is distanced from the neighbouring wall.

Flood Risk

According to the government's flood map for planning, the site is located in zone 1 with a low probability of flooding. However, the site is classified as 'high risk' for flooding from surface water. 'High risk' means that this area has a chance of flooding of greater than 3.3% each year. The flood risk map shows the risk is towards the rear of the property.

This tool is not reliable for identifying individual properties at risk. It is noted however, that Lyndhurst Gardens is at a higher level than Village Close, and the rear garden of 8 Village Close is predominantly paved. Currently, any flood risk is mitigated by a step up into the property. At the rear entrance this step is 160mm and at the front entrance this step is 135mm.



Figure 40. Flood risk map

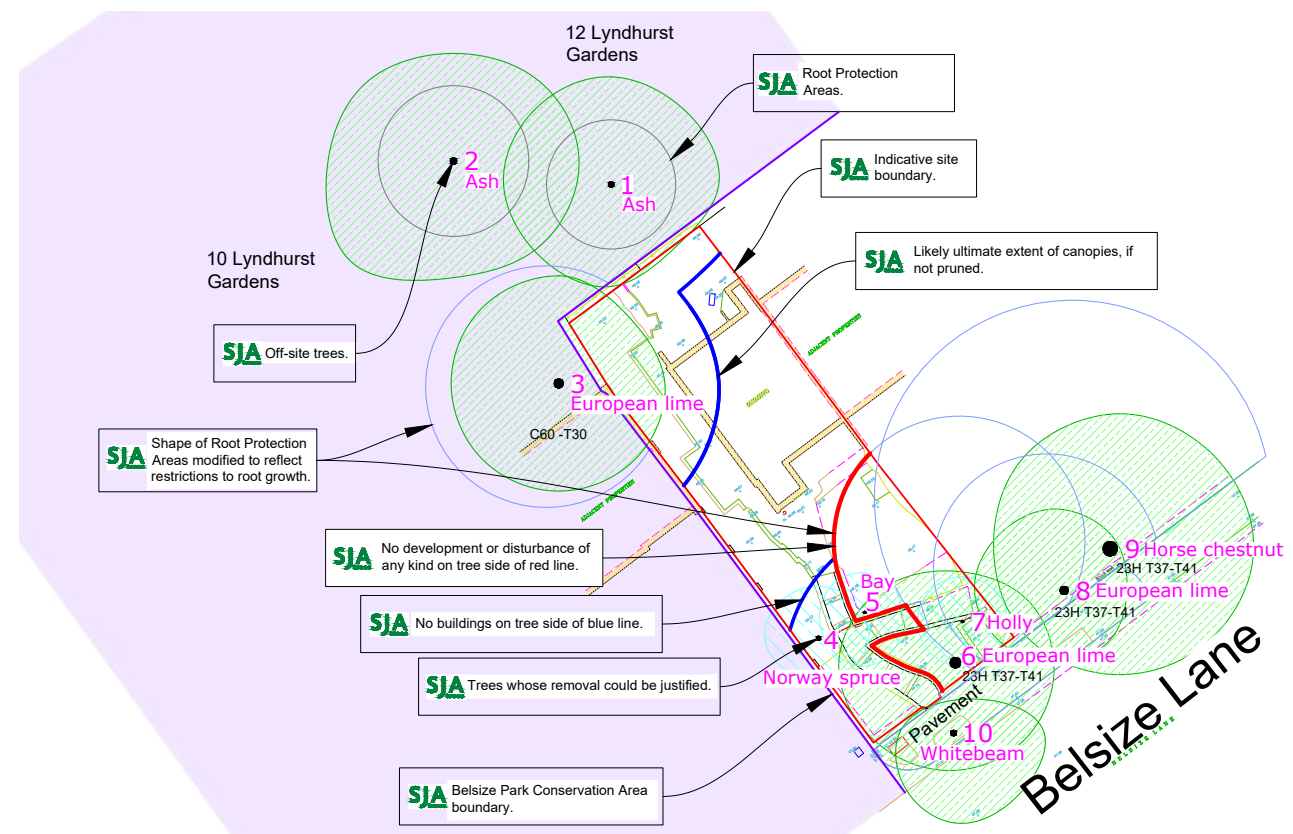


Figure 37. Tree survey plan

Planning History

A previous planning application at 8 Village Close was granted with conditions in 1993:

08/06/1993 Ref:9300680

Description:

"Erection of a two-storey side extension and a single storey rear extension with a first floor balcony, as shown on drawing numbers 1001A 1002A sketches A B C. (Foundation and Construction details) as revised by letters 17th November 1993 25th October 1994 and 10th May 1995."

Additional Condition(s):

01 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture, those of the existing building, unless otherwise specified on the approved application.

02 All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage to the satisfaction of the Council for a period of at least 12 months following the completion of the development hereby approved, or such longer period as may be required under Sections 198 and 211 of the Town and Country Planning Act 1990. Any trees removed without the Council's consent or dying or being severely damaged during that period shall be replaced as soon as is reasonable possible and, in any case, by not later than the end of the following planting season, with trees of such size and species and in such positions as may be agreed with the Council, without prejudice to any further action the Council may consider appropriate to secure the protection of existing trees.

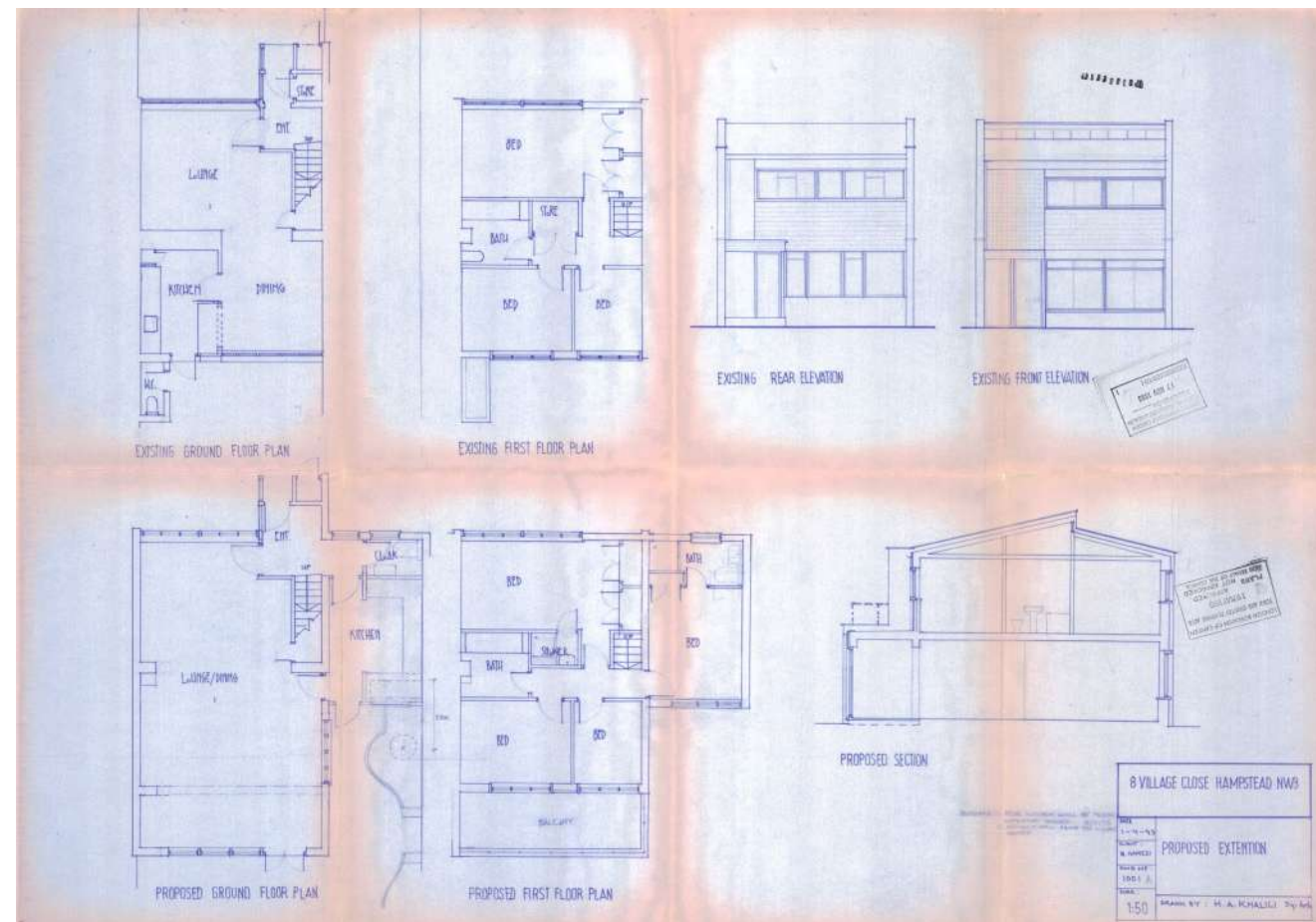


Figure 41. Proposed extension Rev A 01/04/93

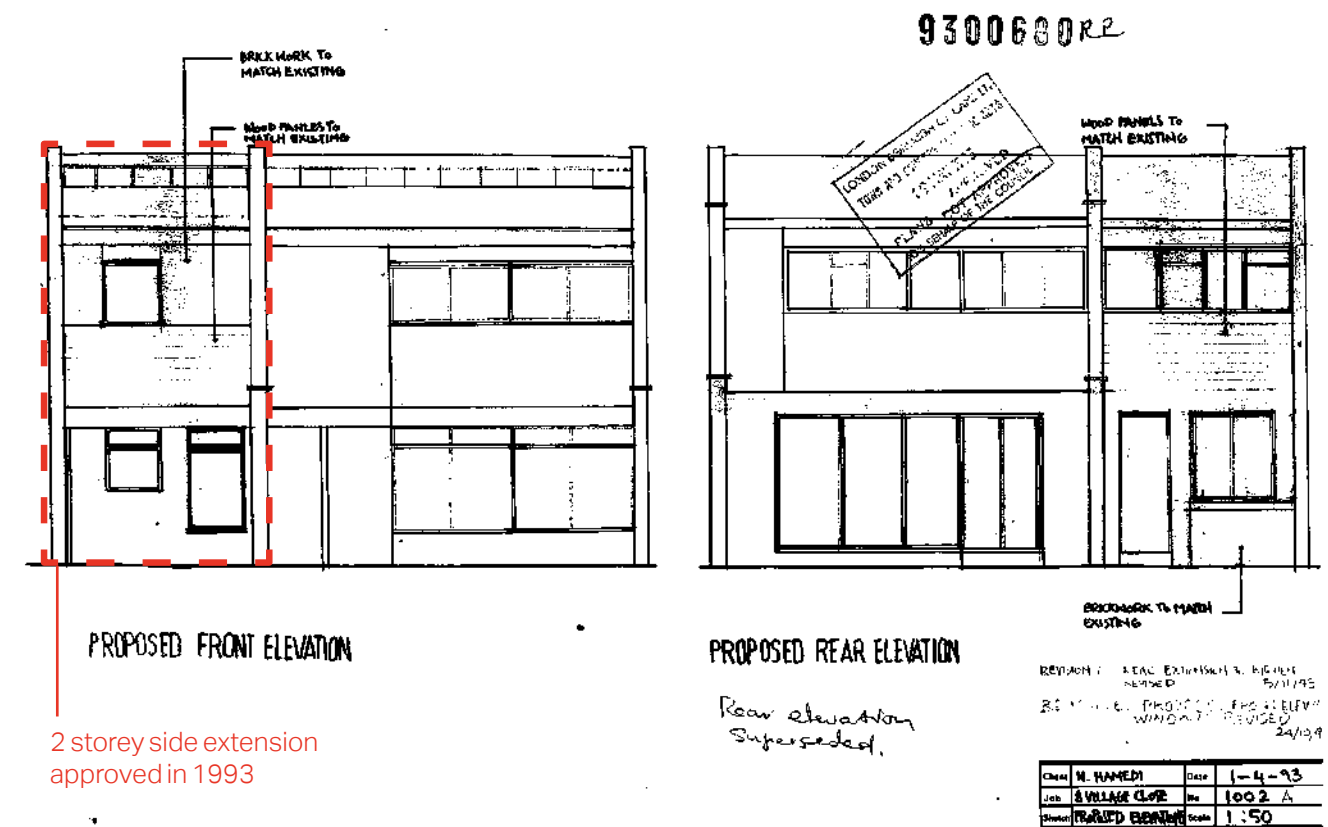


Figure 42. Proposed extension Rev B 24/10/94

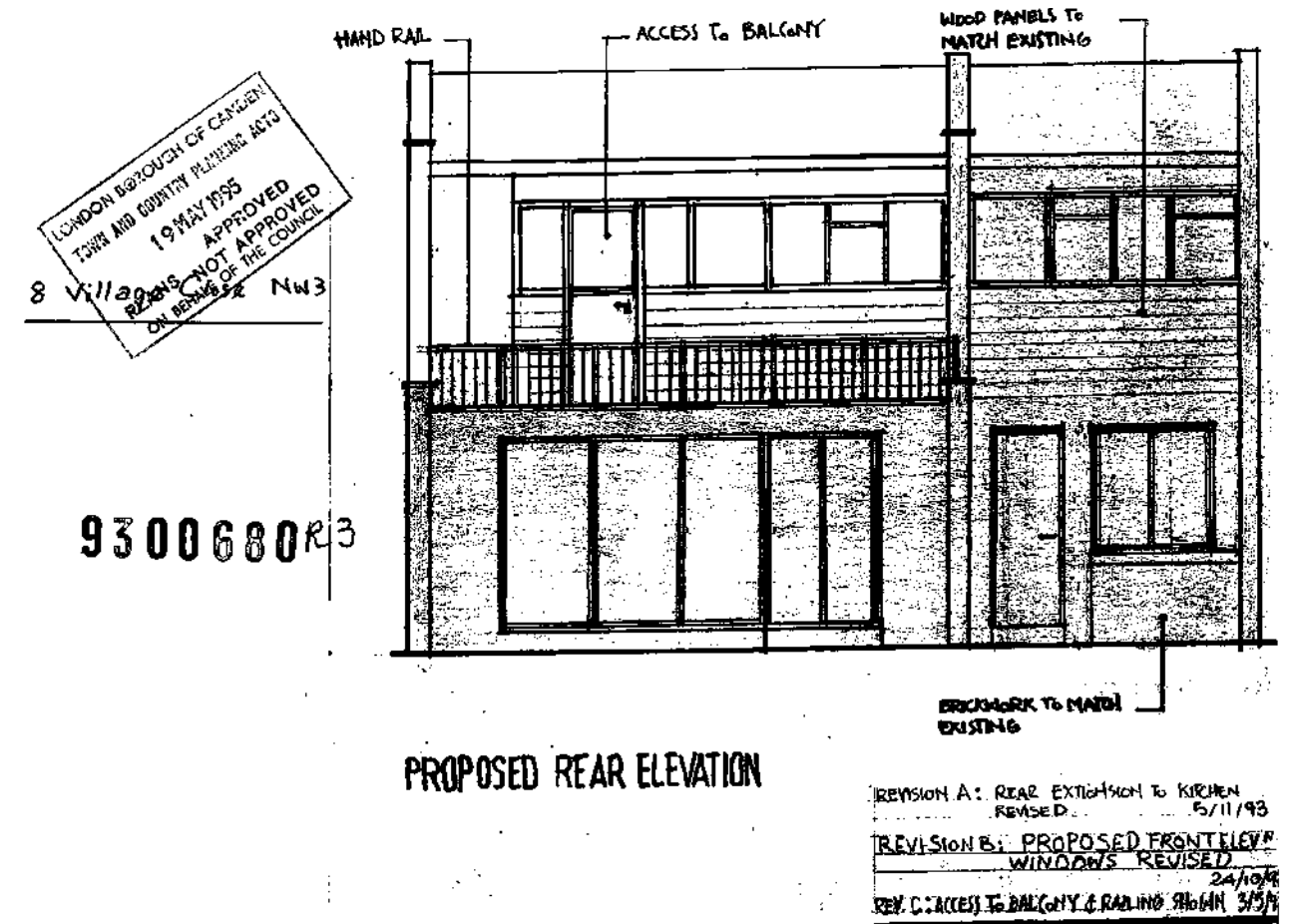


Figure 43. Proposed extension Rev C 03/05/95

Planning History

Village Close					
1 Village Close:			10 Village Close:		
04/09/2014	Ref: 2014/5108/P	GRANTED	22/08/2018	Ref: 2018/4048/P	GRANTED
Erection of a single storey ground floor side extension, an infill rear extension, replacement and re-configuration of roof lights in existing rear extension and alterations to doors and windows.			Installation of roof light to flat roof of front vestibule of dwelling house (C3)		
15/03/2000	Ref: PWX0002224	REFUSED	27/04/2017	Ref: 2017/1944/P	GRANTED
Erection of garage and storeroom in front garden and associated installation of entrance door and garage door in boundary wall, As shown on drawing numbers; site plan; S/1, 2, 3A, 01A, 2A, 3A, 4A, 5A, 6.			Erection of part single, part two storey rear extension to dwelling house and repositioning of front door to enclose existing vestibule (Use Class C3).		
2 Village Close:			12 Village Close:		
01/04/2004	Ref: 2004/1240/P	GRANTED	29/11/2017	Ref: 2017/6576/P	GRANTED
Erection of single storey rear extension			Erection of rear single storey extension. Garage conversion involving the replacement of the garage door with new windows. Replacement front/rear windows and alterations to the external cladding.		
5 Village Close:			13 Village Close:		
19/05/2022	Ref: 2022/1921/P	GRANTED	24/11/2005	Ref: 2005/4929/P	GRANTED
New window to front porch to dwelling			Erection of side extension at first floor level and rear extension at ground and first floor levels to provide additional residential accommodation for the single family dwelling house.		
24/05/2021	Ref: 2021/1465/P	GRANTED	16 Village Close:		
Replacement of windows to front ground floor level, part single part two storey rear extension, following demolition of existing single storey extension and garden shed, all to dwelling			17/11/1983	Ref: 37240	GRANT W/ CONDITIONS
9 Village Close:			Conversion of the private garage nearest to the dwelling house into an additional bedroom and the erection of a single-storey rear extension to provide a garden room.		
12/03/1985	Ref: 8500431	GRANTED			
Erection of a conservatory at the rear as shown on drawing No.2/L/85/2.					

Belsize Court Garages		
8 Belsize Court Garages:		
17/01/2012	Ref: 2012/0282/P	GRANTED
Minor material amendment as variation of condition 3 (development to be carried out in accordance with approved plans) of planning permission (2011/1042/P) granted on the 26/04/2011 for the enlargement of existing dormer and erection of 1 x dormer window on the Belsize Court Garages elevation and replacement of existing roof light with conservation style roof light on Belsize Lane elevation. The minor material amendment sought is for alterations to the roof light on the rear roof slope (fronting Belsize Lane).		
03/03/2011	Ref: 2011/1042/P	GRANTED
As described in application Ref: 2012/0282/P above.		
9 Belsize Court Garages:		
11/04/1997	Ref: PW9702287	GRANTED ON APPEAL
Erection of a two storey extension to mews house, as shown on drawing numbers; BCG/08, /10 and photographs.		
11/04/1997	Ref: CW9702288	GRANTED ON APPEAL
Demolition of garage, as shown on drawing numbers; BCG/08, /10 and photographs.		
28/05/1992	Ref: 9200505	GRANTED
Alterations to the roof including the erection of three dormer window on the front elevation as shown on drawing no(s) 92056/01 and 02c and letter 21.08.92 and photographs as revised on 29.06.92 and 28.07.92.		

Map Key:

Site Boundary

Village Close

Belsize Court Garages



Figure 44. Planning key map