

Application ref: 2023/2535/P
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Date: 30 August 2023

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk

www.camden.gov.uk/planning

Mrs Emily Greeves
101 Heath Street
London
NW3 6SS

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:

**14 Oakeshott Avenue
London
N6 6NS**

Proposal: Erection of new single-storey ground floor rear extension, side dormer and rear dormer, alterations to side extension and removal of tree from rear garden

Drawing Nos: Site Location Plan, 234_L01/01, 234_L02/00, 234_L05/01, 234_L05/02, 234_L05/03, 234_L05/04, 234_L04/00, 234_L04/01, 234_L12/00, 234_L15/01, 234_L15/02, 234_L15/03, 234_L15/04, 234_L14/01, 234_L14/02, Design and Access Statement, Arboricultural Method Statement and Tree Protection Plan (dated 4/07/2023 prepared by Simon Pryce Arboriculture), Tree Survey Plans 23/034, Tree survey, existing site, Proposed extension - tree protection plan (TPP)

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Site Location Plan, 234_L01/01, 234_L02/00, 234_L05/01, 234_L05/02, 234_L05/03, 234_L05/04, 234_L04/00, 234_L04/01, 234_L12/00, 234_L15/01, 234_L15/02, 234_L15/03, 234_L15/04, 234_L14/01, 234_L14/02, Design and Access Statement, Arboricultural Method Statement and Tree Protection Plan (dated 4/07/2023 prepared by Simon Pryce Arboriculture), Tree Survey Plans 23/034, Tree survey, existing site, Proposed extension - tree protection plan (TPP)

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017 and policies DH1, DH2, DH3, DH4, and DH5 of the Highgate Neighbourhood Plan 2017.

- 4 Prior to the commencement of construction/demolition works on site, tree protection measures shall be installed in accordance with approved Tree Protection Plan. The protection shall then remain in place for the duration of works on site and works should be undertaken in line with the approved arboricultural method statement, unless otherwise agreed in writing by the local authority.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017 and policy OS2 of the Highgate Neighbourhood Plan 2017.

- 5 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include

- i. a detailed scheme of maintenance
- ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used
- iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures

to take account of biodiversity and the water environment in accordance with policies D1, D2 and A3 of the London Borough of Camden Local Plan 2017 and policies DH1, DH2, and OS2 of the Highgate Neighbourhood Plan 2017.

- 6 Prior to the occupation of the development hereby permitted, the high-level window on the side elevation of the extension, as labelled on drawing 234_L15/02, shall be fitted with obscure glass be non-opening, and the window shall be retained as such for the duration of the development.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with policy A1 of the Camden Local Plan 2017 and policy DH4 of the Highgate Neighbourhood Plan 2017.

Informative(s):

- 1 Reasons for granting permission.

The proposals involve the erection of a single storey part-width rear extension following the demolition of the existing part-width conservatory, the erection of rear and side dormers, minor alterations to the side extension and the removal of a tree in the rear garden.

The rear extension would be part-width and would read as subordinate to the host building. It would be in keeping with the pattern and scale of development in rear gardens along the street. It would be finished in white render with timber framed doors which would be sympathetic to the host building and wider conservation area. A retractable awning is proposed which would be a minor addition that would not detract from the overall appearance of the extension. An acceptable amount of overall garden space would be retained; however, a green roof is proposed on the flat roof which would mitigate against the loss of the garden space. Details of the green roof are secured by condition.

The proposed dormers on the side and rear roofslopes would be read as subordinate to the property's overall roof form. They would be located an even distance from the respective roof margins. The dormers would be in keeping with other dormers along the street including at nos. 7 and 30. The dormers would have clay tiles to match the existing roof, and timber framed windows, which would be in keeping with the fenestration of the host building.

On the side elevation, the existing ground floor structure would be retained. A rooflight is proposed on the flat roof which would be subordinate to the host building and would have limited visibility in views within the conservation area. The existing timber gate would be moved further forward towards the front elevation. The works to side elevation are considered to be minor alterations that would not detract from the overall appearance of the property.

The proposal is considered to preserve the character and appearance of the conservation area. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

The proposal is not considered to cause any adverse impacts on the amenity of adjoining residential occupiers.

The loss of one tree, which is in decline and considered to be category C tree is considered acceptable. The remaining trees in the rear garden would be retained and a condition is attached requiring protection methods to be carried out in accordance with the approved method statement to ensure they are not harmed.

No objections have been received prior to making this decision. One comment was received from a neighbouring occupier in relation to overlooking and privacy issues resulting from the side dormer window and the loss of light from the rear extension. The proposed side dormer window would be obscured glazed and be non-openable which is secured via condition and would reduce opportunities for overlooking. The rear extension would be set back sufficiently from the boundary walls with neighbouring occupiers, and there is also a change in levels with no. 16 being located approx. 0.6m higher than the subject property. The rear extension would thus not fall within the 45 degrees test taken from ground floor rear windows at both nos. 16 and 12, and as such would not result in the undue loss of daylight and sunlight at neighbouring properties. The planning history of the site has been taken into account when coming to this decision.

As such, the proposed development is in general accordance with policies A1, A2, A3, D1 and D2 of the Camden Local Plan 2017 and policies DH1, DH2, DH3, DH4, DH5, DH10 and OS2 of the Highgate Neighbourhood Plan 2017. The proposed development also accords with the London Plan 2021 and the National Planning Policy Framework 2021.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 3 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 4 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the

Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

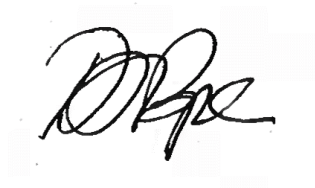
In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

A handwritten signature in black ink, appearing to read 'DPope', is written over a light blue rectangular background.

Daniel Pope
Chief Planning Officer