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H572 3-5 BEDFORD ROW

Planning Amendment Design Document
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1.0 INTRODUCTION

1.1 Project Introduction

This supplementary design document has been prepared by HUT & Daniel Watney in support of an application submitted under Section 73 (S73) of the Town and Country Planning Act (1990) (as amended) and a linked application for Listed Building Consent for the works to numbers 3-5 Bedford Row.

This S73 and LBC application follows the grant of planning permission and listed building consent in May 2023 (2022/4518/P + 2022/4750/L), and pre-application advice received in July 2023.

The May 2023 planning permission and Listed Building consent permitted the following:

“Extensions and alterations of 3 - 5 Bedford Row and 3 - 5 Jockey’s Fields to create additional commercial space (Class E), including erection of a setback fourth floor roof extension to the Bedford Row buildings, erection of a 3rd floor mansard roof extension and remodelled 2nd floor to the Jockey Fields buildings plus associated fenestration changes to its ground and first floors, reconstruction of the intervening link structure with two additional floors plus roof terrace above and rear closet wing extensions, plus green roofs, cycle parking, waste/recycling storage, plant and other associated works.”

The application submitted under S73 is for:

“To vary condition 2 Planning Permission 2022/4518/P to allow design amendments including internal layout optimisation from ground to roof level, amendments to the fenestration of Jockey’s Fields, rear, south and north elevation, landscaping amendments to the roof terrace and a small infill extension to the courtyard at basement level.”

The application submitted under the Listed Building Consent is for:

“Extensions and alterations of 3 - 5 Bedford Row and 3 - 5 Jockey’s Fields to create additional commercial space (Class E), including erection of a setback fourth floor roof extension to the Bedford

Row buildings, erection of a 3rd floor mansard roof extension and remodelled 2nd floor to the Jockey Fields buildings plus associated fenestration changes to its ground and first floors, reconstruction of the intervening link structure with increased basement level footprint, two additional floors plus roof terrace above and rear closet wing extensions, plus internal alterations and refurbishment, green roofs, cycle parking, waste/recycling storage, plant and other associated works. Amendment to scheme approved under 2022/4750/L, to allow design amendments including internal layout optimisation from ground to roof level, amendments to the fenestration of Jockey’s Fields, rear, south and north elevation, landscaping amendments to the roof terrace and a small infill extension to the courtyard at basement level.”

The need for minor amendments has arisen as a consequence of detailed design progression with the technical team. The design amendments are the same within the S73 and Listed Building Consent applications hereby submitted.

This document should be read in conjunction with the documents submitted under both the S73 amendment and Listed Building Consent, in addition to the documents submitted under the original application, including the original Design and Access Statement.

1.2 Summary of the S73 and LBC Application

The purpose of this S73 application and the linked application for Listed Building Consent, is to seek approval for minor design amendments.

In summary, these retain the key design elements of the scheme and retain the historic significance of the building. These changes have emerged following design progression to ensure the development is safe, well-optimised and of the highest quality.

This document highlights the amendments being sought to the consented scheme, which fall broadly into four categories (discussed in greater detail in the following sections). The are broadly categorised as follows:

- Changes to the internal layouts including streamlined cores to give more efficient floorplates, following workshops with Structural Engineers, Approved Building Inspector and Fire Engineer.
- Changes to the fenestration to the new build closet wings and to the Jockey’s Fields elevation. Repositioned Bedford Row dry riser inlet.
- Landscaping on the roof terrace has been adjusted to reflected a detailed scheme which sits underneath the architectural plans approved with the consents.
- A small infill extension to the courtyard at basement level, which internalises previously approved courtyard space which would otherwise be unsatisfactorily sandwiched between the edge of the building and the new plant installations.

This statement should be read in conjunction with the following documents:

- > HUT: Existing & Proposed Drawings
- > Daniel Watney: Planning Statement & Forms
- > The Heritage Practice: Heritage Appraisal

1.3 Background and Summary

The application site comprises 3-5 Bedford Row and 3-5 Jockey’s Fields, together with a connecting ‘link’ building in between. The blocks were rebuilt as one in the 1960s reflecting the Georgian townhouse vernacular to Bedford Row and lower massing against Jockey’s Fields, but lacking traditional articulation and details among townhouse and mews.

Located in south Bloomsbury in the Borough of Camden, the site sits in postcode WC1 at the heart of London’s legal profession. The site enjoys very close proximity to Holborn and Chancery Lane stations while Russell Square, Tottenham Court Road and Farringdon stations are within easy walking distance giving excellent connectivity for potential office occupiers. The immediate locality of the site is surprisingly peaceful, between the wide, grand boulevard of Bedford Row and semi-private Gray’s Inn Gardens.

Following broadly supportive pre-application advice and confirmation from Historic England that they did not wish to raise any objection, an application for planning permission and listed building consent was submitted in October 2022.

Following some design and conservation discussion, minor amendments were made to the scheme and officers recommended approval of the applications in January 2023. The Section 106 Agreement was signed in May 2023 and planning permission and Listed Building Consent were granted.

2.0 PROPOSED CHANGES

2.1 Internal Layout Optimisation

- Throughout:
- > Core optimisation following review of access and fire strategies. Removal of through-lift and replacement with single-sided lift omits additional and unnecessary lobbies to Bedford Row.
 - > Riser and dry riser positions amended to suit existing building structure.
- Basement:
- > Area allocated to basement plant has been increased to facilitate the final specification of the air handling unit as well as irrigation tank for the landscaping.
 - > End of Journey facilities reconfigured to provide unisex showering facilities and optimised cycle storage (with no reduction in WC, shower or cycle quantities) to allow for increased basement plant area.
 - > Basement courtyard changes discussed in further detail in section 2.4.
- Ground Floor:
- > Optimisation of Jockeys Fields entrance and facade to avoid clashes with existing structure.
- Fourth Floor:
- > Amendments to Bedford Row core door arrangement following fire engineer review of escape distances.
 - > Added fall restraint system to provide safe access for PV and plant maintenance on Jockey’s Fields roof.
- Roof:
- > Added low-level fall restraint system for safe roof access to PVs on Bedford Row.

2.2 Fenestration

- Jockeys Fields:
- > Revision of the three ground floor windows in the central bay to be separated by columns, rather than as a continuous glazed strip of three windows, to accommodate existing building structure.
 - > Addition of dry riser inlet following fire strategy review.
 - > Split ground floor entrance fanlight due to fire strategy requirements for separate entrances with 60 minute fire compartmentation.
- Jockeys Fields Rear Elevation:
- > Louvre doors to plant enclosure amended to allow for maintenance and replacement access via louvred door.
 - > Vertical glazing bars added to windows to match street-facing facade.
- South Elevation (Closet Wings):
- > Blank window infill replaced with roof access door to suit basement infill (section 2.4).
 - > Curtain wall glazing mullions extended vertically to meet parapet detail following receipt of manufacturer’s guidance.
- North Elevation (Closet Wings):
- > Amendment to blank window to better align with the historical levels visible at the rear of Bedford Row.
 - > Roof access door position amended to suit internal layout changes.
 - > Reduction of large rooflight to first floor terrace to become 3 separate rooflights.
- Bedford Row
- > Dry riser inlet cabinet moved from reveal of no. 5 Bedford Row door case to reveal of no. 4 Bedford Row door case.

2.3 Landscaping Design Development

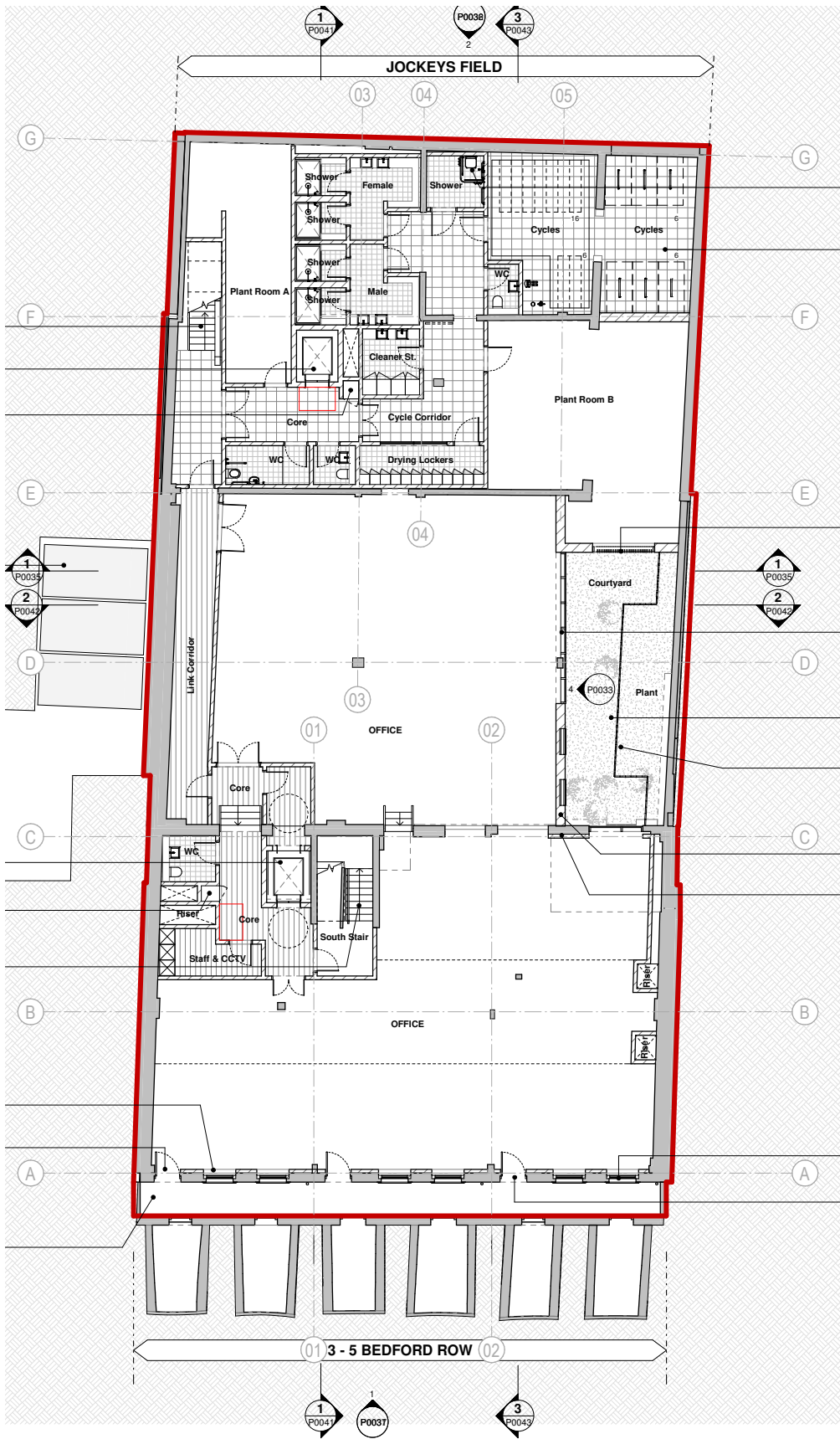
- The roof terrace landscaping has been developed and detailed from simple green roof to a fully designed and planted scheme in line with a BREEAM-led ecology strategy to provide external seating and wildlife habitats.
- This is a noticable improvement of the design over a simple green roof as it provides tangible biodiversity benefits to the scheme as well as significantly enhancing the wellbeing of the building occupants.
- The balustrade has been reconfigured to provide gardeners with safe access to the planters all year without the need for specialist life-safety equipment.

2.4 Basement Massing Development

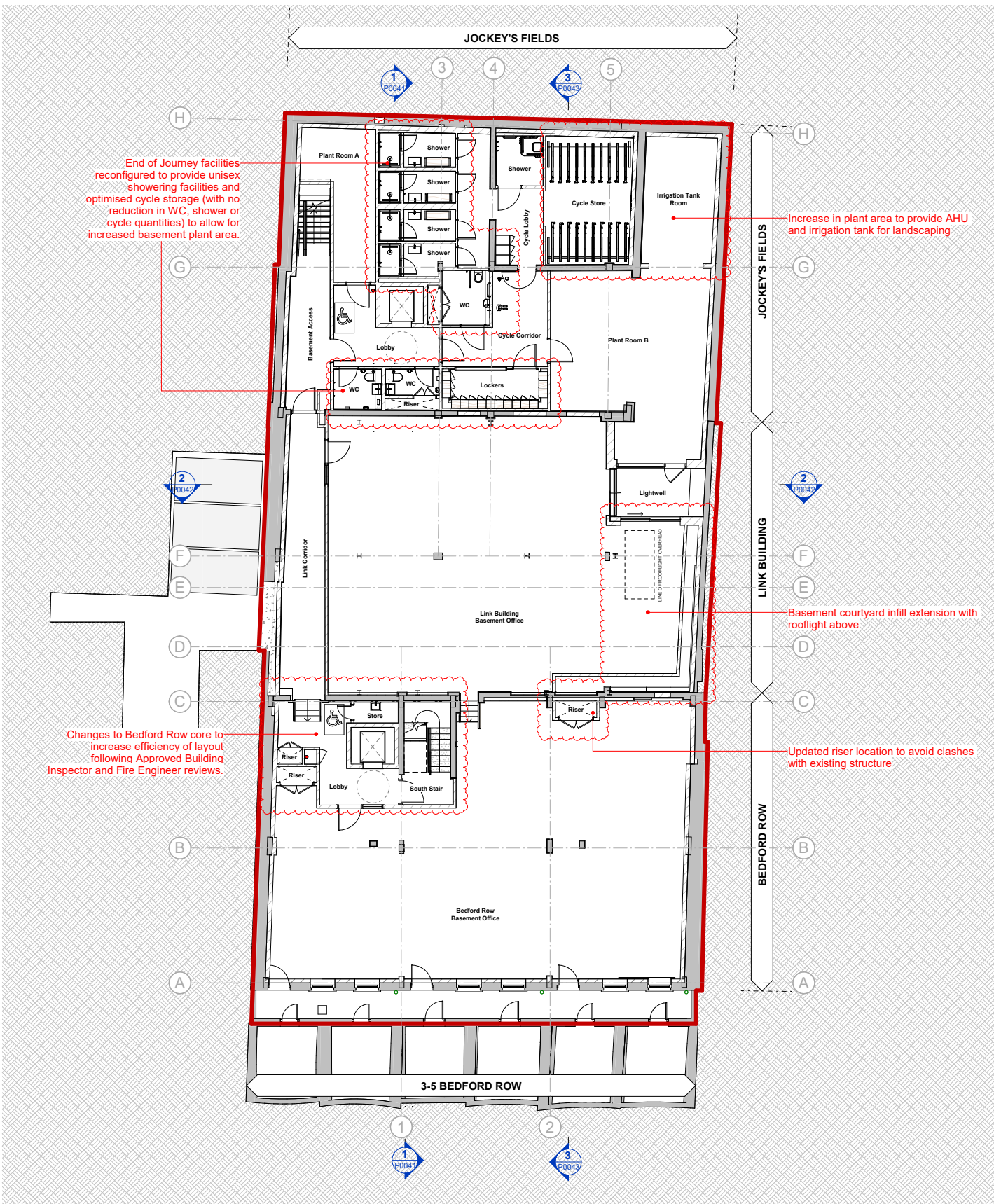
- Proposed small infill extension to the courtyard at basement level. This internalises a previously approved courtyard space which was unsatisfactorily sandwiched between the rear of Bedford Row and the approved basement plant louvres. Internalising this space provides additional workspace accommodation while retaining natural light via roof-lights and a lightwell on the south facade. The lightwell maintains access to the air handling unit in basement level Plant Room B for maintenance and replacement purposes.
- This extension in-fills a below-ground level space and is not visible from either the public realm nor from the neighbouring buildings. The plant which was previously housed within the lightwell is to be repositioned to the roof of the infill extension, with direct access being granted via a new maintenance access door within the closet wing.

3.0 COMPARISON DRAWINGS

3.1 Basement Plan

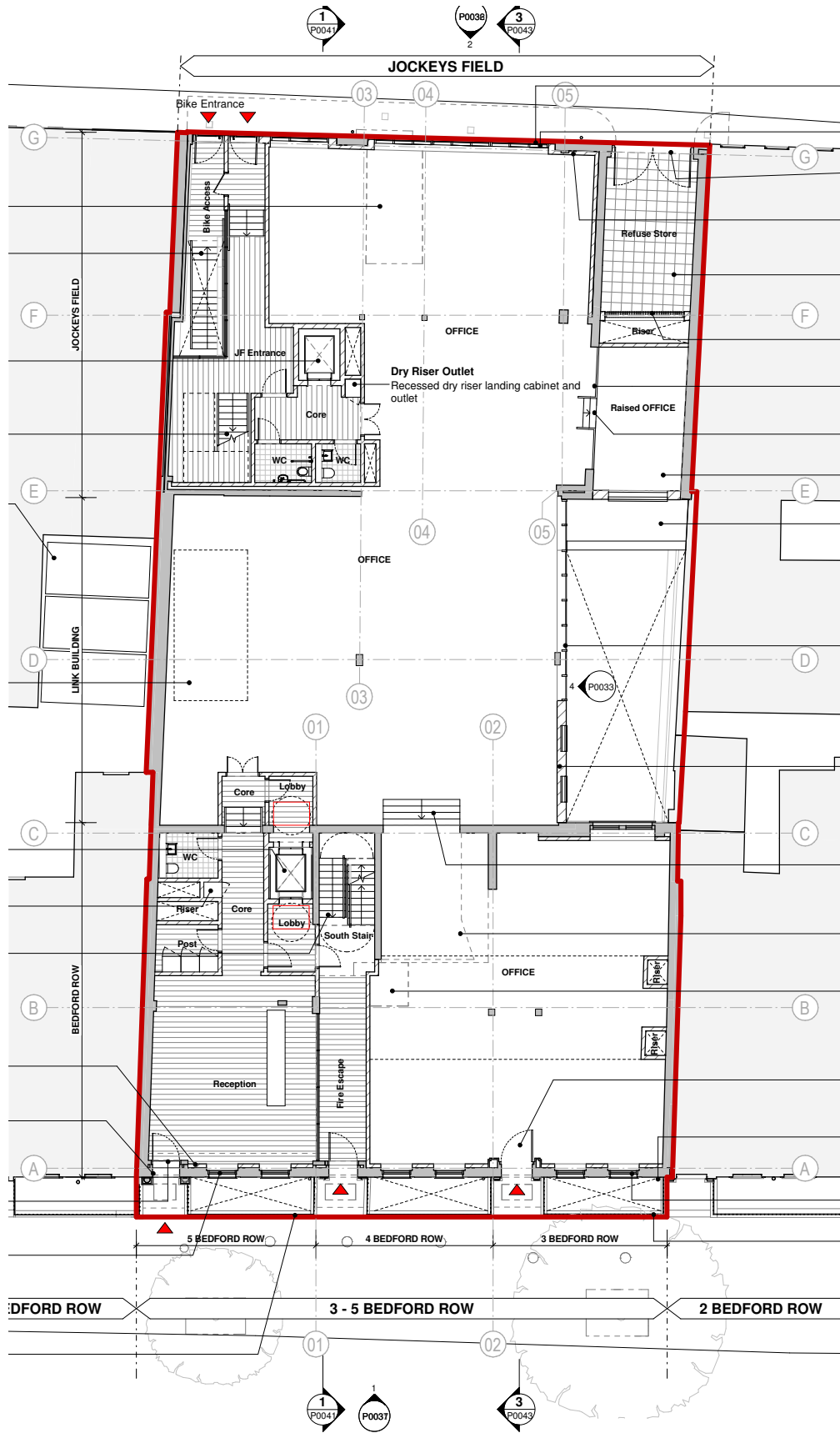


Approved Basement Plan
2022.4518.P + 2022.4750.L
H571-HUT-ZZ-09-A-DR-P0009-Proposed Basement - D

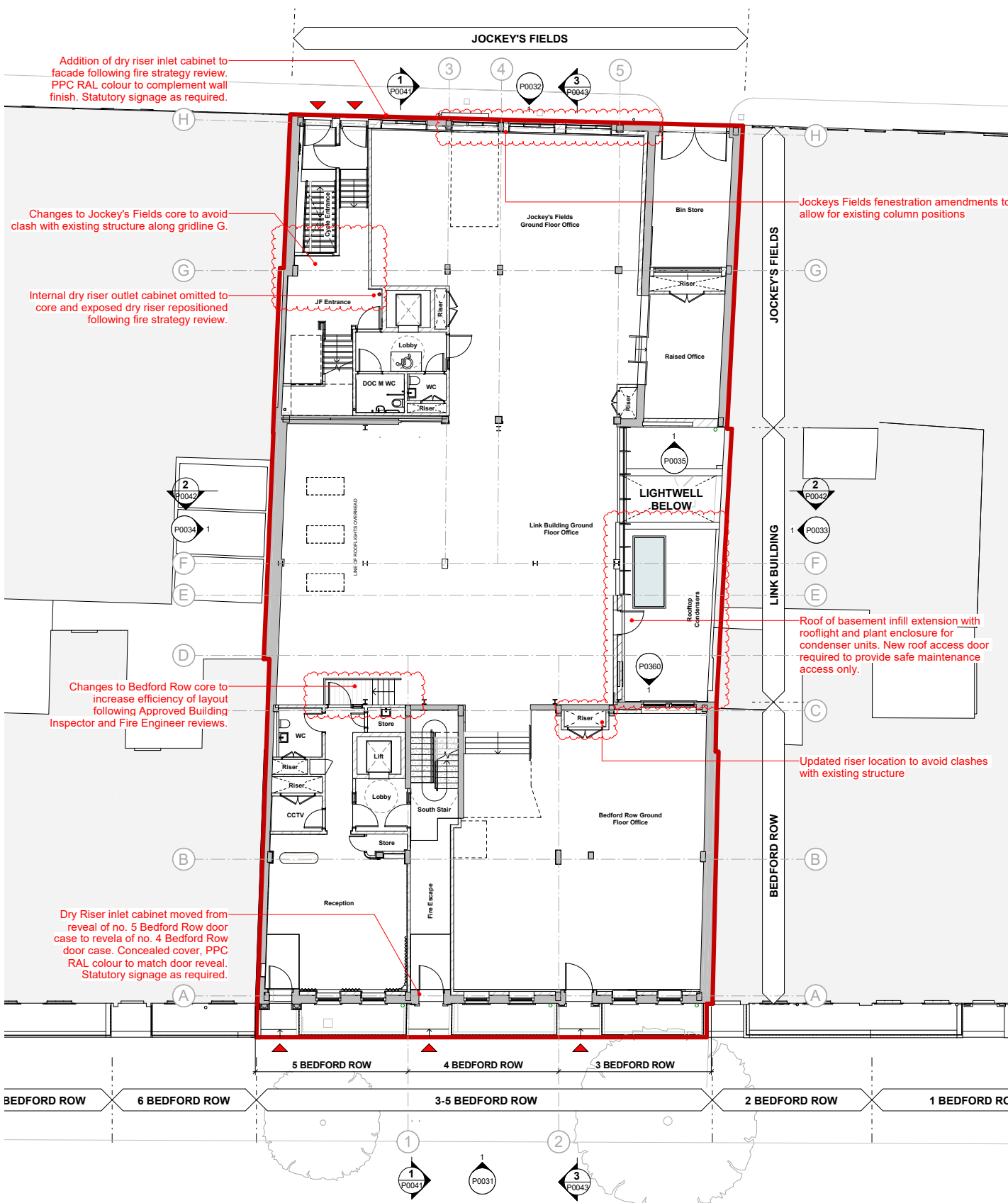


Proposed Basement Plan
Minor Material Amendment

3.2 Ground Floor Plan

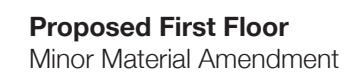
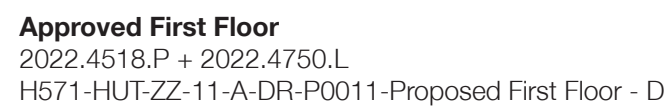


Approved Ground Floor
2022.4518.P + 2022.4750.L
H571-HUT-ZZ-10-A-DR-P0010-Proposed Ground Floor - D

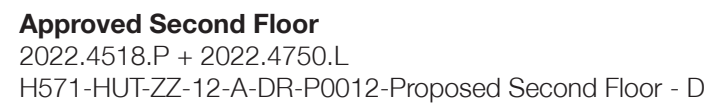


Proposed Ground Floor
Minor Material Amendment

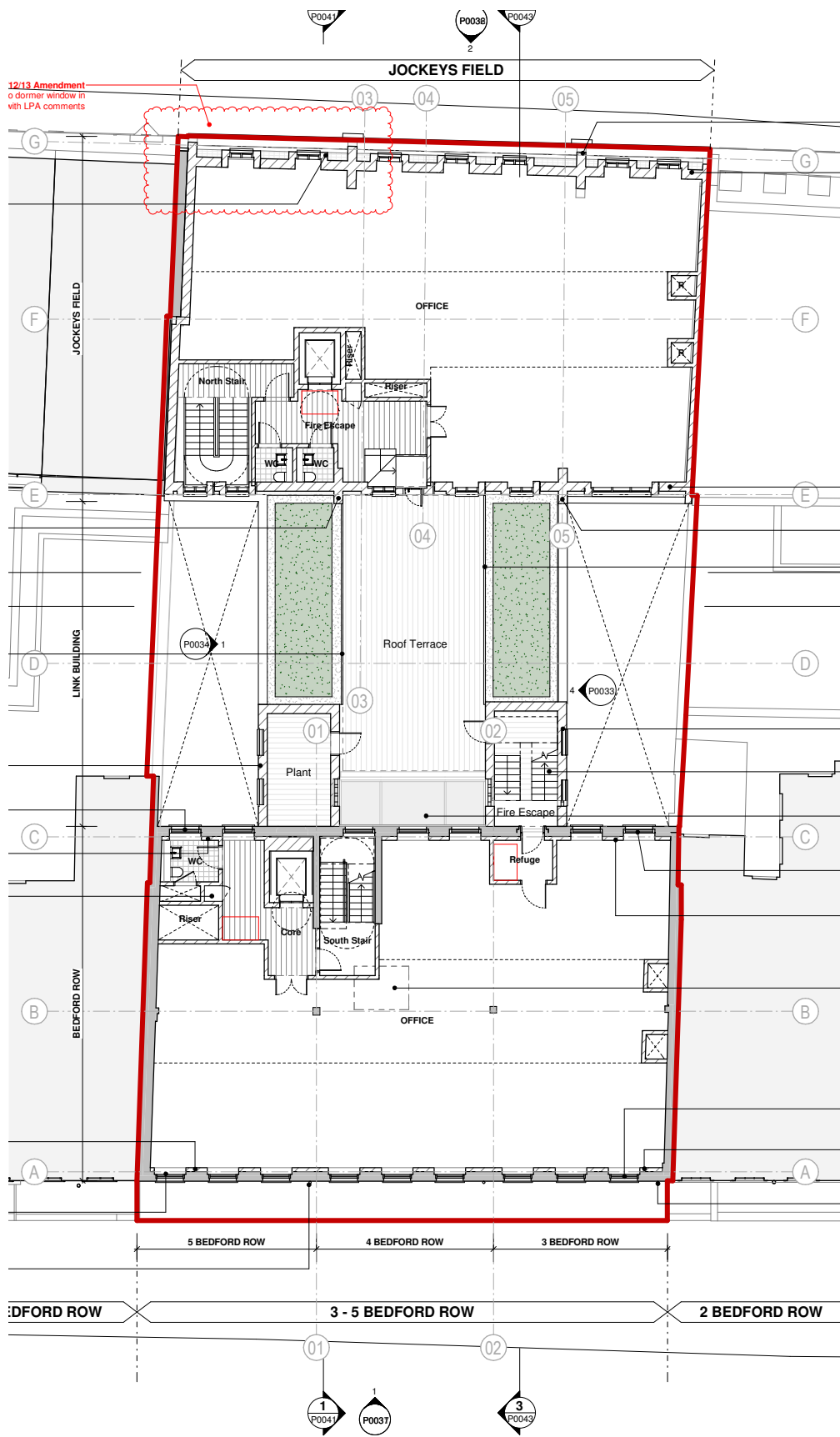
3.0 COMPARISON DRAWINGS



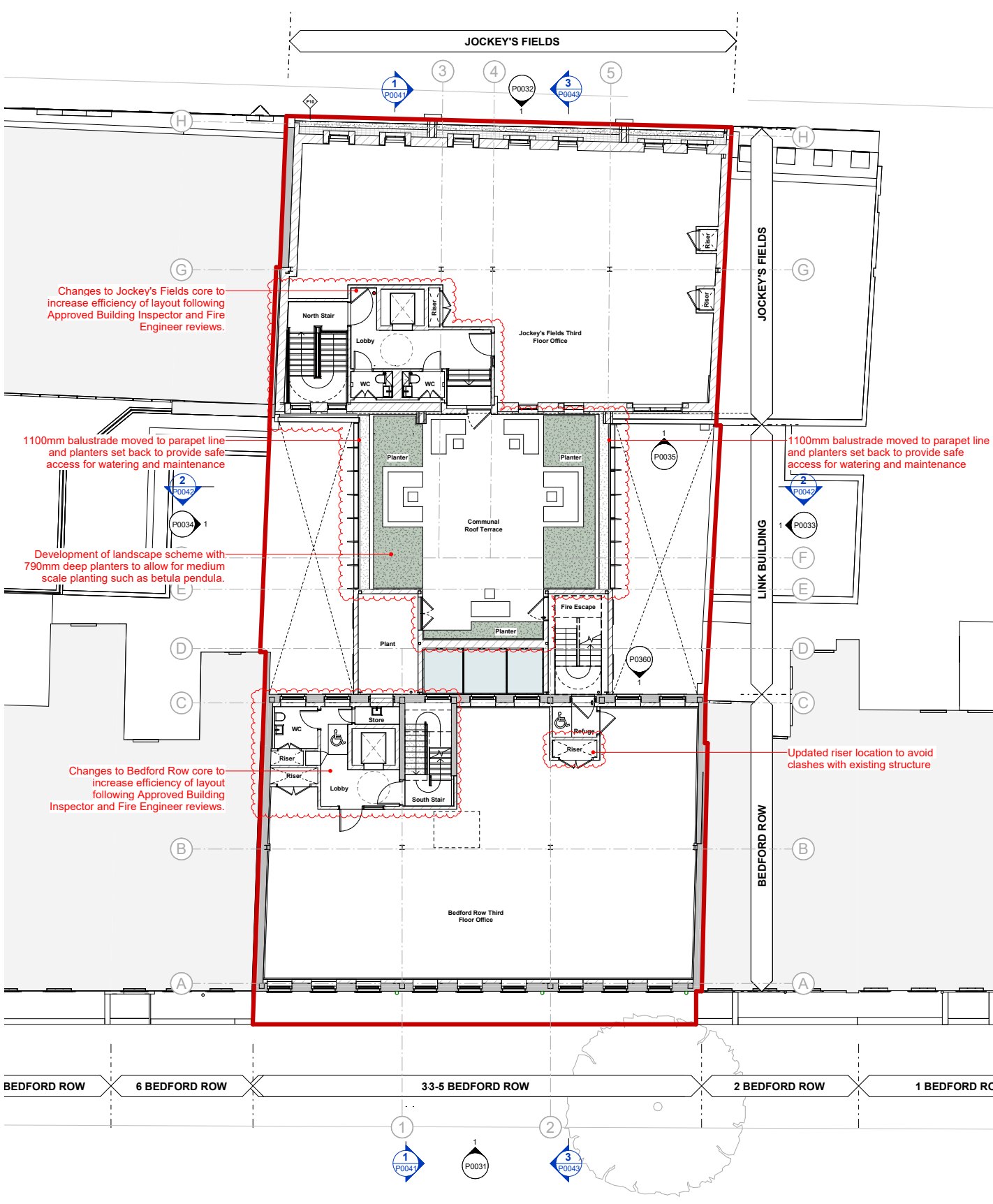
3.0 COMPARISON DRAWINGS



3.5 Third Floor Plan

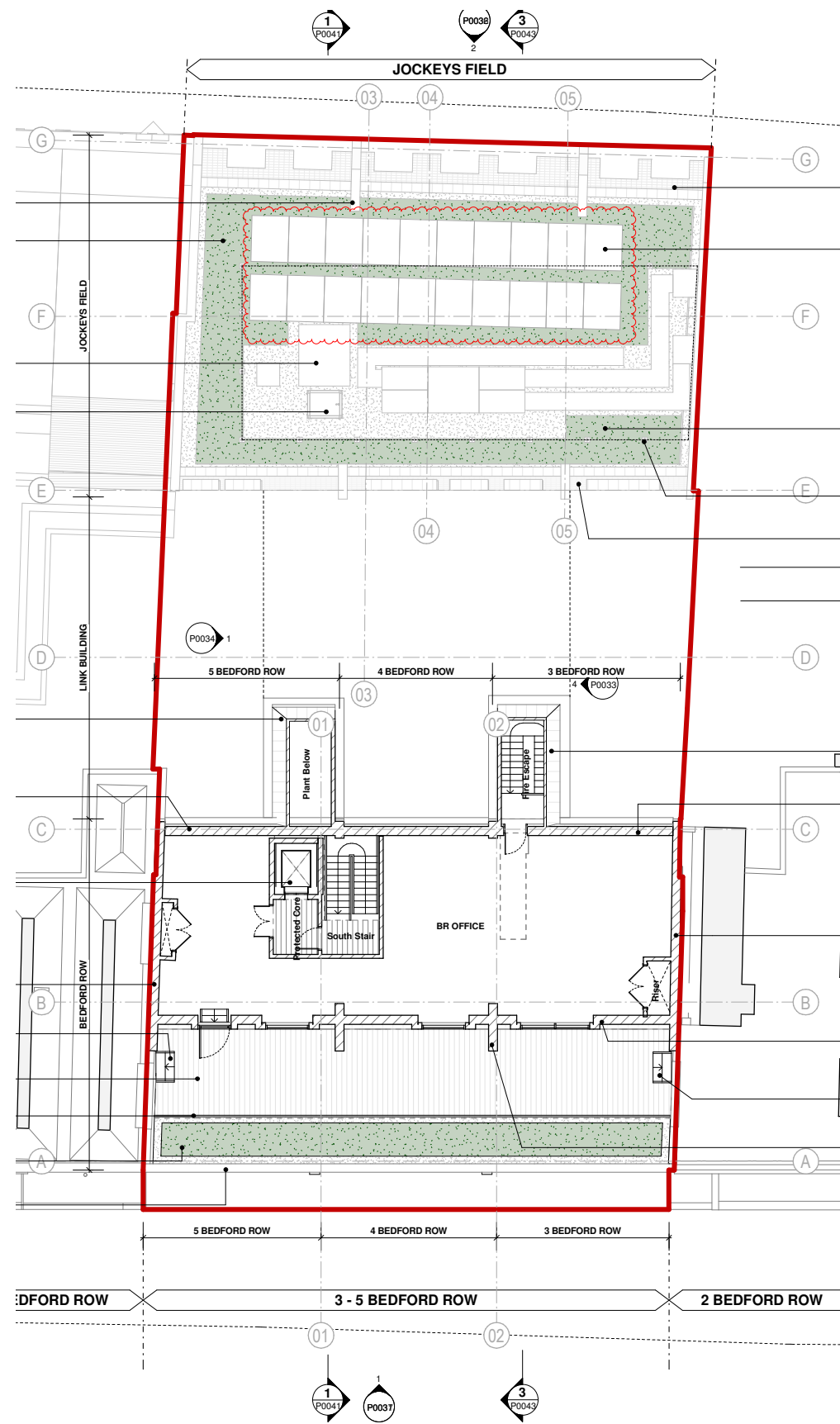


Approved Third Floor
2022.4518.P + 2022.4750.L
H571-HUT-ZZ-13-A-DR-P0013-Proposed Third Floor - E

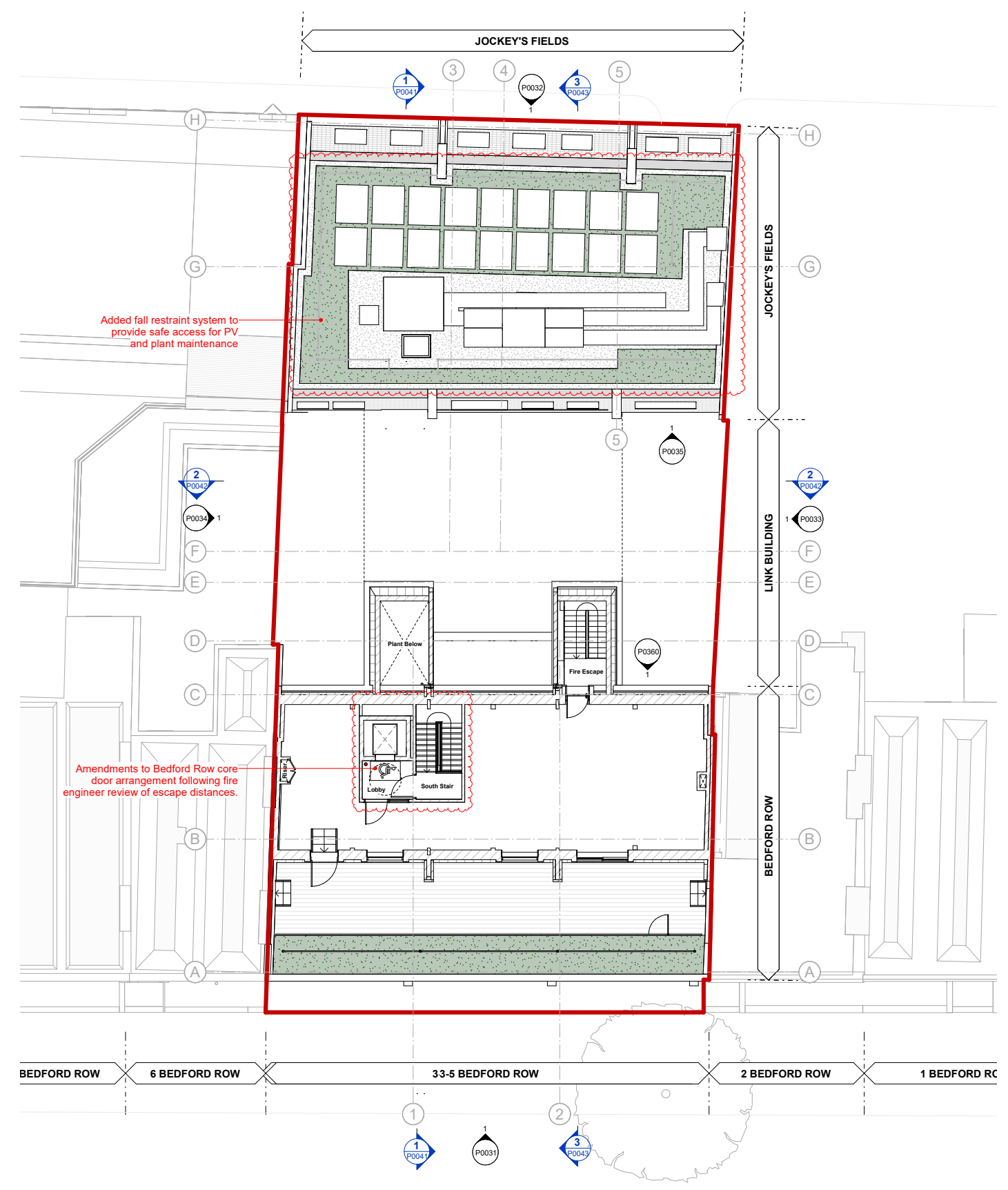


Proposed Third Floor
Minor Material Amendment

3.6 Fourth Floor Plan

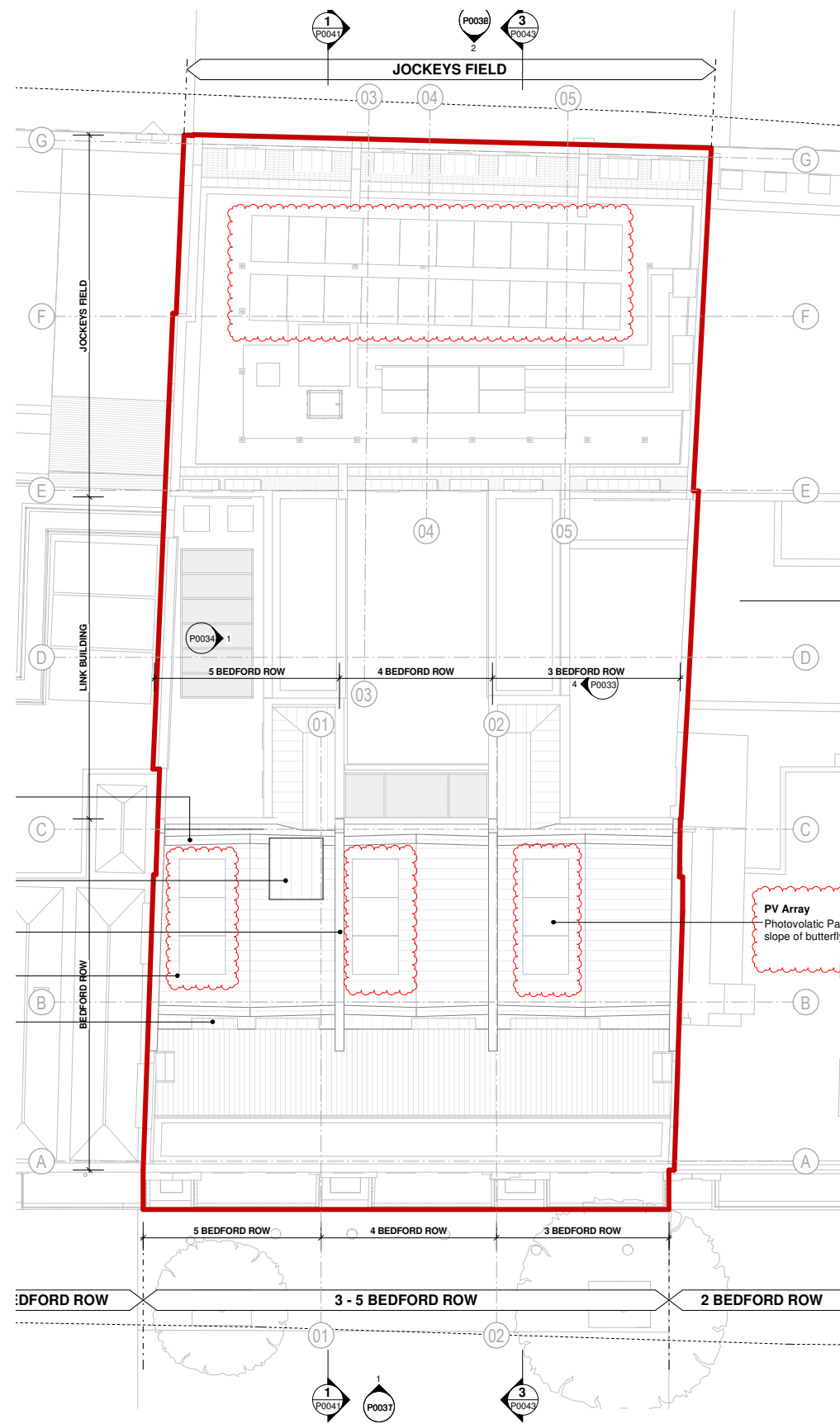


Approved Fourth Floor
2022.4518.P + 2022.4750.L
H571-HUT-ZZ-14-A-DR-P0014-Proposed Fourth Floor - E

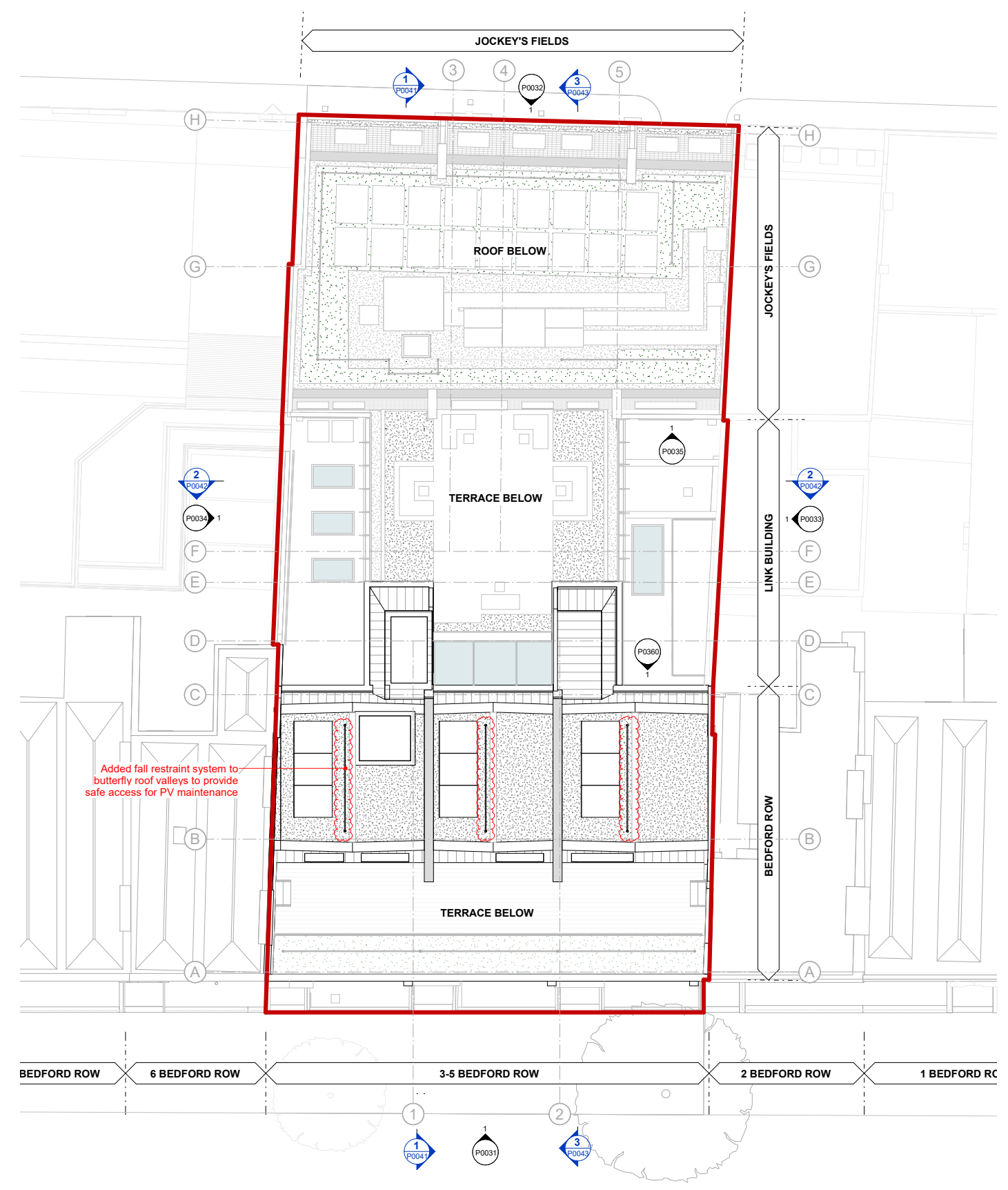


Proposed Fourth Floor
Minor Material Amendment

3.7 Roof Plan



Approved Roof Plan
2022.4518.P + 2022.4750.L
H571-HUT-ZZ-14-A-DR-P0015-Proposed Roof-E



Proposed Roof Plan
Minor Material Amendment

3.8 Jockeys Fields Elevation

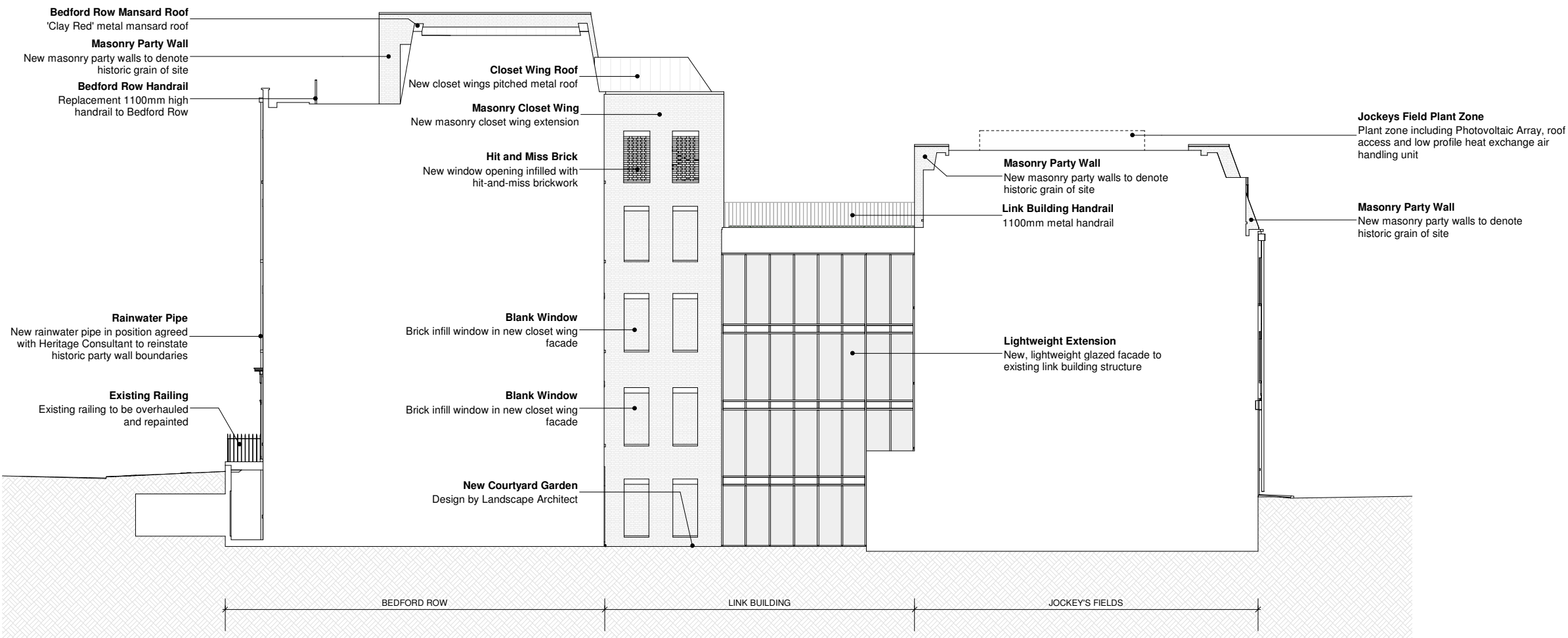


Approved Jockey's Fields Elevation
2022.4518.P + 2022.4750.L
H571-HUT-ZZ-ZZ-A-DR-P0032-
Proposed East Elevation (Jockey's
Fields) - F



Proposed Jockeys Fields Elevation
Minor Material Amendment

3.9 South Elevation

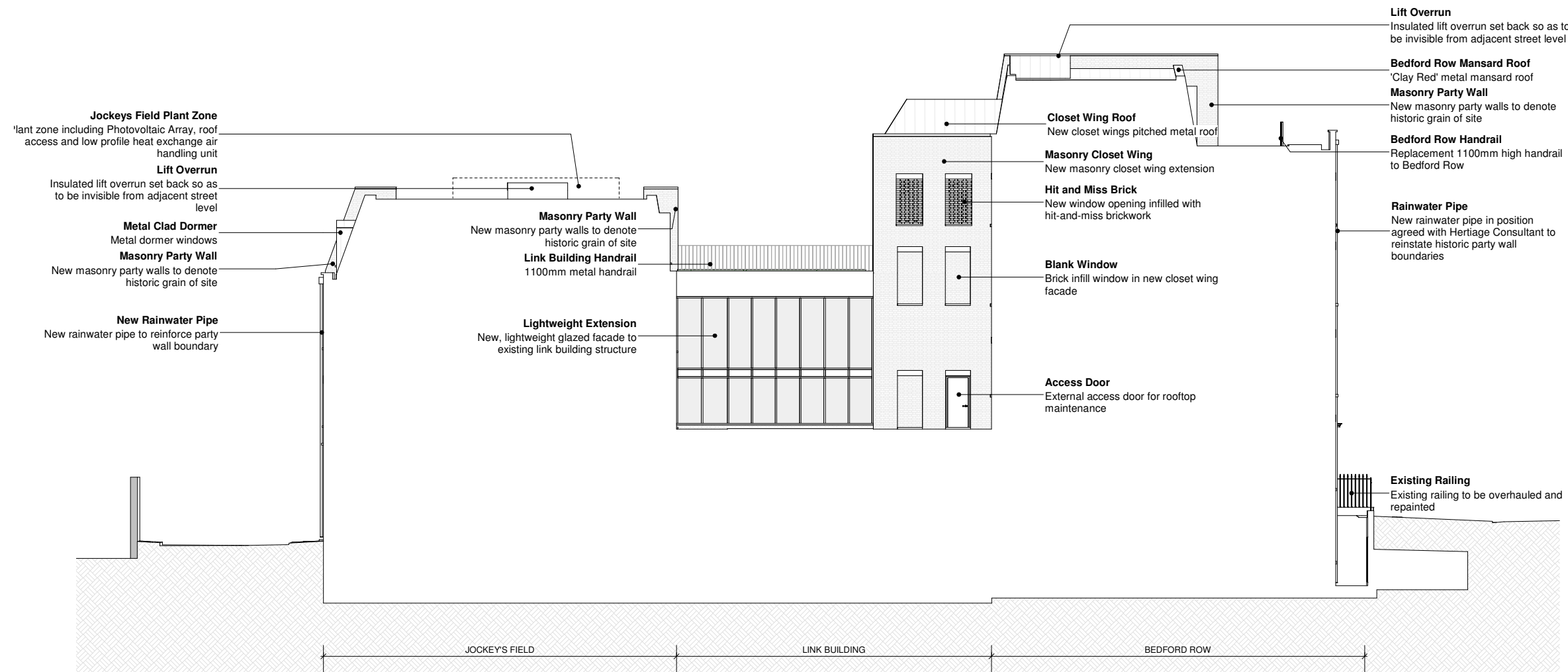


Approved South Elevation
2022.4518.P + 2022.4750.L
H571-HUT-ZZ-ZZ-A-DR-P0033-
Proposed South Elevation - A

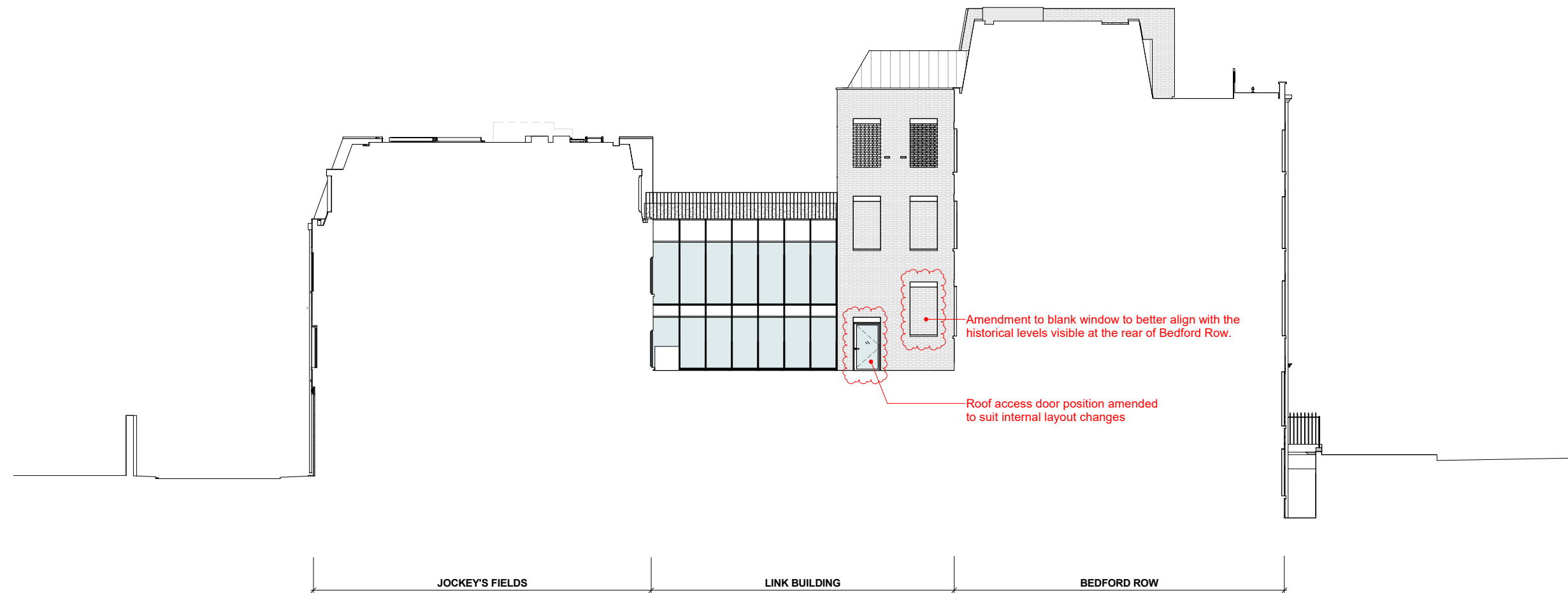


Proposed South Elevation
Minor Material Amendment

3.10 North Elevation

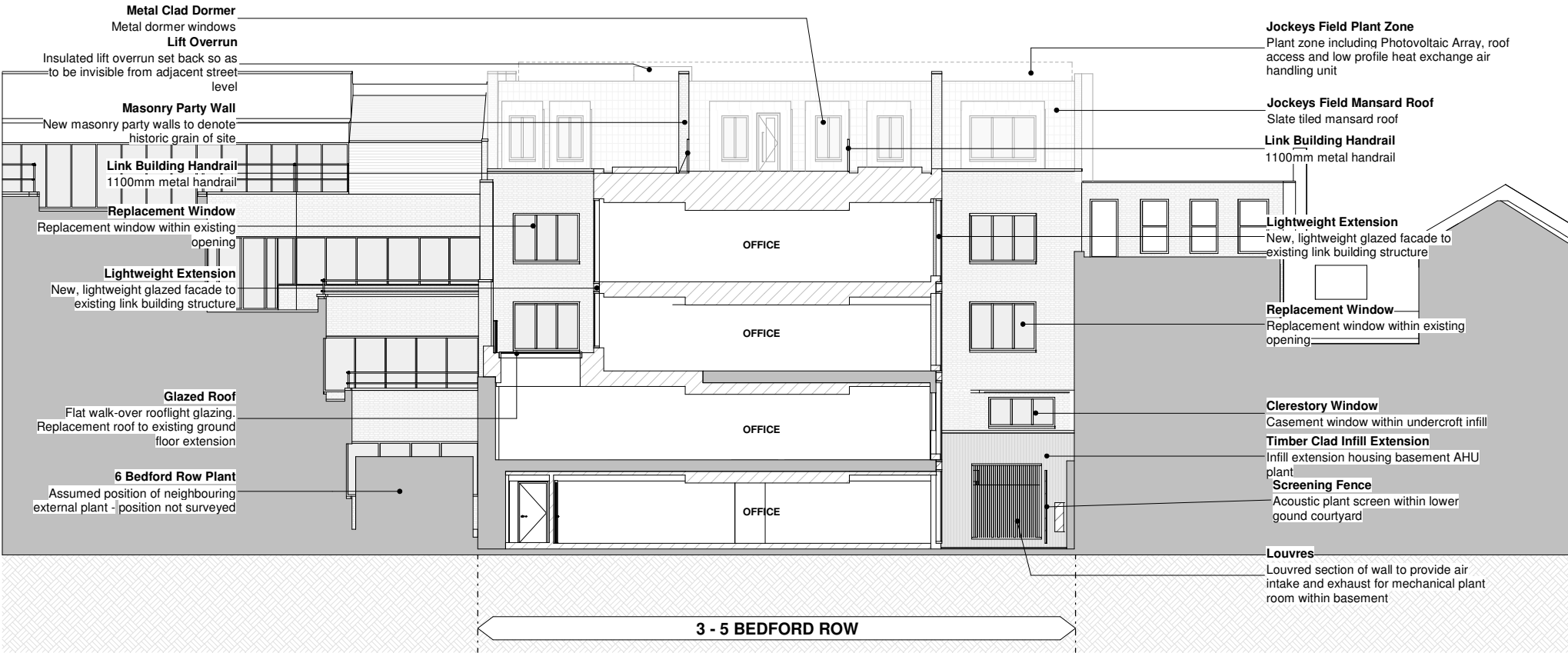


Approved North Elevation
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H571-HUT-ZZ-ZZ-A-DR-P0034-
Proposed North Elevation - A

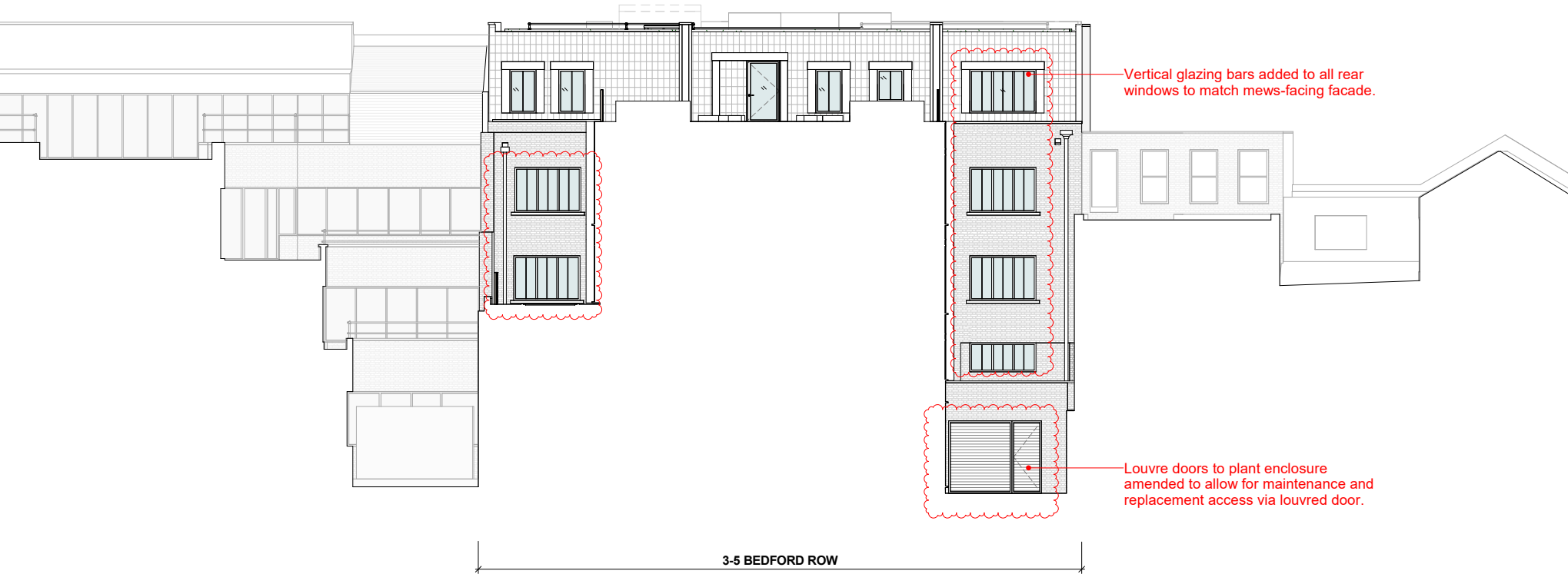


Proposed North Elevation
Minor Material Amendment

3.11 West Elevation
(Rear of Jockey's Fields)

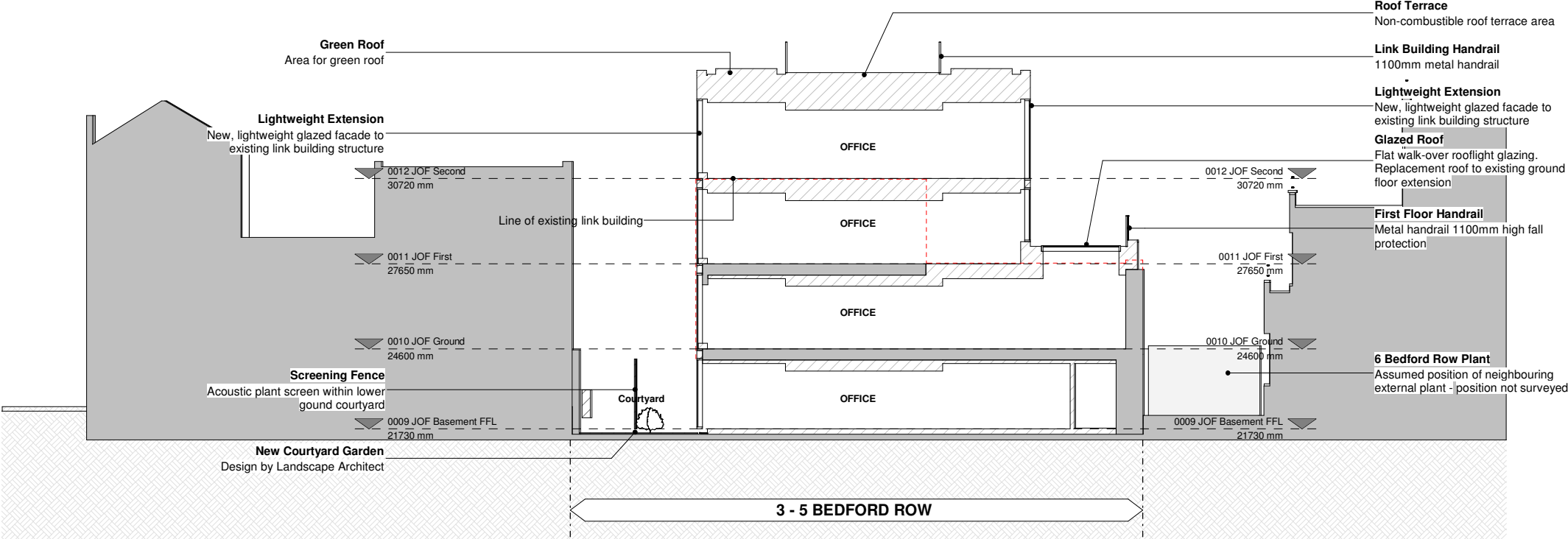


Approved West Elevation (Jockey's Fields)
2022.4518.P + 2022.4750.L
H571-HUT-ZZ-ZZ-A-DR-P0035-Proposed
West Elevation (Jockey's Fields) - B

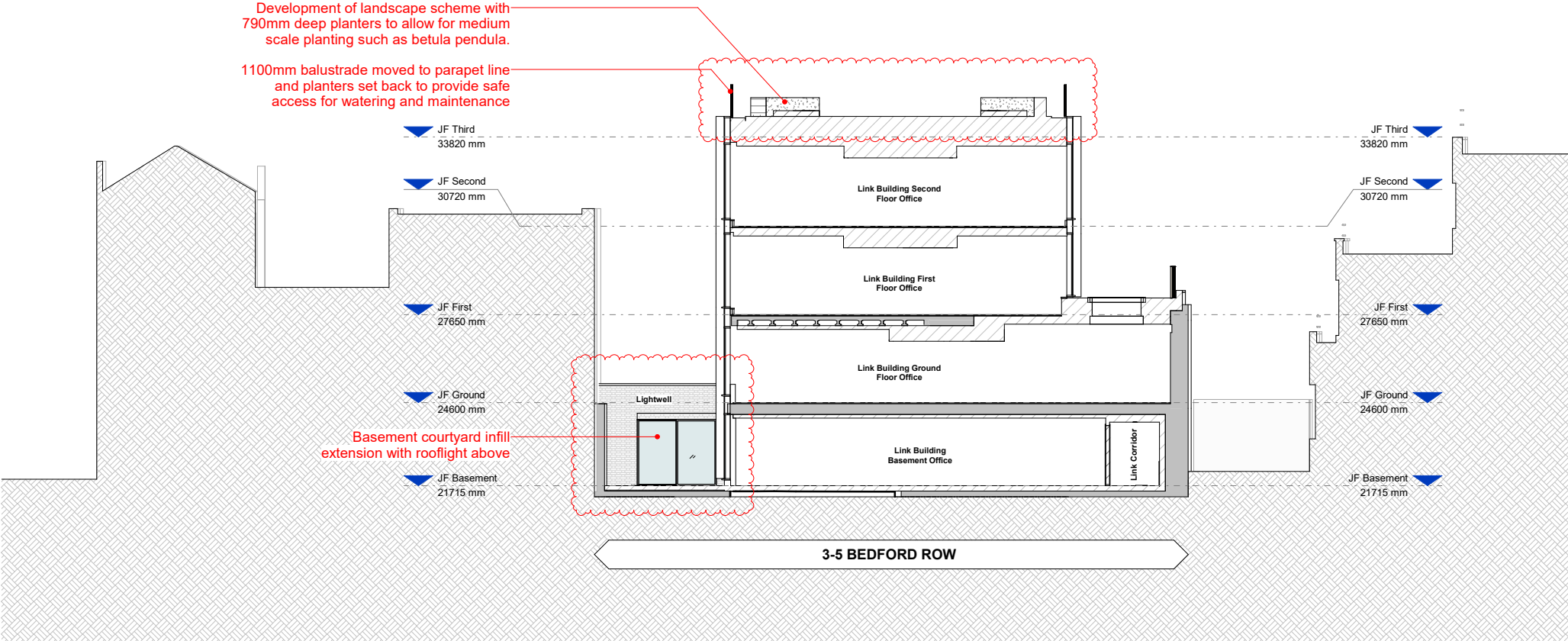


Proposed West Elevation
(Jockey's Fields)
Minor Material Amendment

3.12 Short Section 02



Approved Short Section
2022.4518.P + 2022.4750.L
H571-HUT-ZZ-ZZ-A-DR-P0042-
Section 02 - C



Proposed Short Section
Minor Material Amendment

Planning Permission and Listed Building Consent were granted in May 2023 for the heritage-led refurbishment and extension of 3-5 Bedford Row and 3-5 Jockey’s Fields following pre-application advice and further design and conservation discussions during the course of the application determination period.

The proposed amendments sought under this S73 and Listed Building Consent application are summarized below:

- Changes to the internal layouts including streamlined cores to give more efficient floorplates, following workshops with Structural Engineers, Approved Building Inspector and Fire Engineer.
- Changes to the fenestration to the new build closet wings and to the Jockey’s Fields elevation.
- Landscaping on the roof terrace has been adjusted to reflected a detailed scheme which sits underneath the architectural plans approved with the consents.
- A small infill extension to the courtyard at basement level, which internalised previously approved courtyard space which would otherwise be unsatisfactorily sandwiched between the edge of the building and the new plant installations.

These amendments reflect the detailed design evolution of the scheme to ensure a safe, optimized and high quality development is delivered.

As with the original consent, the amendments will ensure no loss of historic fabric, or any feature of demonstrable historic significance. The extension to the Bedford Row element will be invisible from Bedford Row. This surviving significance of the building, which is the contribution that its facsimile front façade makes to the Bedford Row terrace, will be preserved, and enhanced through the making good of elements that have previously been lost or compromised. The extensions to the Jockey’s Fields element and to the connecting link will be subservient to Bedford Row and will be to the same height broadly as the building immediately neighbouring to the north. The mews character of Jockey’s Fields will be reinforced through appropriate scaled new features.

As demonstrated above, the amended scheme retains and protects the heritage significance of the building and should be granted planning permission and Listed Building Consent.