

## **DESIGN AND ACCESS STATEMENT**

Lower Maisonette  
101 Judd Street  
London  
WC1H 9NE

**July 2023**

**Section 01:** Introduction

**Section 02:** Background Information

**Section 03:** Relevant Precedents

**Section 04:** Design Principles & Access

**Section 05:** Conclusions

101 Judd Street\_DAS.pdf

REV: P2

## **Section 01: Introduction**

- 1.1 This Design and Access Statement accompanies the submission of a Listed Building Consent application for the Lower Maisonette at 101 Judd Street, London, WC1H 9NE. It provides a detailed description and assessment of the proposals.
- 1.2 Planning permission is sought for the following:  
*‘Proposed front lightwell partial infill extension to conceal utilities on basement level and installation of new window in the rear courtyard at basement level.’*
- 1.3 This statement is supported by Existing & Proposed plans as well as a Heritage Statement prepared by FPHS.

## **Section 02: Background Information**

- 2.1 The property is situated on the western side of Judd Street within the Bloomsbury Conservation Area (Figure 2.01) and is Grade II-Listed. The building forms part of a row of similar Regency-style properties along the road, constructed in 1816. Majority of the properties within the terrace are set back from Judd Street behind a lightwell, enclosed by cast iron railings.
- 2.2 The Grade II-listed building is composed of multi-coloured stock bricks and traditional, dark-painted, timber-framed sash windows with brick headers.
- 2.3 101 Judd Street is a terraced four-storey building with a basement, split into three residential flats. This application is for the Lower Maisonette which occupies the ground and basement levels.
- 2.4 101 Judd Street has a 19<sup>th</sup>-century shop front façade at ground level with two simple, broad flat pilasters, inswept entablature and a protruding cornice. There is a projecting curved timber-framed window bay at ground level and a balcony at first level. (Figure 2.02)
- 2.5 Access to 101 Judd Street is via an external path and steps which bridge the front lightwell below.

- 2.6 The existing front lightwell has white painted render walls, with a York stone floor finish and a dark-painted, timber-framed sash window & door. Only the applicant has access to this external space. (Figure 2.03)
- 2.7 The existing rear façade of 101 Judd Street has a white painted render finish throughout, with traditional, white-painted, timber-framed sash windows. There is also a two-storey closet wing which replaced a workshop extension in the late 1980s. (Figure 2.04)
- 2.8 The rear basement courtyard has white painted render walls and a gravel floor finish. (Figure 2.05)
- 2.9 The rear garden is part-paved with large York stone slabs and part-gravel and accessed via a metal grate bridge over the courtyard. Only the applicant has access to this rear external space.
- 2.10 The roof is a traditional London 'butterfly' roof hidden by a parapet at the front but showing the characteristic V-shape at the rear.



Figure 2.01: Bloomsbury conservation area map with 101 Judd Street located with a red dot



Figure 2.02: Front Façade of 101 Judd Street

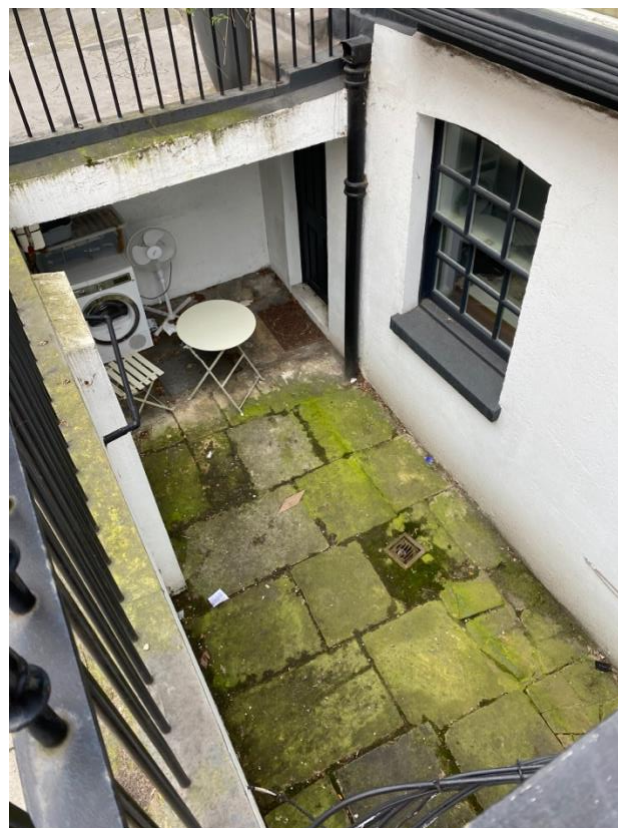


Figure 2.03: Front Lightwell of 101 Judd Street





Figure 2.04: Rear Façade of 101 Judd Street



Figure 2.05: Rear Basement Courtyard of 101 Judd Street

### Section 03: Relevant Precedents

- 3.1 A few neighbouring properties in the Judd Street Grade-II listed terrace have had partial infill extensions constructed beneath the entrance bridge over the front lightwell. Below are two examples at 87 & 89 Judd Street.



Figure 3.01: 89 Judd Street Front Lightwell Infill Extension



Figure 3.02: 87 Judd Street Front Lightwell Infill Extension

## **Section 04: Design Principles & Access**

- 4.1 This application proposes to construct a partial single-storey infill extension in the front lightwell at basement level, beneath the existing bridge. It is proposed to construct the infill extension in white rendered blockwork to match existing and install a small dark-painted timber-framed double-glazed sash window and timber-framed double-glazed panelled door with arched headers, also to match existing.
- 4.2 The proposed infill extension will be set-back from edge of the lightwell bridge above, so that this original detail is retained. The bridge would be fully retained as is and form the roof of the new infill extension.
- 4.3 The proposal would neatly conceal utility appliances, as well unsightly utility meters & pipework currently on show.
- 4.4 It is also proposed to construct a low-level white-render planter next to the front lightwell wall to allow for some soft landscaping in this space. The new planter would help to reduce surface water run-off during heavy rainfall.
- 4.5 The basement WC does not have any natural light, so it is also proposed to install a new small discreet timber-framed double-glazed obscured-glass casement window with trickle vent system.
- 4.6 Otherwise, there will be no alternations to the main front façade of the building, except minor sympathetic restorations of the York stone lightwell floor and re-painting the lightwell white-render walls.
- 4.7 The external materials to be used for the entire proposal shall match in colour, size, shape and texture those of the existing building. All materials employed are intended to be respectful to their context.
- 4.8 Access to 101 Judd Street remains unchanged.
- 4.9 No established trees will be affected by the works.

## **Section 05: Conclusion**

- 5.1 In the context of the above assessment, the historic and architectural qualities of the listed building are protected and enhanced by this proposal. The infill extension has no material impact on the key features of the front façade, which remains the principal and dominant feature of the listed building. The design optimises the use of the site and is sensitive and sympathetic to the local context.
- 5.2 In general, the proposal would be seen to improve the visual appearance and amenity of the property and in doing so protect and enhance the character of the local area.