

5.0 Heritage Areas

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Introduction

The existing heritage fabric has seen significant intervention over time. Whilst the existing facades have largely been preserved, these have been modified by E.M. Joseph and EPR.

There is little of heritage significance currently visible within the heritages areas of 2 Waterhouse Square, with some exception.

This section of the document covers the existing and proposed interventions. It is split into three sections:

- Internal
- External
- Atria/Courtyard

We have worked with K.M Heritage in developing these proposals and consulted with Camden at a dedicated pre-application meeting and Historic England.

Further detail can be found in the Heritage Statement.



5.1 Internal Heritage Areas

Existing overview

The existing heritage areas within 2 Waterhouse Square are limited to three main spaces.

- R6 - Office space and existing entrance
- R7 - Office space and plant at lower ground floor
- R11 - Office space and BOH/Plant at ground and lower ground floor.

These spaces have been adapted and refurbished over time with much of the original internal heritage fabric lost - spaces are summarised below.

- R6 - contemporary office fit out on upper levels and plant within the roof volume. The ground floor entrance has heritage features of significant value such as the faience columns and moulded plaster ceiling, however contemporary interventions detract from this space.
- R7 - contemporary office throughout upper levels and plant on lower ground floor plan. No heritage features of value and currently exposed.
- R11 - contemporary office fit out on first, third and fourth floors. Contemporary BOH and plant on ground and lower ground respectively. A stair (stair 11) has historically been introduced between lower ground and first floor detracting from the original layout. Period panelling has been installed to the second floor and has been historically adapted.

The contemporary office space within the heritage areas all have:

- Raised access floors
- Suspended ceilings/exposed services lower than the existing window heads
- Sash secondary glazing

There are two stairs adjacent R6.

- Stair 9 - is a contemporary intervention, where historically no stair was present. Faience brickwork is visible on the north of the landings and is historically significant. Heritage style doors provide access into the stair from the lobbies. Secondary glazing has been introduced to the windows at the storey landings.
- Stair 10 - is an original stair with faience brickwork throughout. The stair has been historically adapted extending the core up to the fifth floor, with landings adjusted throughout. Secondary glazing has been introduced to the windows at the storey landings.

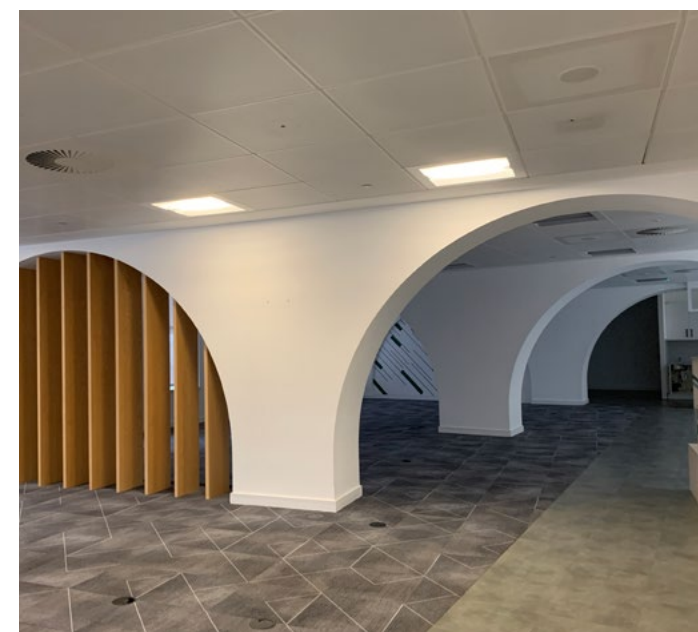
There are two original Waterhouse facades forming the south and west facade of the existing atria, which have been added to and adapted over time.



Typical Floor Plan

Stair 10

Stair 9



5.1 Internal Heritage Areas

R7 - Existing summary

Summary

The existing office floors have no remaining heritage features visible, and has been fit out for contemporary office use.

Due to the presence of high level services providing ventilation, cooling and heating to the office spaces, the ceiling levels are lower than the heritage window heads.

Sash secondary glazing has been installed and generally throughout. The sash secondary glazing results in double site lines when viewed internally and externally.

Masonry arches on the ground, first and second have been boxed out with plasterboard lining to allow ductwork and other services to traverse at high level.

Due to variation between the heritage areas and EPR extension, ramped access or stepped access is provided between the spaces.



5.1 Internal Heritage Areas

R7 - Proposed typical floor.

Summary

The proposals provide a betterment to the existing heritage areas by maximising the volume. This is achieved by:

- 1. Raising the RAF system to provide air supply within the floor void.
- 2. Providing wall mounted FCU's to reduce high level services.
- 3. Reducing ceiling void to expose window heads

Alongside the above, the heritage areas are enhanced by:

- 4. Replacing the existing secondary sash windows with single pane secondary glazing, removing the existing 'double' sight lines
- 5. Maximising the existing arched openings by removing the existing plasterboard lining and exposing the arches true profile and materiality,



R7 - Typical Floor - Existing Condition



R7 - Typical Floor - Proposed Condition

5.1 Internal Heritage Areas

R6 - Existing summary

Summary

The existing office floors have no remaining heritage features visible, and has been fit out for contemporary office use.

Due to the presence of high level services providing ventilation, cooling and heating to the office spaces, the ceiling levels are lower than the heritage window heads.

Sash secondary glazing has been installed and generally throughout. The sash secondary glazing results in double site lines when viewed internally and externally.

The existing circulation space faces onto the existing atria and the internal face of the atria wall has been lined with contemporary finishes and the window openings have contemporary metal framed windows.

Due to variation between the heritage areas and EPR extension, ramped access or stepped access is provided between the spaces.



5.1 Internal Heritage Areas

R6 - Proposed typical floor.

Summary

The proposals provide a betterment to the existing heritage areas by maximising the volume. This is achieved by:

- 1. Raising the RAF system to provide air supply within the floor void.
- 2. Providing wall mounted FCU's to reduce high level services.
- 3. Reducing ceiling void to expose window heads

Alongside the above, the heritage areas are enhanced by:

- 4. Replacing the existing secondary sash windows with single pane secondary glazing, removing the existing 'double' sight lines
- 5. Replacement of primary contemporary glazing with more in keeping window type



R6 - Typical Floor - Existing Condition



R6 - Typical Floor - Proposed Condition

5.1 Internal Heritage Areas

R11 - Existing summary

Summary

Other than the second floor, the existing office floors have no remaining heritage features visible, and have been fit out for contemporary office use.

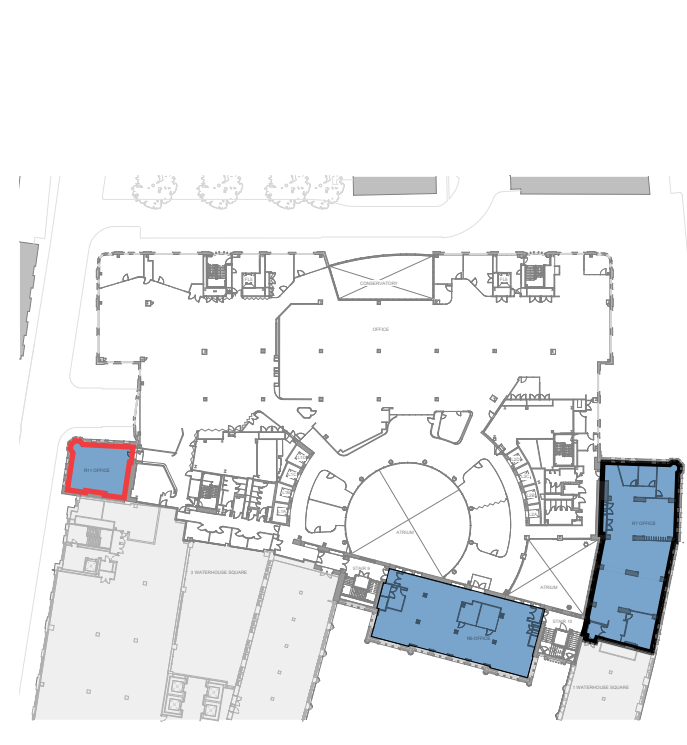
Due to the presence of high level services providing ventilation, cooling and heating to the office spaces, the ceiling levels are lower than the heritage window heads.

Sash secondary glazing has been installed and generally throughout. The sash secondary glazing results in double site lines when viewed internally and externally.

Due to variation between the heritage areas and EPR extension, ramped access or stepped access is provided between the spaces.

A non-original stair has been introduced linking lower ground floor to the first floor.

There is presence of historic timber panelling to the second floor. The panelling is not original Waterhouse and has been adapted over time.



5.1 Internal Heritage Areas

R11 - Proposed typical floor.

Summary

The proposals provide a betterment to the existing heritage areas by maximising the volume. This is achieved by:

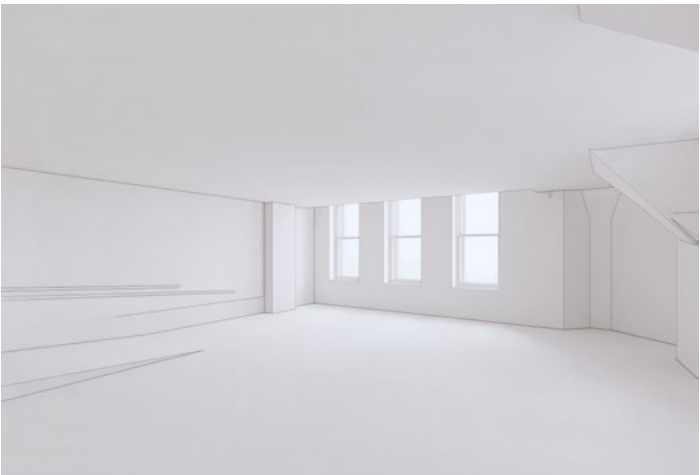
- 1. Raising the RAF system to provide air supply within the floor void.
- 2. Providing wall mounted FCU's to reduce high level services.
- 3. Reducing ceiling void to expose window heads

Alongside the above, the heritage areas are enhanced by:

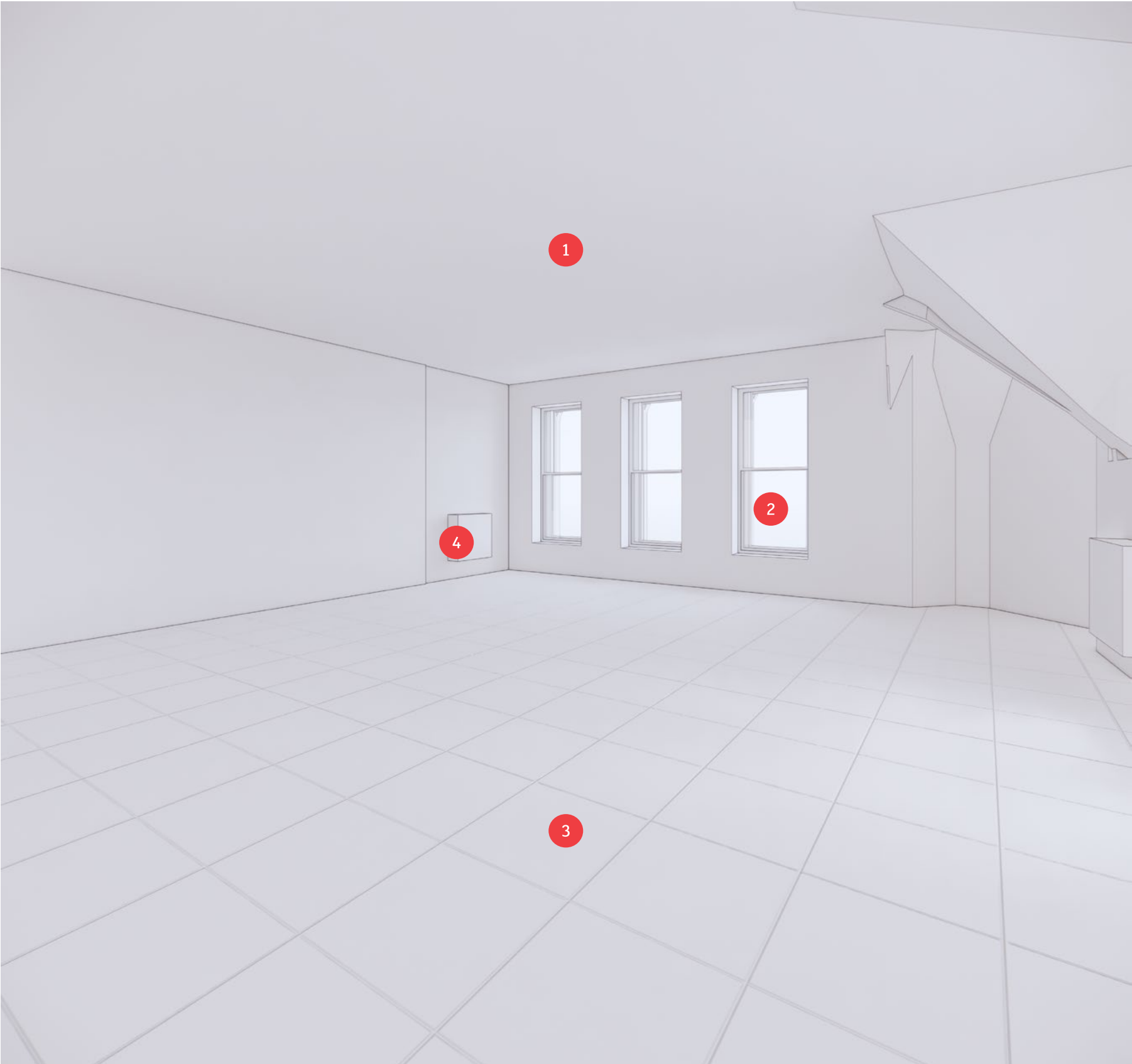
- 4. Replacing the existing secondary sash windows with single pane secondary glazing, removing the existing 'double' sight lines

The existing timber panelling is to be retained, repaired and sensitively adapted to allow for the installation of wall mounted FCU's and the slight increase of the Raised Access Floor, which allows the increase of the ceiling level.

The contemporary stair at first floor is to be infilled to restore the original floorplate.



R11 - Typical Floor - Existing Condition



R11 - Typical Floor - Proposed Condition

5.1 Internal Heritage Areas

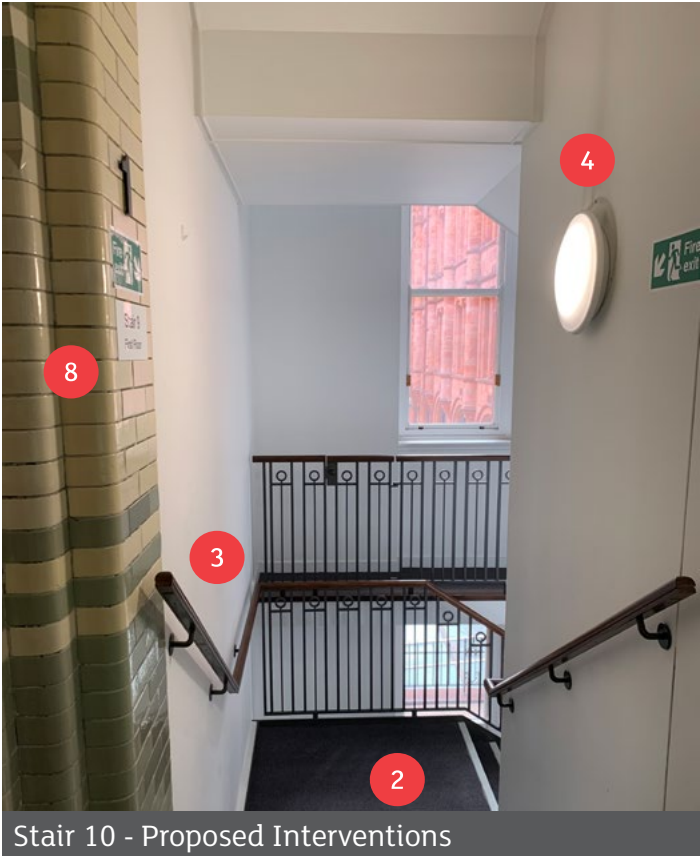
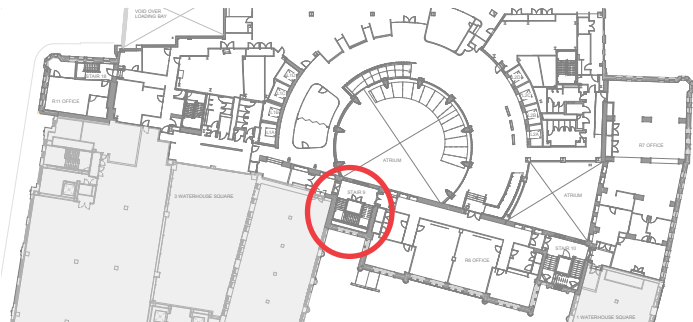
Stair 9

Interventions:

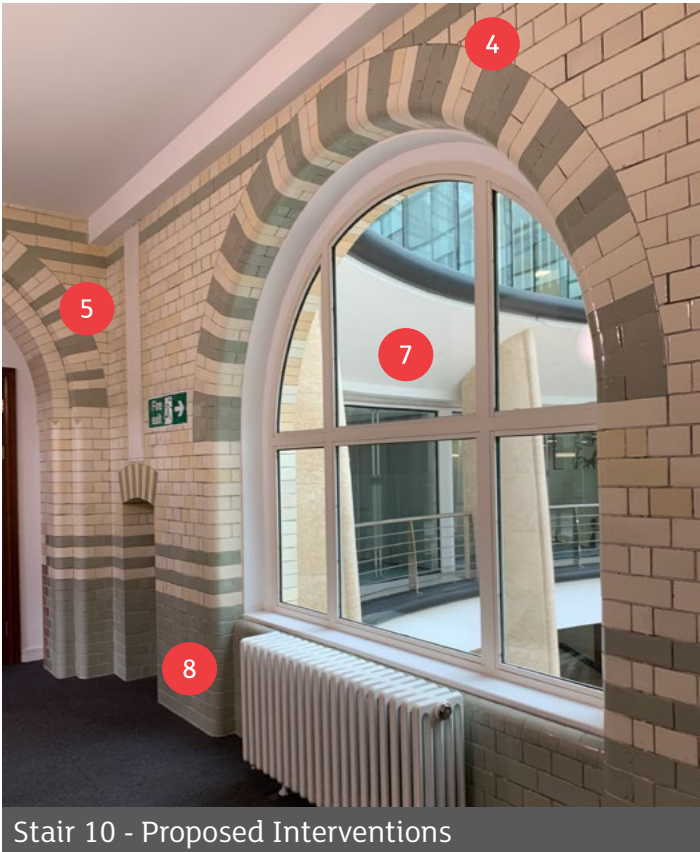
Stair 9 was introduced as part of the 1990's EPR works. No stair was in this location previously. There is faience brickwork to the main landings.

Our proposals seek to retain elements of high heritage significance, whilst retaining the stairs.

- 1 Replace floor finishes
- 2 Replace nosings and tread/riser finishes
- 3 Refurbish/replace handrail & balustrade
- 4 Replace light fittings
- 5 Refurbish faience brickwork
- 6 Introduce lift to central well
- 7 Replace windows
- 8 Refurbish/replace radiators



Stair 10 - Proposed Interventions



Stair 10 - Proposed Interventions



Stair 10 - Proposed Interventions

5.1 Internal Heritage Areas

Stair 10

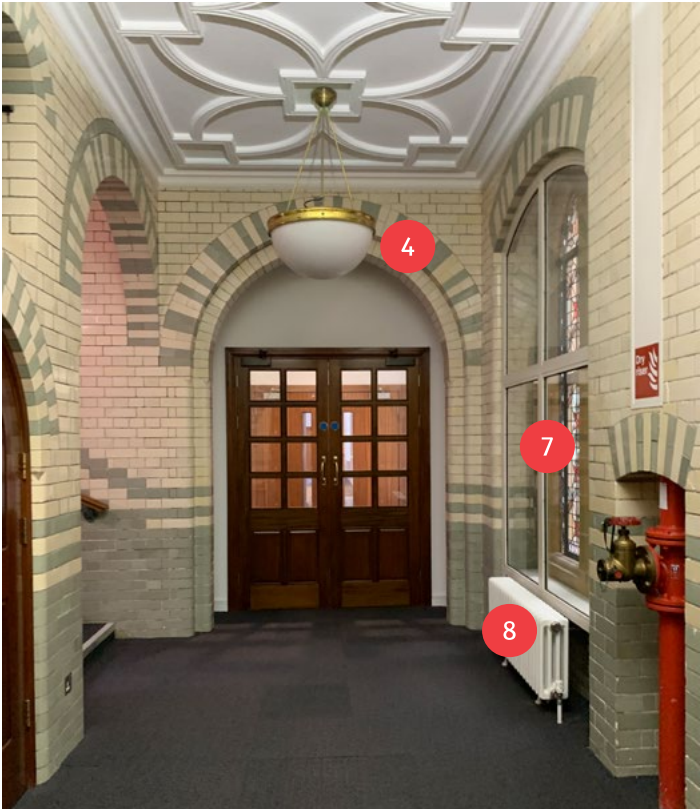
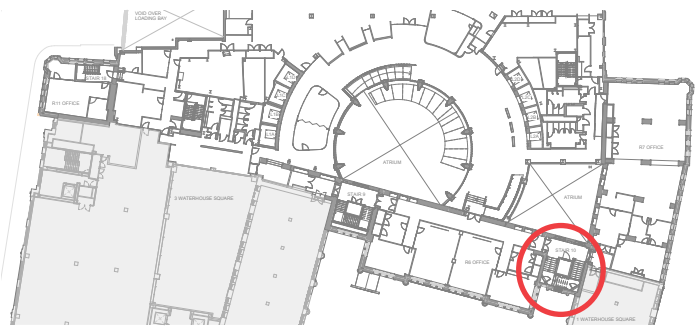
Interventions:

Stair 10 has many features perceived to be of high heritage significance. The stair core was adapted by EPR as part of the 1990's works and included.

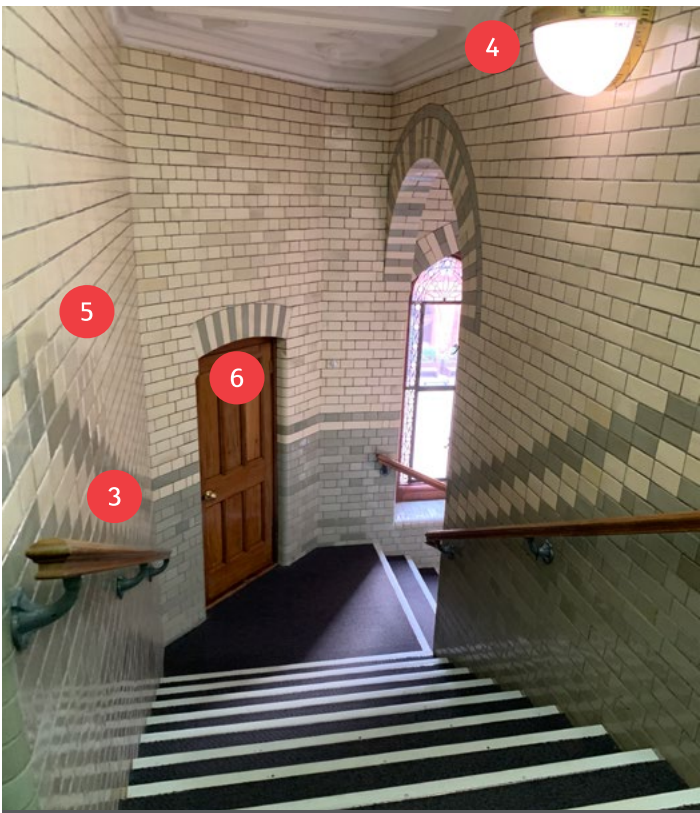
- Raising of the main landing and amendments to the stairs.
- Removal of lift within central well.
- New lighting, radiators and signage.
- Introduction of secondary glazing.

Our proposals seek to retain elements of high heritage significance.

- 1 Replace floor finishes
- 2 Replace nosings and tread/riser finishes
- 3 Refurbish handrail
- 4 Replace light fittings
- 5 Refurbish faience brickwork
- 6 Refurbish doors
- 7 Replace/remove secondary glazing
- 8 Refurbish/replace radiators



Stair 9 - Proposed Interventions



Stair 9 - Proposed Interventions



Stair 9 - Proposed Interventions

5.1 Internal Heritage Areas

Stair 11

Summary:

Stair 11 runs from LG to 1F only within R11 (Brooke Street Heritage Block)

The stair is required to be maintained from LG to GF for fire purposes.

The proposed see's the demolition of the stair from GF to 1F and reinstatement of floor slab to reinstate the original floorplate.



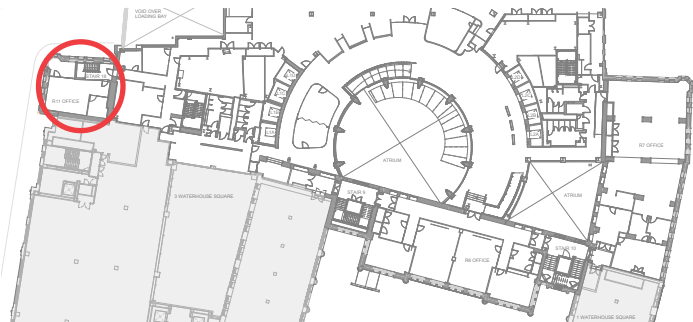
Stair 11 - First Floor Enclosure



Stair 11 - Ground Floor Enclosure



Stair 11 - Existing Stair



5.1 Internal Heritage Areas

Heritage Doors

Interventions:

Heritage style fire doors have been installed to Stairs 9 & 10 respectively.

These are non original doors and may require upgrading to modern standards & DDA requirements.

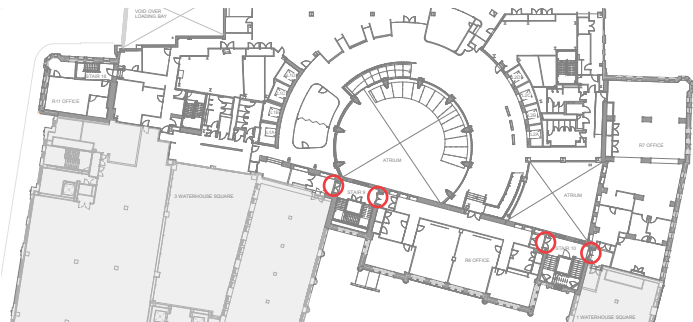
Replacement doors are proposed to be in a similar heritage style. Adjacent lobby forming contemporary style doors to be replaced with heritage style doors, to provide a consistent reading within the heritage areas of the site,



Typical contemporary 'Heritage Doors'



Typical contemporary 'Heritage Doors'



Typical contemporary 'Heritage Doors'

5.1 Internal Heritage Areas

R6 - Existing ground Floor Summary

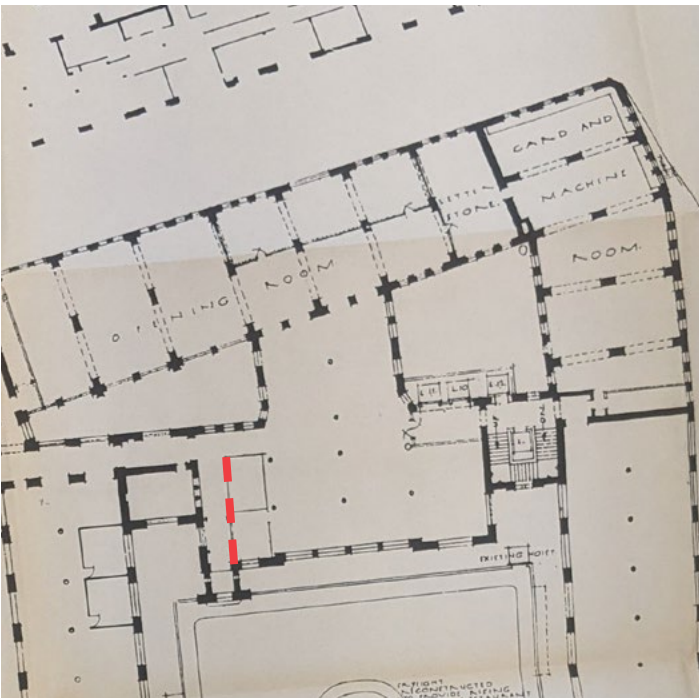
Summary:

The existing entrance hall is highly significant, with features of outstanding quality such as the faience columns and the moulded plaster ceiling.

Interventions were made internally as part of the EPR works and these include.

- 1. Inset revolving doors and matwell
- 2. Contemporary stone flooring
- 3. Contemporary partition on non original line
- 4. Heritage style contemporary doors

External adaptations were also made, and these are covered later in this chapter.



Waterhouse Square - Historic Plan



Waterhouse Square - Existing Condition

5.1 Internal Heritage Areas

R6 - Proposed ground floor summary

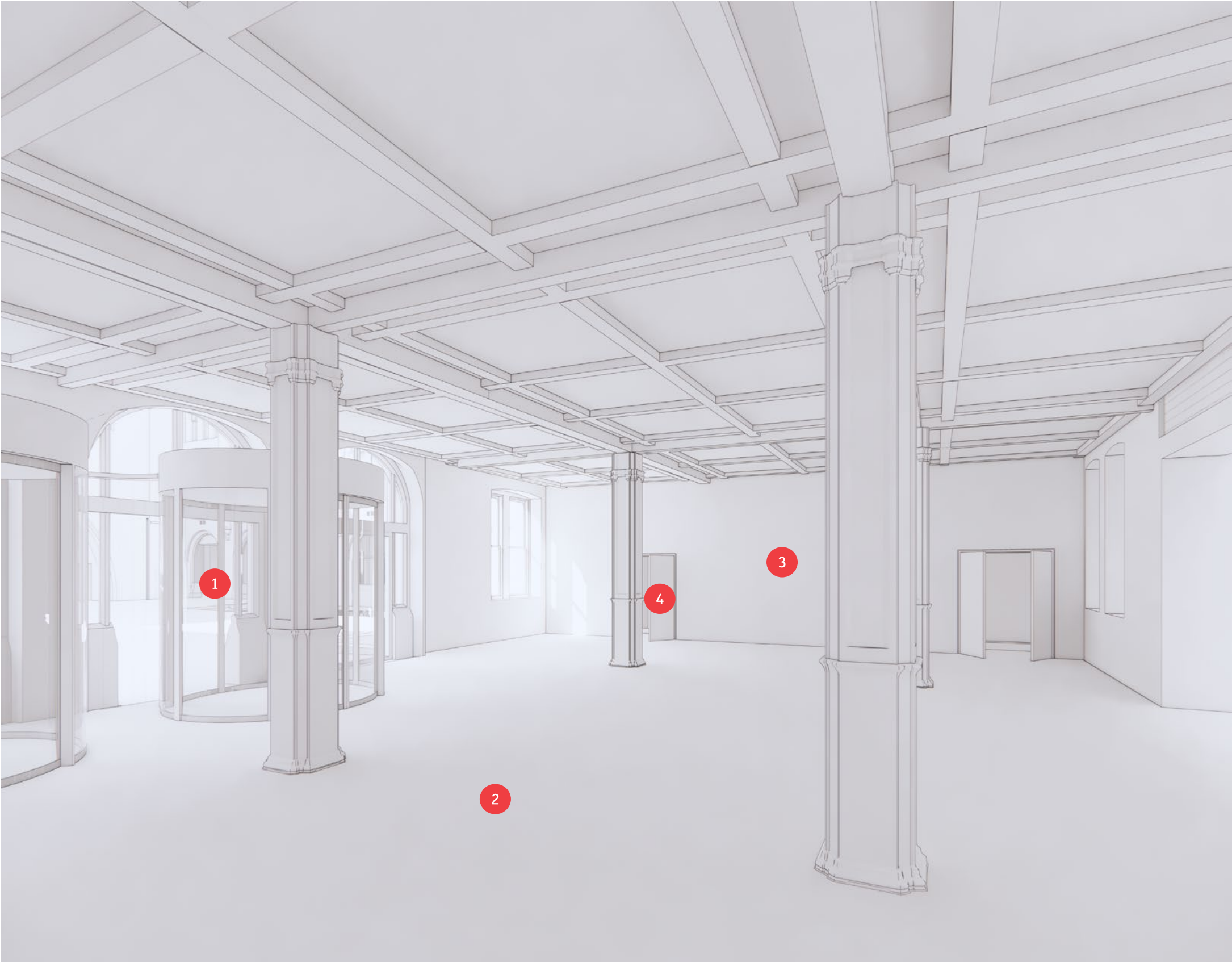
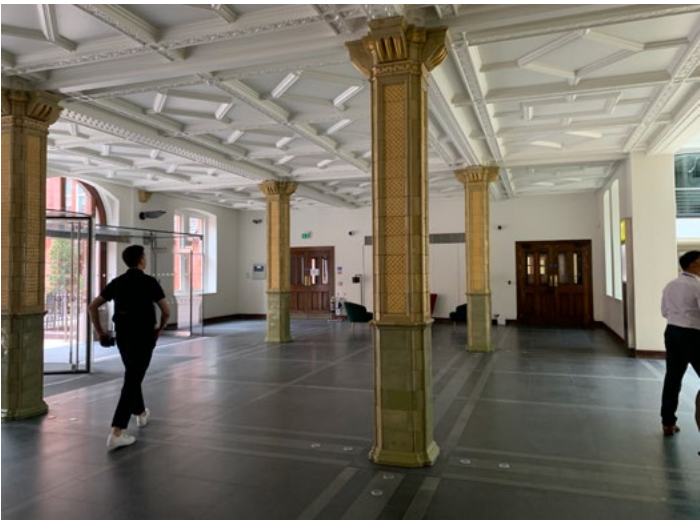
Summary:

The proposal seeks to intervene with the non original features only. The faience columns and the moulded plaster ceiling will be retained and refurbished or repaired as required..

A new partition is provided on the line of a historic partition, which separated the historic entrance and the clerks room. The interface of the partition with the moulded ceiling will be carefully considered. New drum doors are also provided to reduce the intrusive nature of the existing glazed lobby, allowing more space for the expression of the heritage features.

It is also proposed to replace the contemporary heritage style doors and provide a new floor finish to the space.

- 1 New drum doors
- 2 New floor finish
- 3 Partition reinstated on original line
- 4 New heritage style doors



Waterhouse Square - Proposed Condition