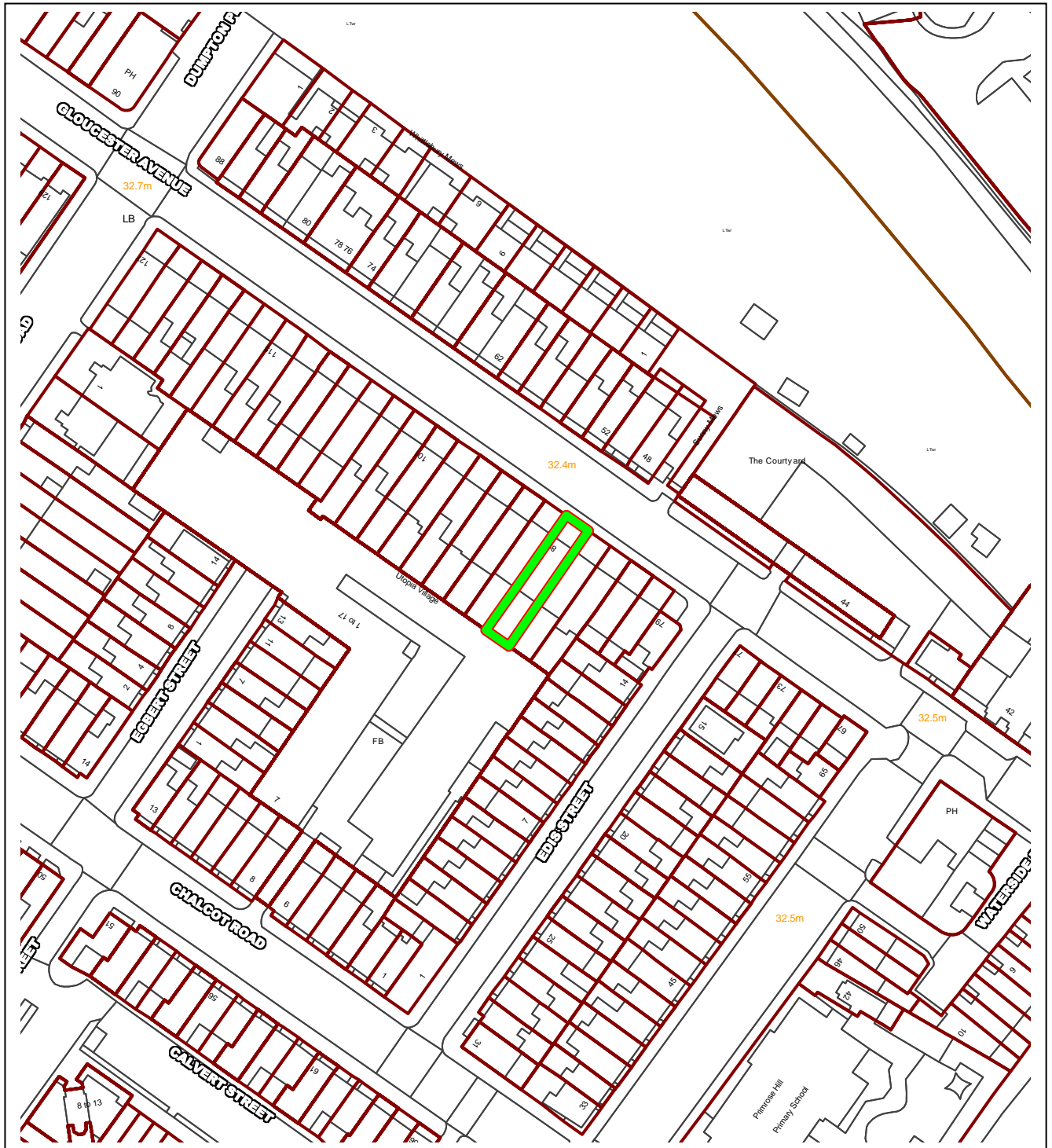


2023/1149/P – 89 Gloucester Avenue



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Photos

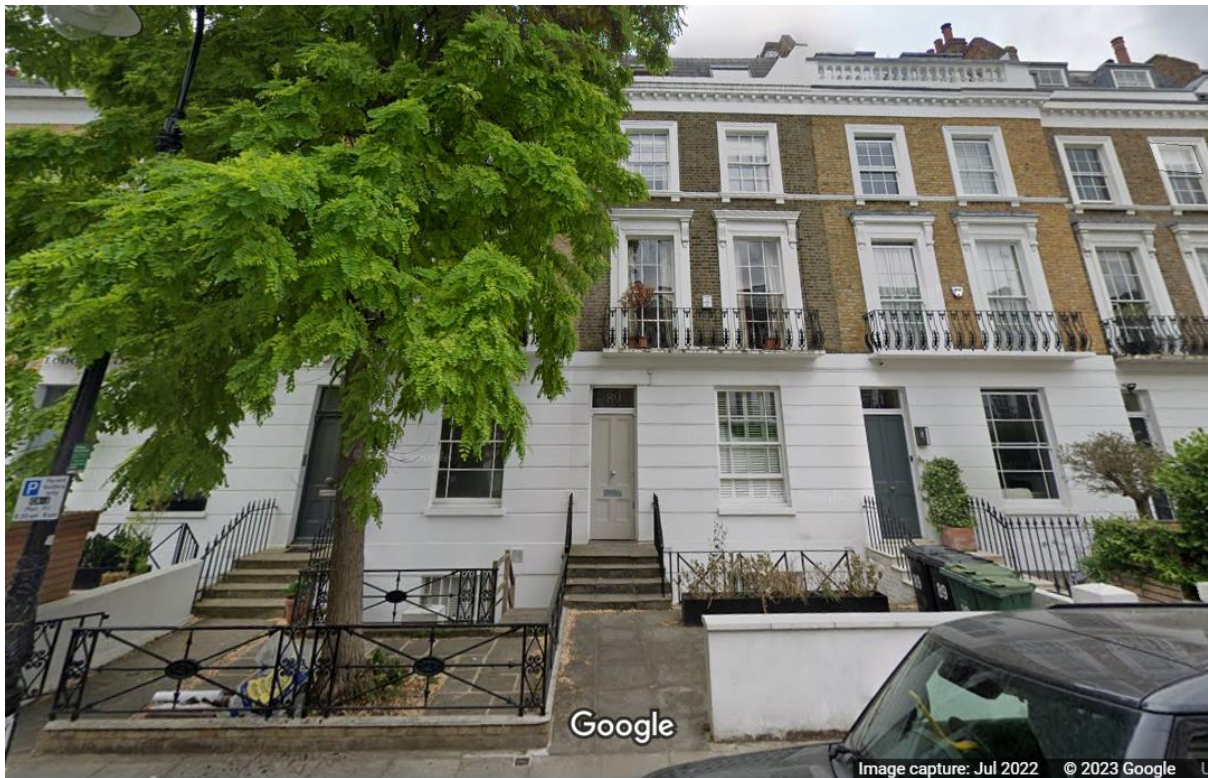


Image 1 (above): Front façade of property on Gloucester Avenue (source: Google streetview)



Image 2 (above): Aerial view towards front of property (source: Google aerial view)



Image 3 (above): Aerial view showing rear garden of property (source: Google aerial view)

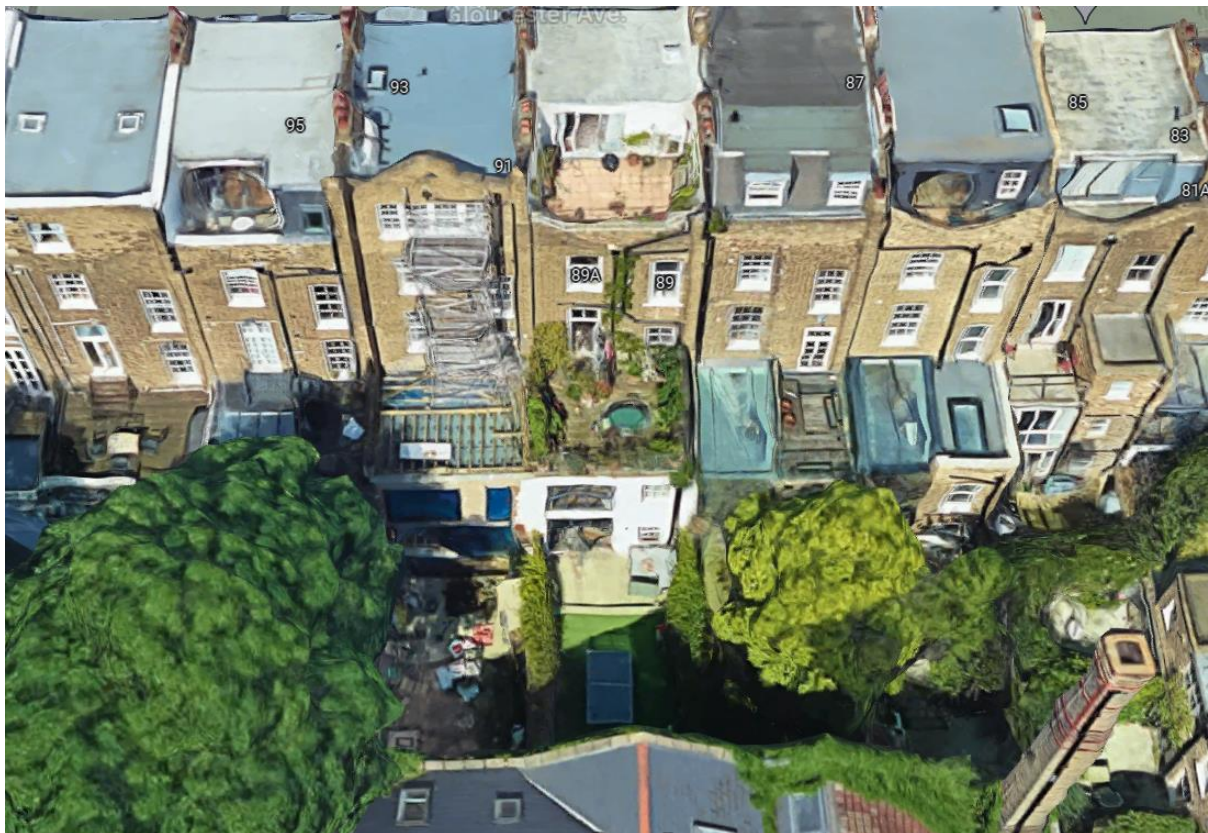


Image 4 (above): Aerial view showing rear façade of property (source: Google aerial view)



Image 5 (above): Applicant photo of existing rear garden

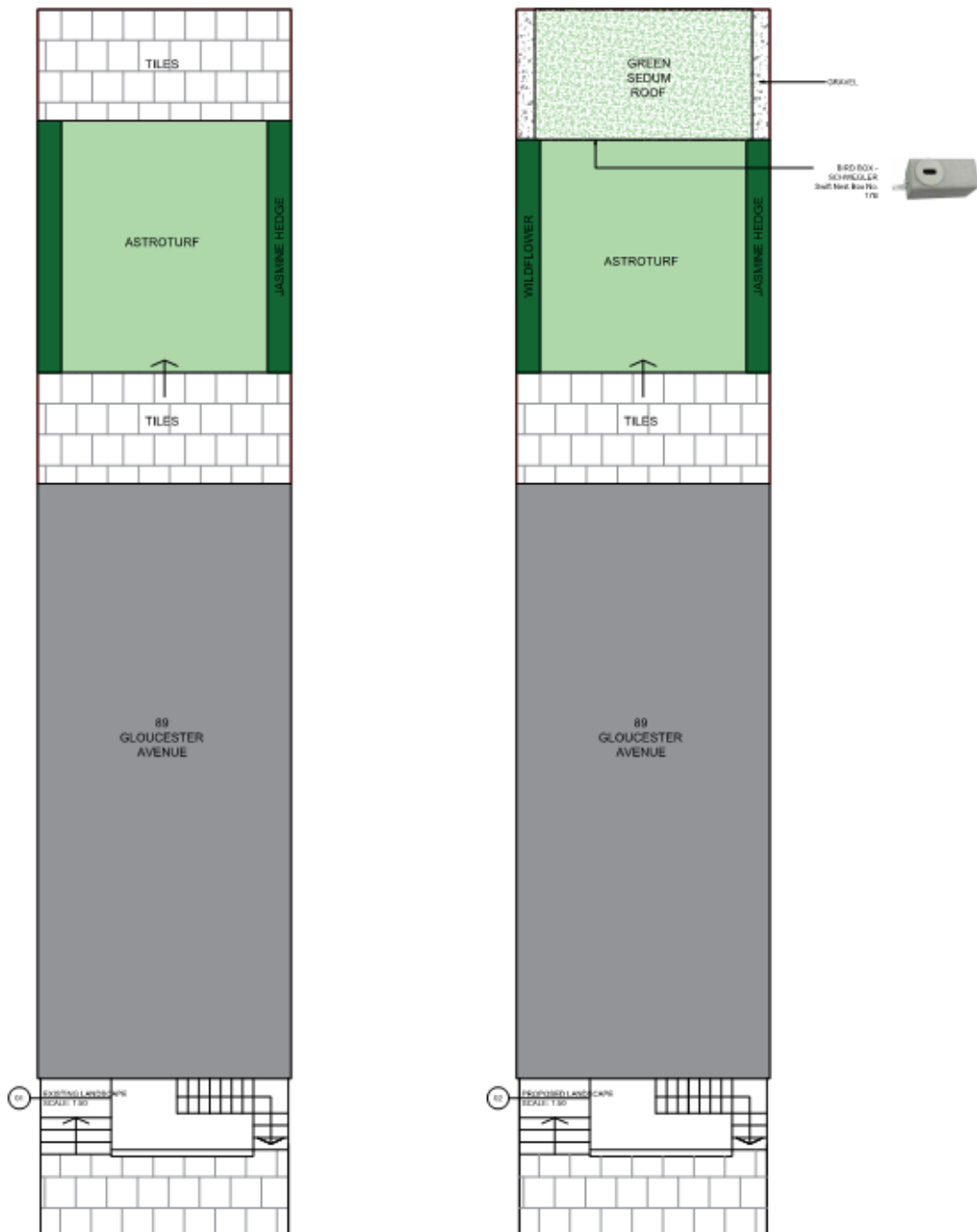


Image 6 (above): Existing and Proposed Garden Plans

Delegated Report		Analysis sheet		Expiry Date:	15/06/2023
(Members Briefing)		N/A / attached		Consultation Expiry Date:	28/05/2023
Officer			Application Number(s)		
Miriam Baptist			2023/1149/P		
Application Address			Drawing Numbers		
Maisonette Basement and Ground Floor 89 Gloucester Avenue London NW1 8LB			Please refer to draft decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Erection of outbuilding in rear garden.					
Recommendation(s):		Grant planning permission			
Application Type:		Full Planning Application			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	00	No. of objections	00
			No. Electronic	00		
Summary of consultation responses:	Site notices were displayed from 28/04/2023 until 22/05/2023 and press notices from 04/05/2023 to 28/05/2023. No objections or comments received.					
Primrose Hill Conservation Area Advisory Committee:	<p>The Primrose Hill CAAC object on the following grounds:</p> <p>1. Loss of green, open space. The conservation area is characterised by private gardens and planting: these proposals go against these policies. The proposal would neither preserve nor enhance the character or appearance of the conservation area.</p> <p><i>Officer's response: While the officer appreciates the application represents some loss of open space, the scheme will add a green, sedum roof to an otherwise currently (likely) impermeable rear garden, therefore improving the garden environment.</i></p> <p>2. The use of astroturf, which would be implicitly acknowledged in these proposals, is objectionable in terms of its harmful impact on the biosphere. While a sedum roof is proposed there is no indication of how it would be effectively maintained.</p> <p><i>Officer's response: The officer has communicated the council's discouragement of artificial grass rather than a permeable, natural surface/greenery. Despite this, it is noted that the use of astroturf does not constitute development, nor does it form part of the proposals but rather it is part of the existing situation.</i></p> <p>3. Camden's climate change policies are also relevant. The use of steel panels in the construction suggests a high carbon footprint. The outbuilding is shown as heated, but no information is provided on insulation to minimize energy use. The proposed building has external lighting, which is polluting and ecologically damaging.</p> <p><i>Officer's response: The side and rear walls will be clad in steel but the structure itself will be made of SIP panels. The lights should only be used for a short amount of time for aiding access to the outbuilding in the evening when there is little or no daylight. This should not require extensive energy use.</i></p>					

Site Description

The scheme is for the erection of a new outbuilding at the end of the rear garden with a sedum roof. The surrounding area is residential in nature and the site lies within the Primrose Hill Conservation Area.

Relevant History

Application site – none relevant.

Nearby sites:

101 Gloucester Avenue – 2015/0584/P - Erection of outbuilding in rear garden. – Granted 13/05/2015.

Relevant policies

National Planning Policy Framework (2021)

The London Plan (2021)

Camden Local Plan (2017)

- G1 Delivery and location of growth
- A1 Managing the impact of development
- A2 Open space
- A3 Biodiversity
- A4 Noise and vibration
- D1 Design
- D2 Heritage
- CC1 Climate change mitigation
- CC2 Adapting to climate change

Camden Planning Guidance (2021)

- CPG Amenity
- CPG Design

Primrose Hill Conservation Area Statement (2000)

Assessment

1.0 Proposal

1.1 The proposal is for the erection of a full-width garden studio at the end of the rear garden.

1.2 Key planning issues are as follows:

- Design & Heritage
- Biodiversity (loss of garden)
- Neighbouring Amenity

2.0 Assessment

2.1 Design & Heritage

2.1.1 The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.

2.1.2 Camden CPG Home Improvements guides that, because outbuildings occupy space in the garden, the size and design should be carefully considered in terms of the impact on neighbour

amenity, biodiversity and the character of the wider area, so that they do not detract from the generally 'soft' and green nature of gardens. The guidance notes that the siting, location, scale and design should have a minimal impact on, and be visually subordinate within, the host garden; the character and appearance of the conservation area should be preserved or enhanced; the outbuilding should not detract from the open character and garden amenity of neighbouring gardens and the wider area; space should be retained around the building for suitable soft landscaping; the height of the outbuilding should retain visibility over garden walls and fences; the size of the outbuilding should maximise the retention of garden and amenity space; trees and their roots should not be adversely affected by the outbuilding's position and construction methods should minimise any impact on trees and mature vegetation; materials which complement the host property and overall character of the surrounding area should be used; green roofs and/or solar panels should be considered; any impacts on water run-off and groundwater flows should be addressed; the use of water butts should be considered; and the installation of bird and bat boxes should be considered.

2.1.3 The outbuilding would be almost full width against the rear boundary with a gap left each side for vegetation. The outbuilding would be 5m wide, 3m deep, 2.5m high, occupying 15sqm of the garden. The whole garden is 63 sqm in area, so the new outbuilding would occupy approximately a quarter of the current garden. The garden is currently astroturf with some hedging and a paved area to the rear where the outbuilding would be situated. The replacement of the paving with an outbuilding with a sedum roof is an improvement on the amount of soft/permeable surface in the garden. A condition would be attached to the permission if granted for details of the green roof to ensure a level of quality and longevity.

2.1.4 The proposed outbuilding is considered to accord with the CPG guidance insofar as it would be visually subordinate within the garden, by virtue of its scale, design and location; it would not detract from the openness of the rear garden, or the wider area; space would be retained to the sides to allow for vegetation and to lessen the impact on neighbouring gardens; its height would not be excessive, such that it would dominate the surrounding area; ample garden and amenity space would be retained between the outbuilding and the main building; and a green roof would be installed, which would provide biodiversity and sustainable drainage benefits and complement the garden setting.

2.1.5 The outbuilding proposed is considered to respect the main house, being at the rear of the garden and single storey. There are not many outbuildings in gardens in the immediate area but one of similar size was granted at No. 101 in 2015. In terms of scale the outbuilding is deemed subordinate to the host property, neither bulky nor incongruous. There are no views to the garden from the public realm and so the proposed outbuilding would not harm such views. Although the outbuilding would be visible from the upper floors of the host building and its neighbours, the green roof would soften its appearance when viewed from above.

2.1.6 The detailed design proposed is considered to acceptable and suitable for a garden outbuilding. The proposed materiality is not considered to detract from the host property or harm the character of the wider surrounding area. Overall, the proposal is not considered harmful to the character or appearance of the host building, street scene or the wider Primrose Hill Conservation Area, in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

2.1.7 Considerable importance and weight has been attached to the harm and special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

2.2 Biodiversity (Loss of garden space)

2.2.1 Policy A2 of the Local Plan seeks to protect non-designated spaces with nature conservation, townscape or amenity value, including gardens. The sub-text to the policy notes that development within rear gardens and other undeveloped areas can have a significant impact upon the amenity and character of the area; and gardens provide a setting for buildings, provide visual interest and support

natural habitats. It is noted that the Council will resist development that occupies an excessive part of a garden and will also seek the retention of important views and glimpses of green space, such as gardens.

2.2.2 Policy A3 seeks to protect and enhance site of nature conservation and biodiversity and also seeks to protect gardens. The policy notes that the Council will assess developments against their ability to realise benefits for biodiversity through the layout, design and materials used in the built structure and landscaping elements of a proposed development, proportionate to the scale of development proposed.

2.2.3 Policy A3 also seeks to protect trees and vegetation and the policy notes that the Council will resist the loss of trees and vegetation of significant amenity, historic, cultural or ecological value, including proposals which may threaten the continued wellbeing of such trees and vegetation.

2.2.4 Policy CC2 requires development to be resilient to climate change, through adopting measures such as incorporating bio-diverse roofs.

2.2.5 It is considered that the proposed outbuilding would be subordinate in size to the rear garden and ample garden space would be retained to support natural habitats, provide a verdant setting to the host building and offer amenity value to residents. As aforementioned, the outbuilding would measure 5m wide, 3m deep, 2.5m high, occupying 15sqm of the garden, approximately a quarter of the garden.

2.2.6 The proposed outbuilding would also feature a green roof, which would provide biodiversity benefits, as well as softening / greening the appearance of the building when viewed from above. A planning condition is suggested to ensure that details of the green roof are submitted for approval prior to the commencement of works.

2.2.7 The proposals do not involve the loss of any trees and although there would be some very minor loss of existing low-level vegetation, the majority of the existing planting against the side boundaries will be maintained or improved, the green roof will also mitigate against the loss.

2.2.8 Overall, the impacts of the proposal on biodiversity at the site are considered to be acceptable, subject to the suggested conditions.

2.3 Neighbouring Amenity

2.3.1 Local plan policy A1 seeks to protect the amenity of residents by ensuring the impact of development is fully considered. The quality of life of occupiers and neighbours are protected by only granting permission for development that would not harm the amenity of neighbouring residents. This includes factors such as light and privacy. Local plan policy A4 seeks to protect the amenity of residents in terms of noise, vibration and odour.

2.3.2 Due to the nature of the works proposed, no material harm to in terms of loss of light, noise, privacy or outlook to the amenity of surrounding properties is expected.

3.0 Recommendation

3.1 Grant conditional planning permission.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 14th August 2023, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2023/1149/P
Contact: Miriam Baptist
Tel: 020 7974 8147
Email: Miriam.Baptist@camden.gov.uk
Date: 7 August 2023

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Alexandra von Peltz Limited
Pound House
62a Highgate High Street
London
N6 5HX

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Maisonette Basement And Ground Floor
89 Gloucester Avenue
London
Camden
NW1 8LB

DECISION

Proposal:

Erection of outbuilding in rear garden.

Drawing Nos: 1013_AVP_SP rev 00, 1013_AVP_LP rev 00, 20-04-2023 rev B,
1013_AVP_GA_Landscape rev 01, 89a Gloucester Avenue Householder Planning
Application Design and Access Statement.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: 1013_AVP_SP rev 00, 1013_AVP_LP rev 00, 20-04-2023 rev B, 1013_AVP_GA_Landscape rev 01, 89a Gloucester Avenue Householder Planning Application Design and Access Statement.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 [and D2 if in CA] of the London Borough of Camden Local Plan 2017.

- 4 Prior to commencement of development, full details in respect of a green roof shall be submitted to and approved by the local planning authority. The details shall include:

- i. a detailed scheme of maintenance
- ii. a plan and section at a scale of 1:20 with manufacturer's details demonstrating the construction and materials used
- iii. full details of planting species and density

The green roof shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1 and A3 of the London Borough of Camden Local Plan 2017.

- 5 The garden outbuilding shall only be used as an ancillary use to the main property at 89 Gloucester Avenue.

Reason: To protect amenity of adjoining occupiers and also ensure the outbuilding hereby permitted does not become a self-contained dwelling, separate and apart from the original dwellinghouse known as 89 Gloucester Avenue in accordance with policies H1, H6, A1 and A4 of the Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer