

38 Ingham Road, London NW6 1DE DESIGN AND ACCESS STATEMENT

August 2023

1.0 Introduction

This Design and Access Statement has been prepared to support the application for 38 Ingham Road London NW6 1DE, which proposes to replace the existing conservatory with a single storey rear extension.



38 Ingham Road highlighted in yellow

2.0 The Application Site

Ingham Road is short road running approximately 150 metres from East to West and is entirely residential, mostly houses a few have been converted into flats. It is not located in a conservation area and the house is not listed. The property, like its neighbours is built of stock brick (painted) and sash windows to the front.

3.0 Design and Appearance

It was ascertained that the current outer shell of the greenhouse leads to significant overheating during summer and uncomfortably cold temperatures in winter, making it unsuitable for use. For that reason, the proposal intends replace the external envelope to match the main body of the house while being in keep with the overall width of the existing greenhouse. In addition to that, the proposed extension rear wall will be aligned to the neighbour at 36 Ingham to respect the character of the surroundings. The house is in an area in which some of the houses have been extended in a similar way. Due to its size and location, the proposal would not harm the amenity of any adjoining residential occupiers in terms of loss of light, outlook, enclosure or privacy.

4.0 Houses nearby Precedents

There are some precedents of comparable rear extension in the surrounding area. The neighbours which have their houses extended are: 28 Ingham Road, 32 Ingham Road, 34 Ingham Road, 36 Ingham Road (adjacent to property), 37 Ingham Road and 44 Ingham Road.

6.0 Conclusions

The proposed rear extension would be subordinate to the main house dressed in matching materials and would also sit comfortably within the site and respect the character of the house. In addition, the scheme would also be in accordance to the context of the surrounding area in close proximity to the application site.



38 Ingham Road existing rear