

Application ref: 2023/1836/P  
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Date: 9 August 2023

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
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[www.camden.gov.uk/planning](http://www.camden.gov.uk/planning)

Craft Design  
39c Florence Road  
London  
N4 4DJ

Dear Sir/Madam

## **DECISION**

Town and Country Planning Act 1990 (as amended)

### **Householder Application Granted**

Address:

**37 Queen's Crescent  
London  
Camden  
NW5 3QD**

Proposal:

Erection of roof extension with two dormers to front and two windows to rear, and installation of two windows to rear elevation.

Drawing Nos: A-1001 (Rev 01); A-100 (Rev 01); A-101 (Rev 01); A-102 (Rev 01); A-103 (Rev 03); A-104 (Rev 01); A-200 (rev 05); A-300 (rev 02); B-1000 (Rev 01); B-1001 (Rev 01); B\_100 (Rev 01); B-101 (Rev 01); B-102 (Rev 01); B-103 (Rev 01); B-201 (Rev 01); B-202 (Rev 01); B-300 (Rev 01); and Design statement by Craft dated 05/05/2023 (drawings contained in document not approved unless drawing number specifically referred to here).

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and

Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

A-1001 (Rev 01); A-100 (Rev 01); A-101 (Rev 01); A-102 (Rev 01); A-103 (Rev 03); A-104 (Rev 01); A-200 (rev 05); A-300 (rev 02); B-1000 (Rev 01); B-1001 (Rev 01); B\_100 (Rev 01); B-101 (Rev 01); B-102 (Rev 01); B-103 (Rev 01); B-201 (Rev 01); B-202 (Rev 01); and B-300 (Rev 01).

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Reasons for granting permission.

The proposal involves a mansard roof extension, the principle of which is acceptable as mansards are characteristic of the wider building group including a recent permission at the adjoining neighbour No. 39 (Ref: 2023/0441/P). The roof extension would appear as a traditional mansard to the front with a sloped roof and dormer windows to match the appearance of the existing mansard at No.41. To the rear it would continue the brick elevation upwards and include two new window openings. In typical circumstances, the Council would seek a traditional mansard appearance to the front and rear; however, in this situation the continuation of the brick elevation is supported as it is consistent with the consented mansard form at Nos. 39 and 41, the latter of which was a historic permission granted under a different design policy context. It is considered that a continuation of the form is the right approach in these circumstances, as it will achieve a better outcome overall, the use of varying styles would appear disjointed. A large rear window with Juliette balcony is proposed at third floor level. This is not normally a feature that would be encouraged at this level owing to the large amount of glazing which fails to respect the traditional window hierarchy. However, given the adjoining roof extension features a similar window and it would unlikely to be visible in views from Modbury Gardens given its position down the terrace, it is considered acceptable in this instance.

The proposal also involves the enlargement of two existing rear windows, one on the outrigger and the other at second floor level. The proportions and design are considered appropriate.

In terms of materials, the mansard would comprise slates to the front, matching brickwork to the rear and timber framed windows. These are considered to be appropriate materials for the host building.

The new windows proposed would not introduce any new views compared to the existing situation. The additional massing is located a sufficient distance away from the windows of neighbouring properties for there to be no impact on outlook or daylight/sunlight. The proposal is therefore not considered to cause any adverse impact on the amenity of adjoining residential occupiers.

No objections have been received prior to making this decision. The planning history of the site has been taken into account when coming to this decision.

As such, the proposed development is in general accordance with policies A1 and D1 of the Camden Local Plan 2017. The proposed development also accords with the London Plan 2021 and the National Planning Policy Framework.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 3 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 4 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at [www.camden.gov.uk](http://www.camden.gov.uk)) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

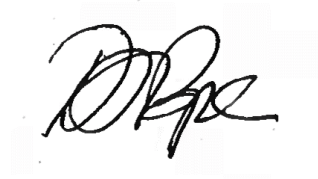
In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

A handwritten signature in black ink, appearing to read 'DPope', is positioned above the printed name and title.

Daniel Pope  
Chief Planning Officer