



39RS/1/011 - Laboratory



39RS/1/012 - Laboratory




39RS/1/019 - Lobby



39RS/1/023 - Vault



Key:

 Water ingress or damage on walls or ceiling

Left:

Photographs of some of the areas on Levels 01 & 02

From top right clockwise:

Proposed Demolition Plan on Basement Floor (Level 01) Plan

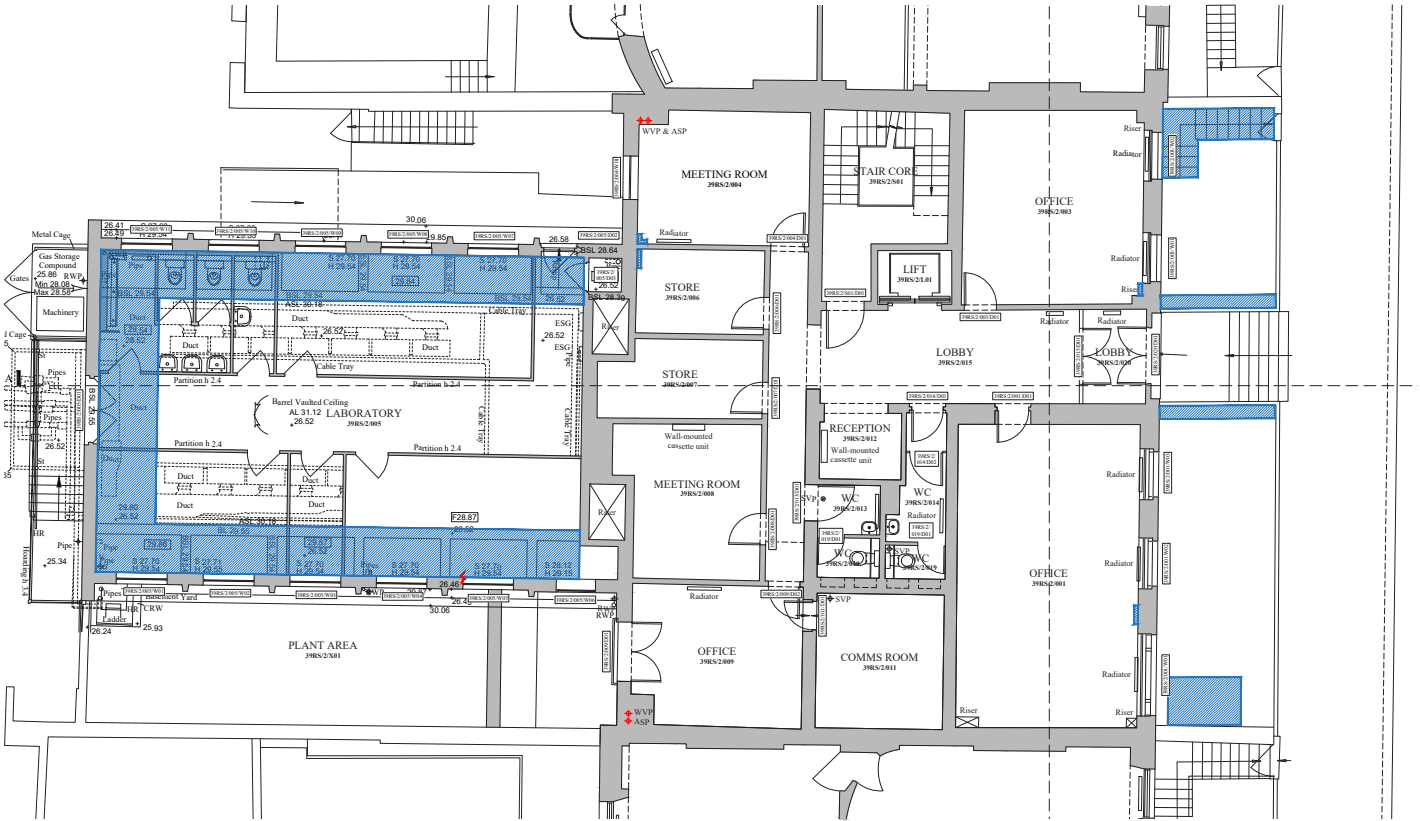
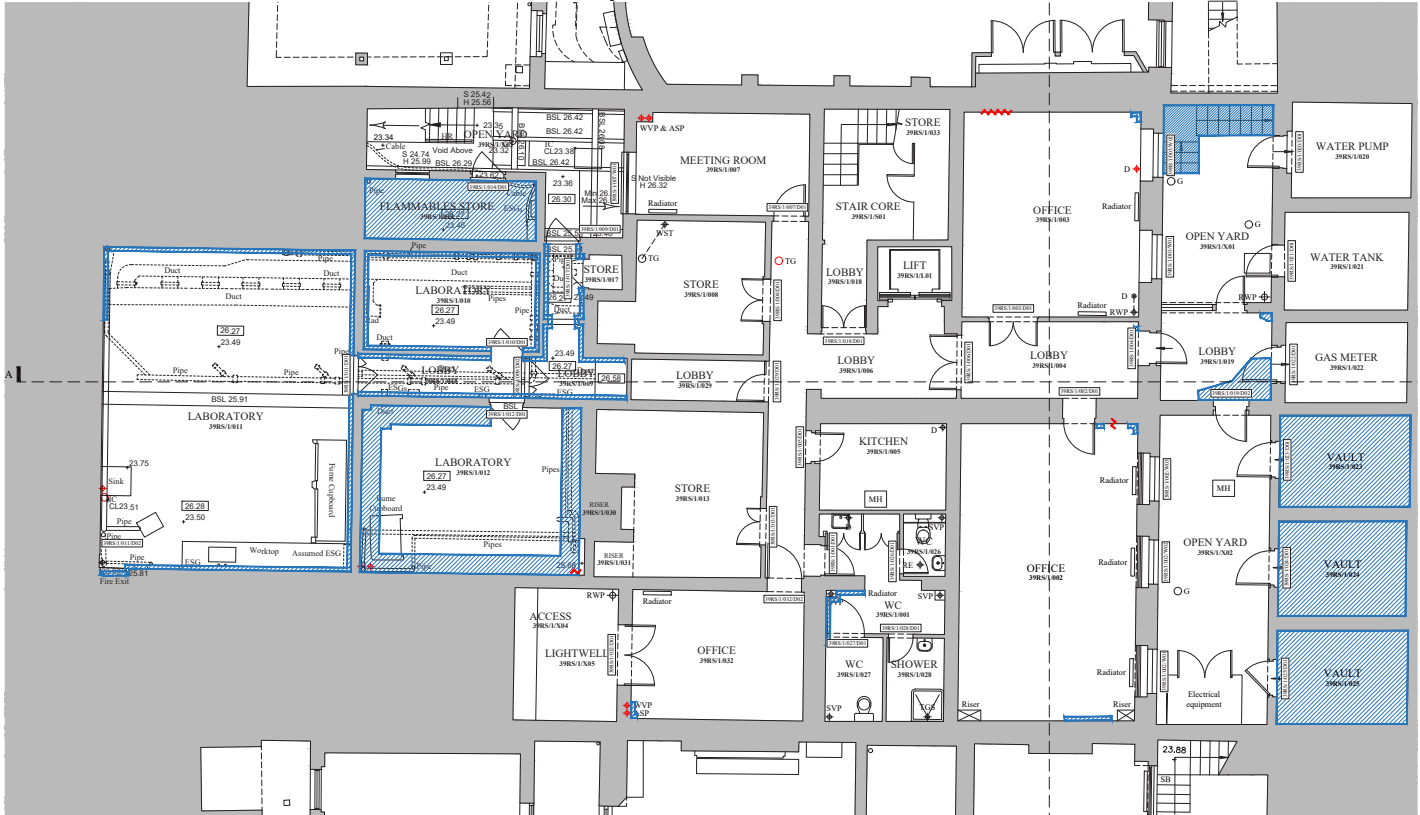
Proposed Demolition Plan on Ground Floor (Level 02) Plan



Science Block - External Door



39RS/2/005 - Laboratory





39RS/3/001 - Office



39RS/3/004 - Office



39RS/4/001 - Office



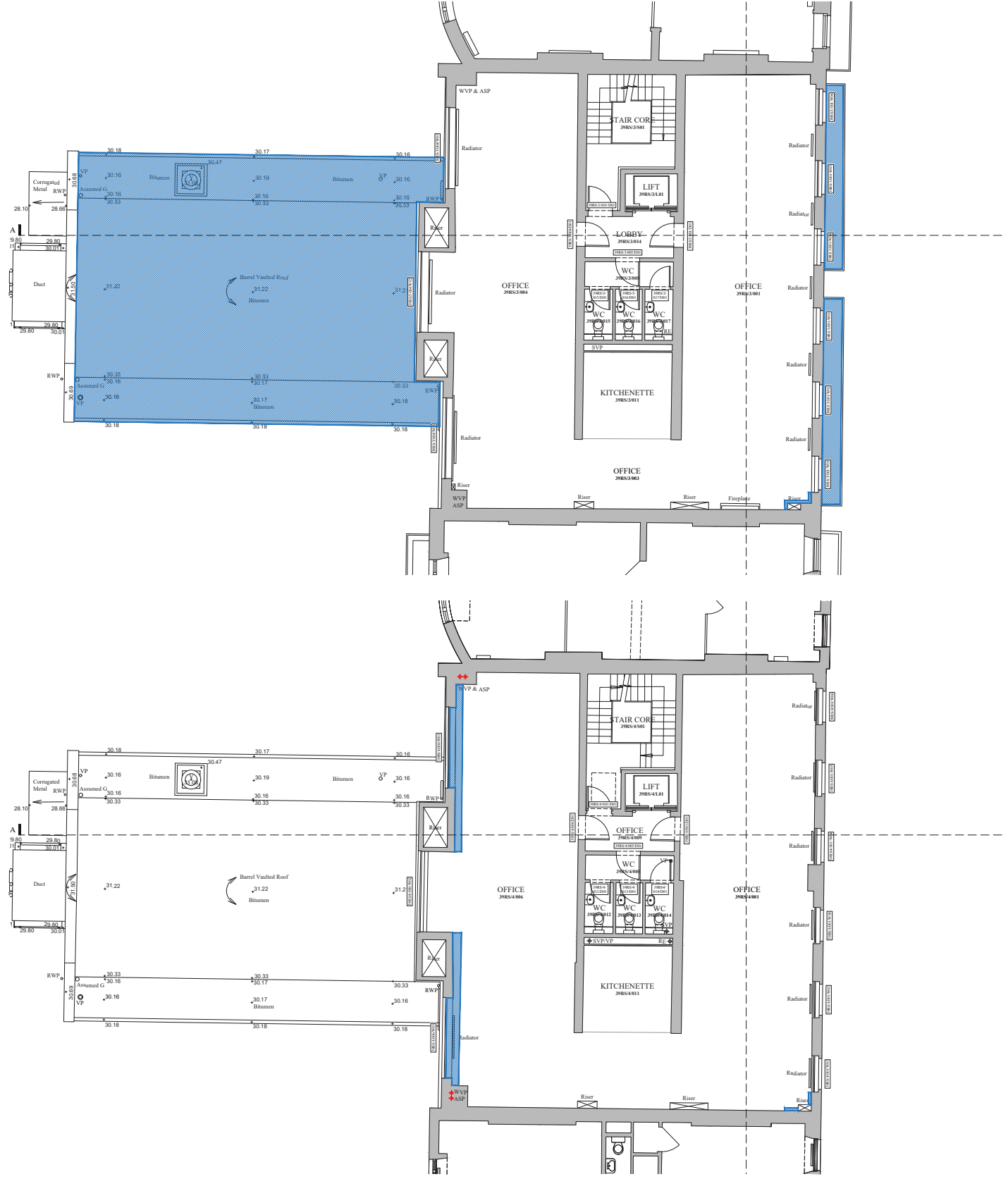
39RS/4/006 - Office




39RS/4/006 - Office



Science Block - Vaulted Roof



Key:

 Water ingress or damage on walls or ceiling

Left:

Photographs of some of the areas on Levels 03 & 04

From top right clockwise:

Proposed Demolition Plan on First Floor (Level 03) Plan

Proposed Demolition Plan on Second Floor (Level 04) Plan



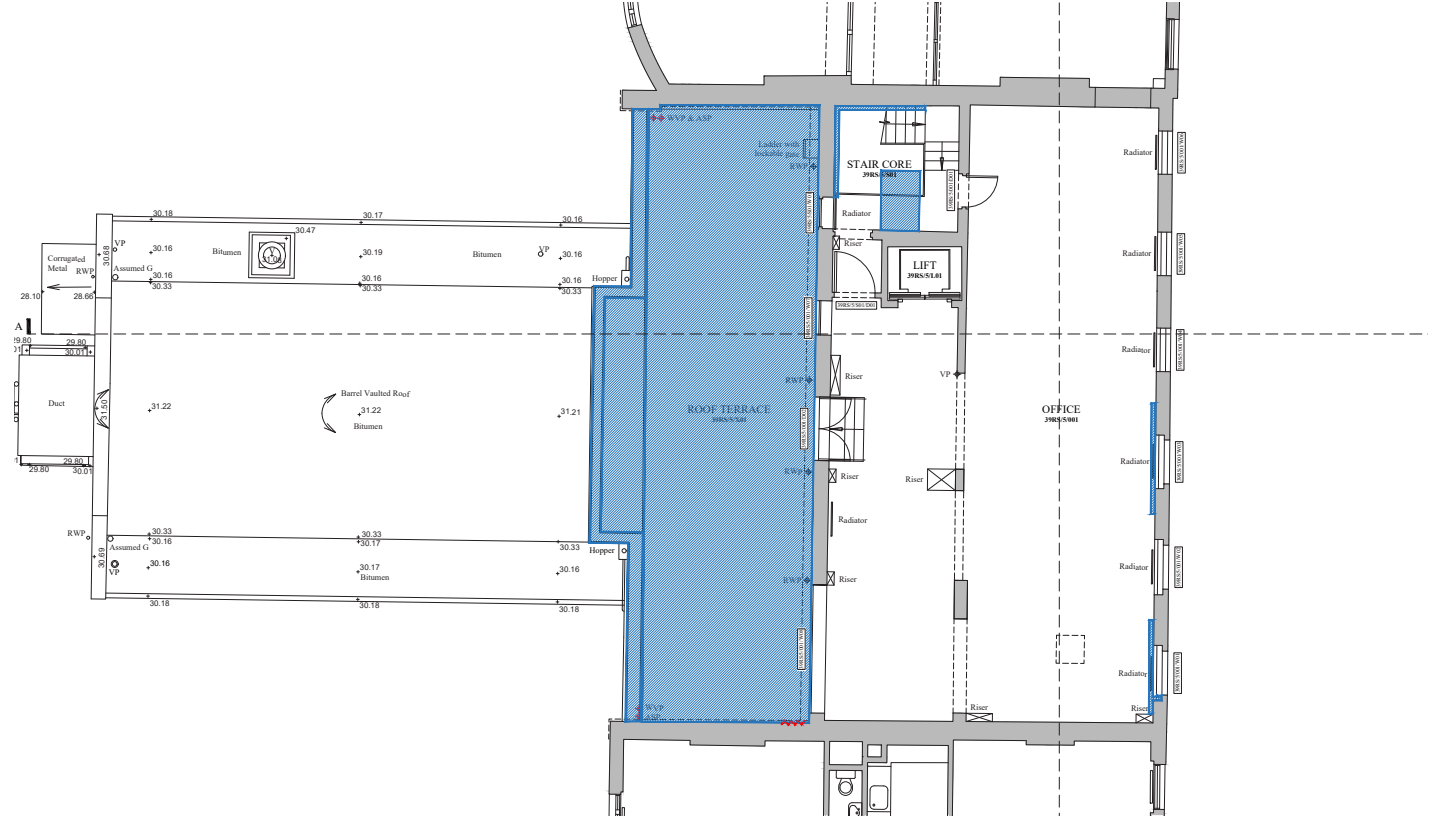
39RS/5/001 - Office




39RS/5/001 - Office



39RS/5/X01 - Roof Terrace



Key:

 Water ingress or damage on walls or ceiling

Left:

Photographs of some of the areas on Level 05, including Roof Terrace

Right:

Proposed Demolition Plan on Third Floor (Level 05) Plan

Brief, Scope and Consultation

2.1

BRIEF & SCOPE OF WORK

2.1.1

Project Brief

The brief was established with representatives from the Museum through a series of Stakeholder consultation sessions.

In essence, the project brief is to carry out repair works categorised as priority 1 & 2 in the adjacent table, which has been captured in the proposed scope of works within this application, in order that it is suitable for temporary occupation (5 years). These are focused on repairs to prevent ongoing accelerated decay or risks to health and safety, as well as essential works required to enable the building to be temporary occupied for the proposed functions whilst the SWEC programme is constructed.

Priority 6 items are also be carried out to internal areas to remediate dilapidations observed. This will mostly involve redecoration of areas of damp or cracked plaster, peeling paint, and the like.

The brief is restricted to these items so as not to cause undue delay to the SWEC programme and wider Museum Estate Masterplan objectives.

Priority	Criteria
1	Essential repairs which should be carried out urgently to prevent risks to health and safety
2	Essential repairs which should be carried out to prevent ongoing accelerated decay or significant loss of architectural fabric AND; Essential works required to enable the building to be temporarily occupied for the proposed function
3	Desirable repairs which should be carried out within 10 years to prevent decay and loss AND; Desirable works required to be leased commercially and permanently occupied
4	Major elements of work where replacement is expected within 10 to 20 years
5	Desirable repairs to reinstate missing or heavily decayed architectural detail
6	Cosmetic defects that do not adversely affect durability

2.1.2

Scope of Work Summary

In summary, the scope of the proposals is to undertake remedial works to repair existing dilapidations and prevent further damage to the fabric of the listed building as well as carry out light-touch alterations such as the installation of kitchenettes in 39RS (connecting to capped services installed in the 2017 works) to make the accommodation suitable for use as office and project space accommodation and associated storage and welfare.

Works to 39-40 Russell Square generally have been kept to a minimum as the building was recently refurbished in 2017, with new flooring provided only to areas, including changing rooms, Kitchenettes, Mess and Project Spaces, to ensure ease of cleaning and maintenance. Lightweight stud partitions and doors are provided in a few locations to improve security and division of functions, with general office areas on Levels 03, 04 and 05 are all open plan. Throughout, existing lockers, desking, chairs and filing furniture that currently exists elsewhere on the estate is assumed as being decanted into the proposed spaces, with existing power and data services being utilised as much as possible. There are some minor works associated with services to the newly proposed kitchenettes, but these have been located in areas of capped services delivered as part of the 2017 works. Some BWIC will be required to alter and provide new mechanical servicing to conditioned stores located on Level 01 and a plant room on Level 02.

Comparatively to the main terrace block, the Science Block annex is currently in a state of vacancy and disrepair. The scope proposed is to undertake

remedial works to repair existing dilapidations and prevent further damage to the fabric of the building as well as carry out alterations in order to support workshop accommodation on the upper level and changing, showers, and WC facilities on the lower level.

The scope of works, in addition to repairs, involves the strip out of all existing half height stud partitions, fittings, fixtures and services leaving the main physical fabric/structure of the building untouched. New showers, WCs and internal partitions will be installed at the lower level, partly on a raised floor to accommodate drainage runs to existing underground drainage run under the building. As this area is below ground level, an allowance has been made to provide tanking water proofing to improve internal conditions and resistance to water ingress.

Finishes proposed are hard wearing vinyl and tiling suitable for use in wet areas. Some BWIC will be required to service mechanical ventilation for the workshops and changing/WC/Shower areas.

The structural layouts of both buildings will predominantly remain unchanged, and external elevations repaired only where necessary and on a like for like basis. At roof level, new or over-clad waterproofing has been allowed to areas suspected of leading to water ingress/damp or where the existing finishes have been observed to be damaged or degraded. As part of roof works, associated flashings will need to be replaced on a like for like basis. There may be further repair works required associated with areas at roof level that have not yet been able to be safely accessed and inspected.

Other alterations include the creation of an opening at ground floor (Level 02) and basement (Level 01) levels to connect the Science Block to 39RS and the replacement of the terrace decayed timber decking with new anti-slip paving. New principal single leaf entrance doors with swipe card access are also to be provided to the Science block at levels 01 and 02.

A proposed scope of works and outline specification has been provided with the planning submission documents and should be referred to for further information.

In developing the proposals, an extensive programme of internal consultation has been undertaken with stakeholders at The British Museum. This involved consultation with not only the end users, but also experts within the Museum on aspects such as architectural design, health and safety, and security. Wider stakeholders that will be or may be affected by the proposed works were also consulted, including stakeholders from the Museum’s business as usual, maintenance and collections care teams. The input of internal stakeholders has been crucial in developing the proposals and its success will, to a great extent, be the result of their continued care, consideration and professionalism.

the proposals, for which demolition and proposed drawings were tabled and discussed.

The proposals have been presented and discussed as an enabling project to facilitate decant activity associated with a wider programme of work, for which proposals are currently in development, called the SWEC programme. An EoL was prepared and submitted to outline the extent of opening up and investigative works required.

The proposals were consequently first discussed with the London Borough of Camden (LBC) and Historic England (HE) Officers on the 2nd of March 2023 as part of SWEC programme pre-application discussions. This initial presentation focused on the dilapidations observed and likely causes of decay as well as initial design proposals. No concerns with regards to the proposals were raised at this time.

Following this initial meeting, the proposals were further discussed at a further pre-application meeting on the 19th of June 2023. Again, no concerns were raised by Officers within this session with regards to

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CHAPTER 3

The Proposals

3.1

DESIGN PROPOSALS

3.1.1

Design Principles Summary

The significance of the listed building, as determined by English Heritage Publication Conservation Principles: Policies and Guidance and with reference to its evidential, historical, aesthetic and communal values has been taken in full consideration when developing the design proposals. Guidance within the Museum’s own draft Conservation Management Plan (CMP) has also been observed and utilised to inform the design interventions proposed.

In addition to the above, policies and guidance have also been utilised to inform the design including:

- National Planning Policy Framework (NPPF) 2012 - setting out the Government’s planning policies for England and how these are expected to be applied. Section 12, ‘Conserving and Enhancing the Historic Environment’, relates to developments that have an effect upon the historic environment
- Constructive Conservation in Practice, Historic England 2008 - defining ‘constructive conservation’: as ‘a positive and collaborative approach to conservation that focuses on actively managing change...the aim is to recognise and reinforce the historic significance of places, while accommodating the changes necessary to ensure their continued use and enjoyment’
- PPS 5: Historic Environment Planning Practice Guide, Communities and Local Government, English Heritage, Department Culture, Media and Sport 2010 - despite the adoption of the NPPF in March 2012, this document published in 2010 provides valid guidelines on the interpretation of policy and the management of

- the historic environment.
- Conservation Principles, Policies and Guidance, Historic England 2008 - providing a comprehensive framework for the sustainable management of the historic environment, wherein ‘Conservation’ is defined as the process of managing change to a significant place and its setting in ways that will best sustain its heritage values, while recognising opportunities to reveal or reinforce those values for present and future generations.

Consequently, the proposals follow a number of key principles including:

- Provide suitable and functional accommodation to facilitate temporary Museum decant activity that is sensitively integrated to the listed building and complies with current legislation.
- Ensuring that repairs, alterations, and refurbishments are in the spirit of light-touch intervention and are clearly identifiable and reversible when altering fabric of high significance.
- Retaining, repairing, and reusing as much as possible of the existing fabric and construction to ensure impacts are minimised and historic character is retained
- Sensitively integrating new services and fabric where required to return the building to use and provide fit-for-purpose accommodation without adversely effecting the existing building’s heritage significance

The proposals are summarised by topic on the following pages but for full information please refer to the submitted application drawings and proposed scope of works. Please also refer to Chapter 2 regarding the relationship of the scope of works and the project brief.

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3.1.2

Extent of Demolition Works

The proposals illustrated within this report detail minor internal alterations and like-for-like repair and refurbishment to the five-storey, Grade II Georgian terrace at 39 Russell Square and a two-storey Science Block annex to its rear to provide support and welfare accommodation ancillary to the Museum. In order to achieve this development, the proposals include the following demolition works:

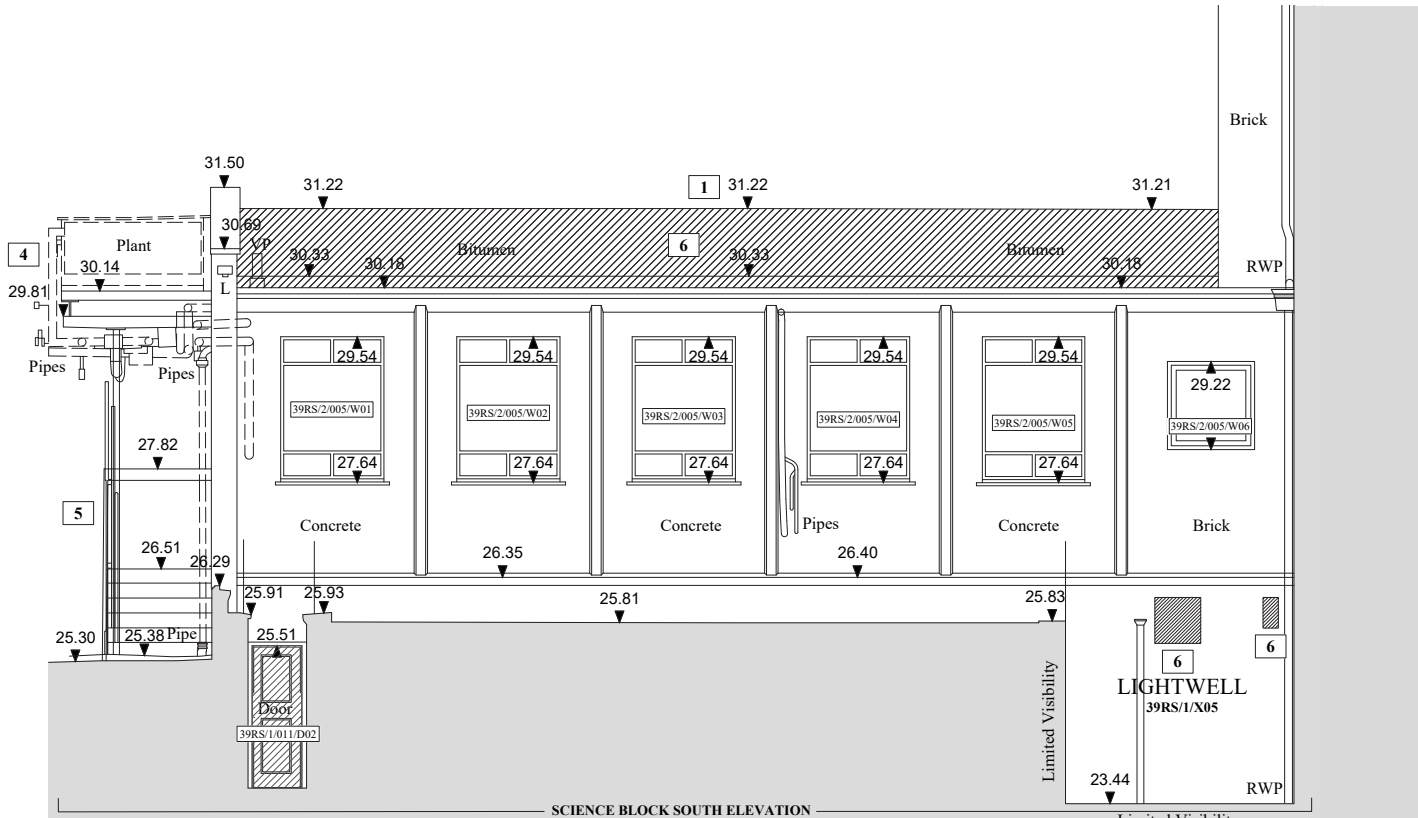
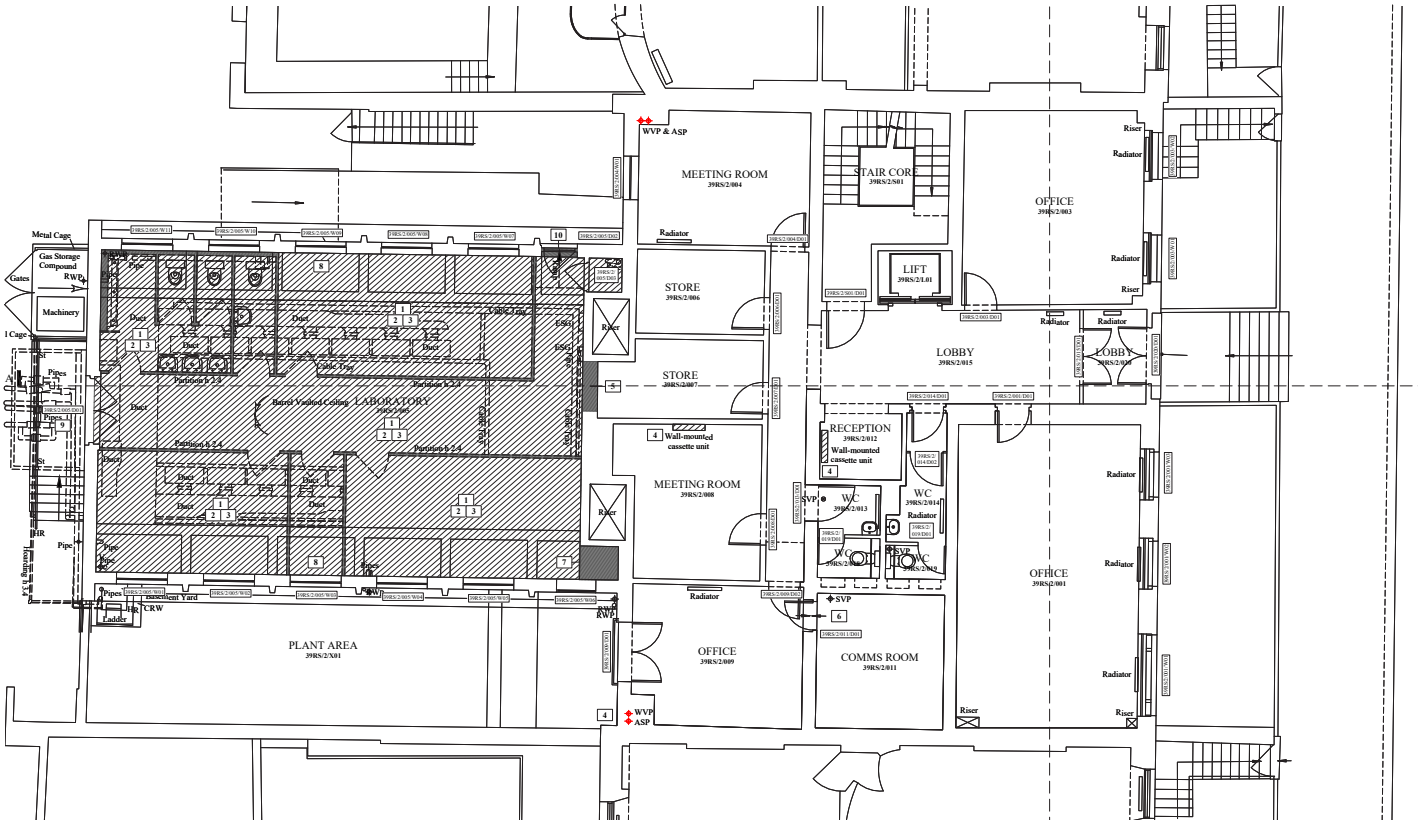
39 Russell Square

- Partial demolition to internal walls connecting the terrace front to the rear annex on the Basement (Level 01) and Ground Floor (Level 02) ;
- Alterations to surface finishes to inspect damages and provide a fit-for-purpose space required by the stakeholders
- Removal of existing dilapidated or defective external fabric and finishes in order to undertake like-for-like repair works

Science Block:

- Partial demolition of existing roof and wall fabric to form BWIC related to newly proposed mechanical ventilation services in isolated areas indicated on the proposed elevations
- Full demolition of disused mechanical and electrical infrastructure services; this includes removal of the existing AHU mounted on the West Elevation
- Complete removal of waterproofing on the roof to make good of receipt of new waterproofing to prevent further water ingress.

The following pages illustrate the proposed areas of demolition work at each level of the building.



Key:

Denotes wall or other structure/element to be removed full height, unless stated otherwise

Denotes floor finishes to be removed, unless stated otherwise

Denotes slab or other structure/element above to be removed, unless stated otherwise

FF&E and MEP equipment to be removed

From top right clockwise:

Proposed Demolition Plan on Ground Floor (Level 02) Plan

Proposed Demolition South Elevation of the Science Block



Key:



Denotes wall or other structure/element to be removed full height, unless stated otherwise



Denotes floor finishes to be removed, unless stated otherwise

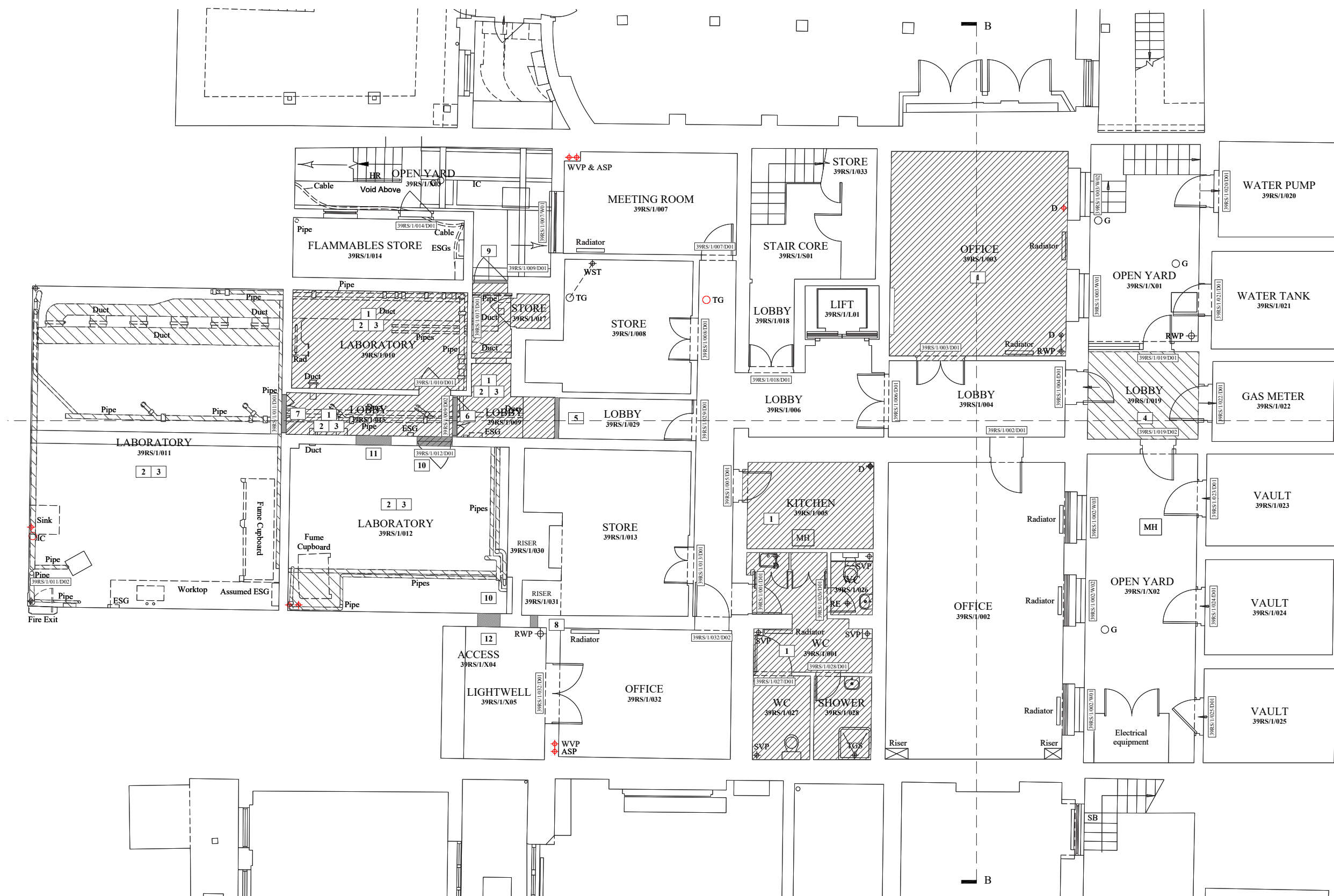


Denotes slab or other structure/element above to be removed, unless stated otherwise

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



Right:

Proposed Demolition Plan on Basement Floor (Level 01) Plan



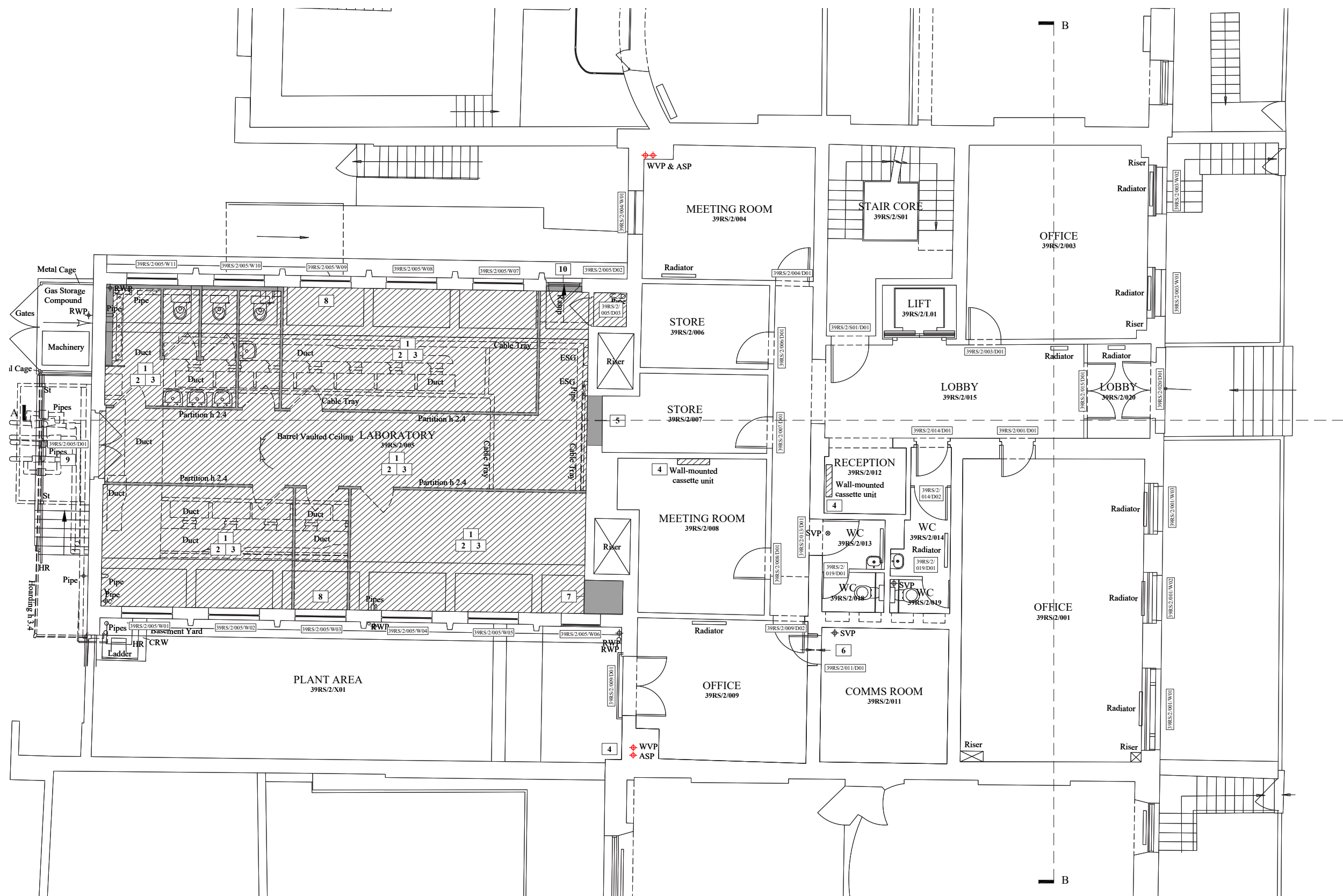


Key:

-  Denotes wall or other structure/element to be removed full height, unless stated otherwise
-  Denotes floor finishes to be removed, unless stated otherwise
-  Denotes slab or other structure/element above to be removed, unless stated otherwise
-  FF&E and MEP equipment to be removed

Right:

Proposed Demolition Plan on
Ground Floor (Level 02) Plan





Key:



Denotes wall or other structure/element to be removed full height, unless stated otherwise



Denotes floor finishes to be removed, unless stated otherwise

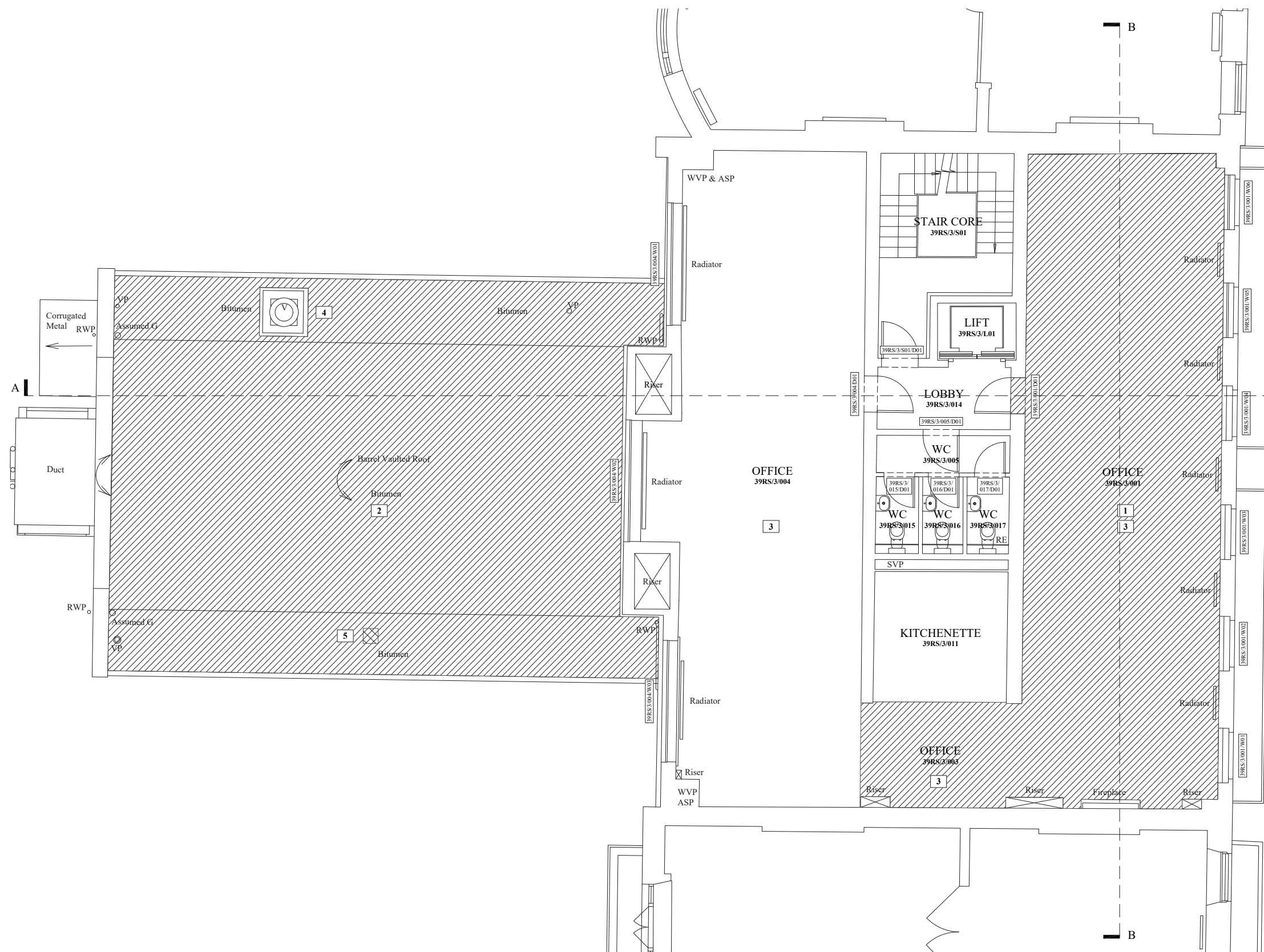


Denotes slab or other structure/element above to be removed, unless stated otherwise

--- FF&E and MEP equipment to be removed


From top right clockwise:


Proposed Demolition Plan on First Floor (Level 03) Plan







Key:

 Denotes wall or other structure/element to be removed full height, unless stated otherwise

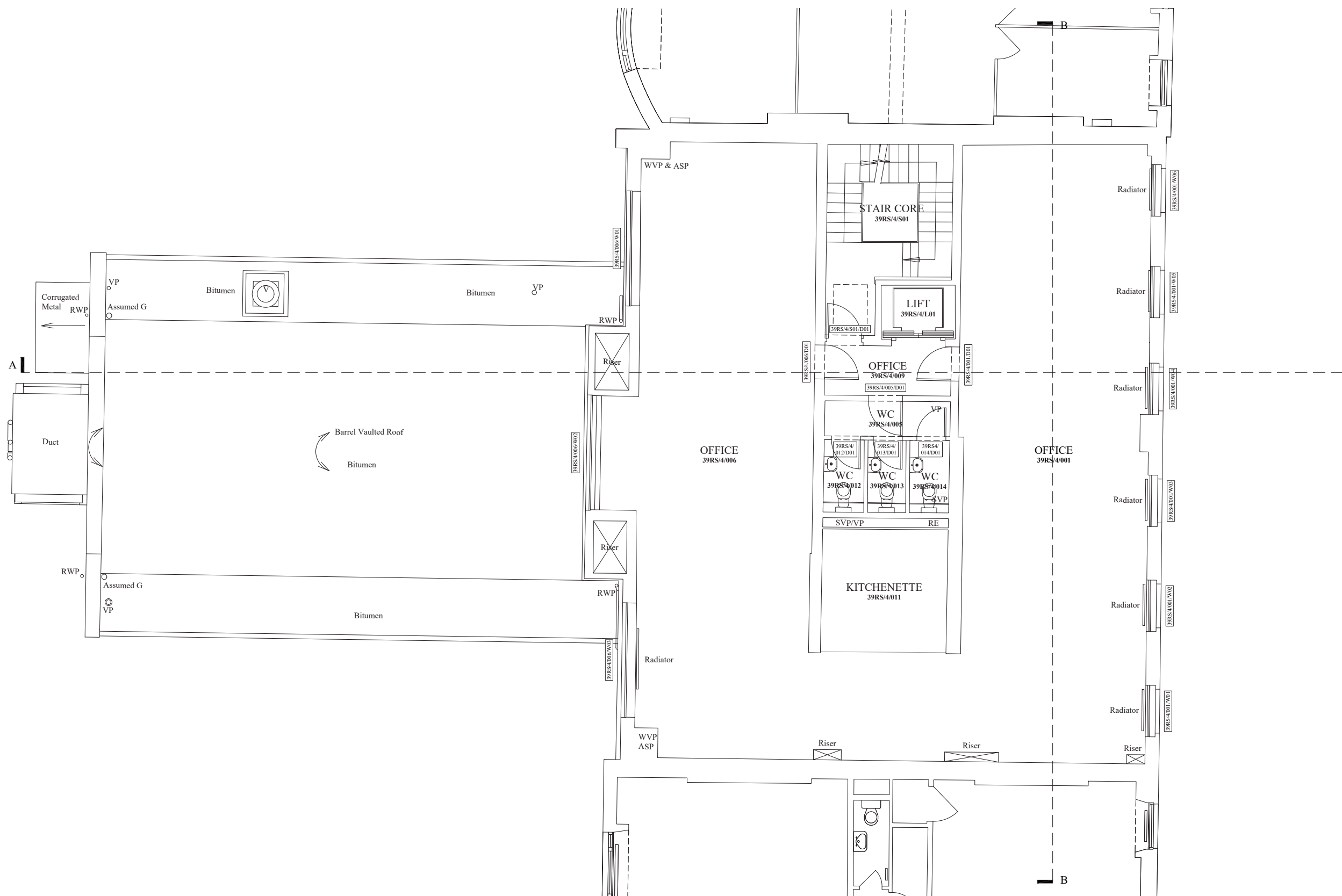
 Denotes floor finishes to be removed, unless stated otherwise

 Denotes slab or other structure/element above to be removed, unless stated otherwise

 FF&E and MEP equipment to be removed

Right:

Proposed Demolition Plan on
Second Floor (Level 04) Plan





Key:



Denotes wall or other structure/element to be removed full height, unless stated otherwise



Denotes floor finishes to be removed, unless stated otherwise



Denotes slab or other structure/element above to be removed, unless stated otherwise

--- FF&E and MEP equipment to be removed

Right:

Proposed Demolition Plan on
Third Floor (Level 05) Plan

