

**NOTES:**

1. Remove plywood soffit to 39RS/1/019 and make good for new soffit finish

**GENERAL WORKS NOTES:**

- Not all removals/demolitions related to fabric repair works are illustrated on this drawing, please refer to the equivalent existing with dilapidation and proposed drawings for the scoping of repair and remedial works.

**KEY:**

- Denotes wall or other structure/element to be removed full height, unless stated otherwise
- Denotes floor finishes to be removed, unless stated otherwise
- Denotes slab or other structure/element to be removed, unless stated otherwise

**REVISIONS:**

- P1 - Draft Proposed Plans - 21/03/2023
- P2 - For Client Approval - 19/05/2023
- P3 - For Client Approval - 19/06/2023
- P4 - Issued for Tender - 23/06/2023
- P5 - Issued for Planning Application & LBC - 14/07/2023

BRITISH MUSEUM  
39 RUSSELL SQUARE & SCIENCE BLOCK

WRIGHT & WRIGHT ARCHITECTS

DEMOLITION EAST ELEVATION

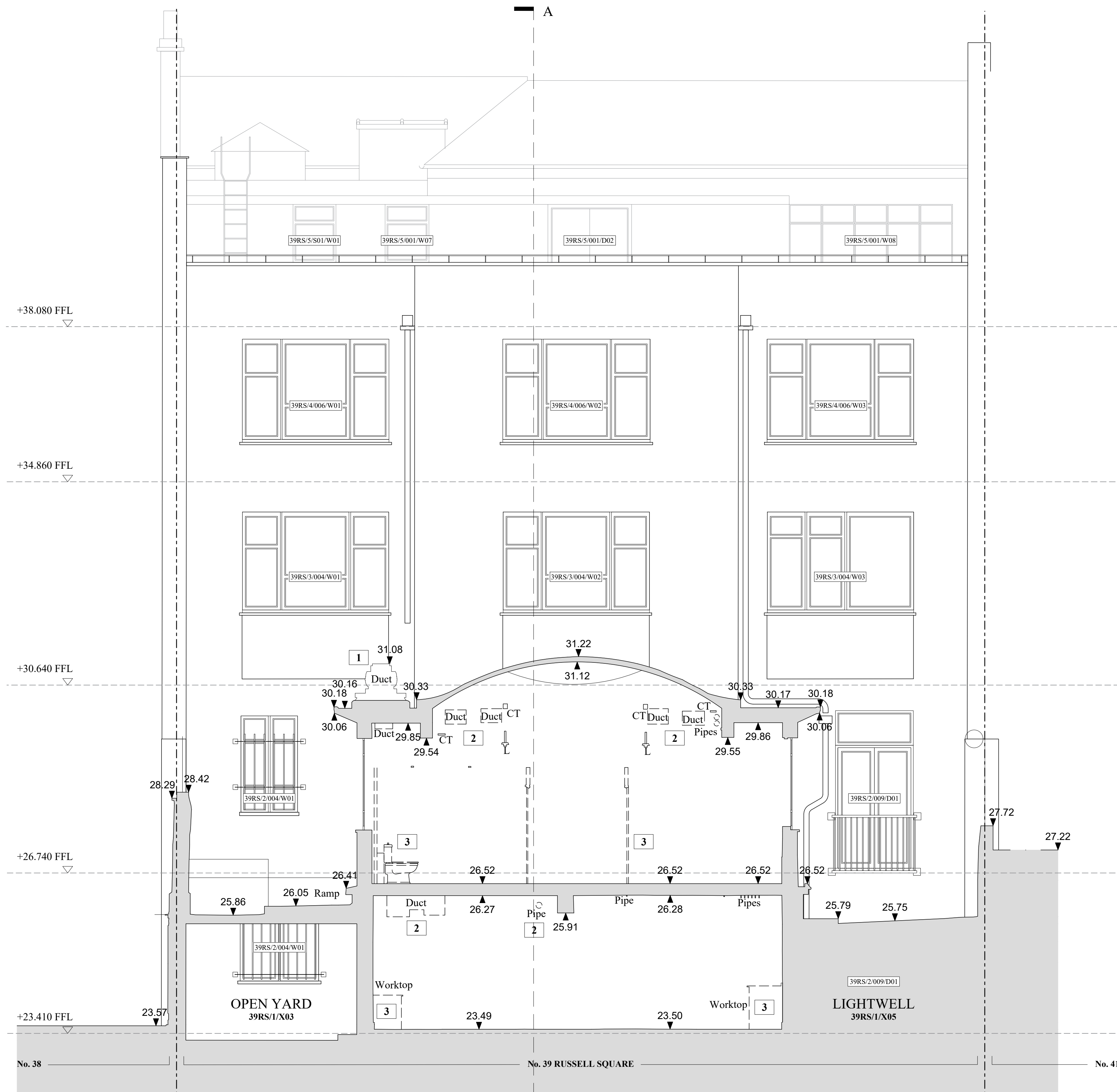
DRAWING NO:  
1077J-WW-RS-XX-DR-A-1710

SCALE:  
1:50 @ A1

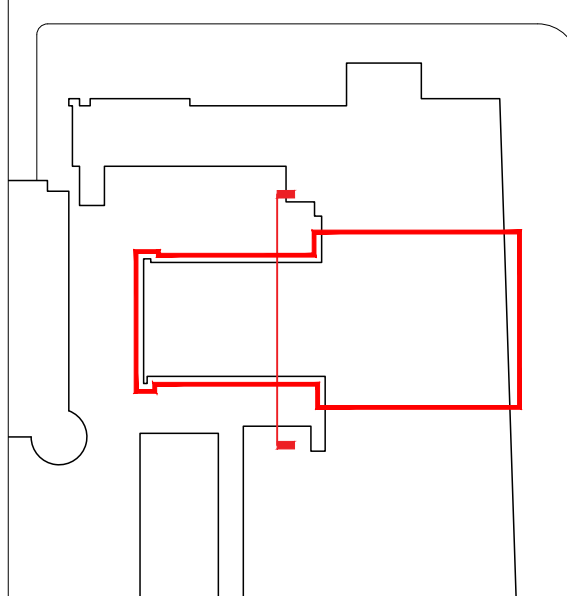
DATE:  
14/07/2023

89/91 Bayham Street  
London NW1 0AG  
TEL: 020 7428 9393  
FAX: 020 7428 9394  
www.wrightandwright.co.uk





**KEY PLAN:**



**NOTES:**

- Existing duct cowl to be removed from roof and opening made good for receipt of new mechanical ductwork
- All internal services in room including Laboratory ductworks, heating pipework, existing medical pipes, sanitaryware and associated services to be stripped out
- All FF&E in room to be removed. All associated services to be capped or removed, with associated penetrations reused for the proposed works, where possible

**GENERAL WORKS NOTES:**

- Not all removals/demolitions related to fabric repair works are illustrated on this drawing, please refer to the equivalent existing with dilapidation and proposed drawings for the scoping of repair and remedial works.

**KEY:**

- Denotes wall or other structure/element to be removed full height, unless stated otherwise
- Denotes floor finishes to be removed, unless stated otherwise
- Denotes slab or other structure/element above to be removed, unless stated otherwise
- FF&E & MEP equipment to be removed

**REVISIONS:**

- P1 - Draft Proposed Plans - 21/03/2023
- P2 - For Client Approval - 19/05/2023
- P3 - For Client Approval - 19/06/2023
- P4 - Issued for Tender - 23/06/2023
- P5 - Issued for Planning Application & LBC - 14/07/2023

BRITISH MUSEUM  
39 RUSSELL SQUARE & SCIENCE BLOCK

WRIGHT & WRIGHT ARCHITECTS

DEMOLITION WEST ELEVATION

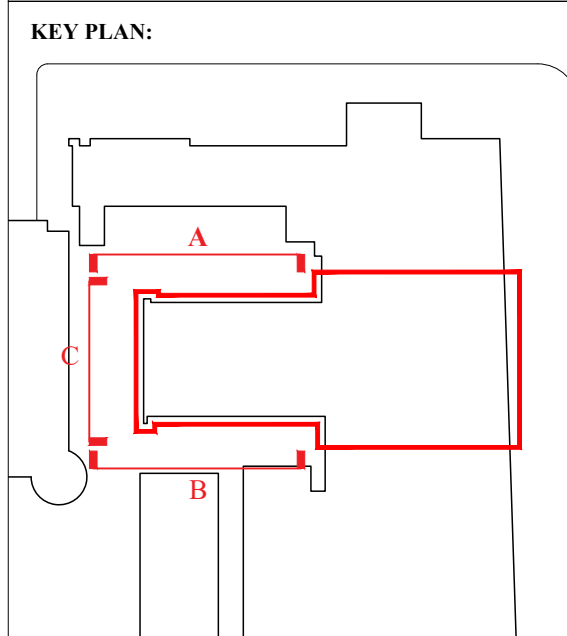
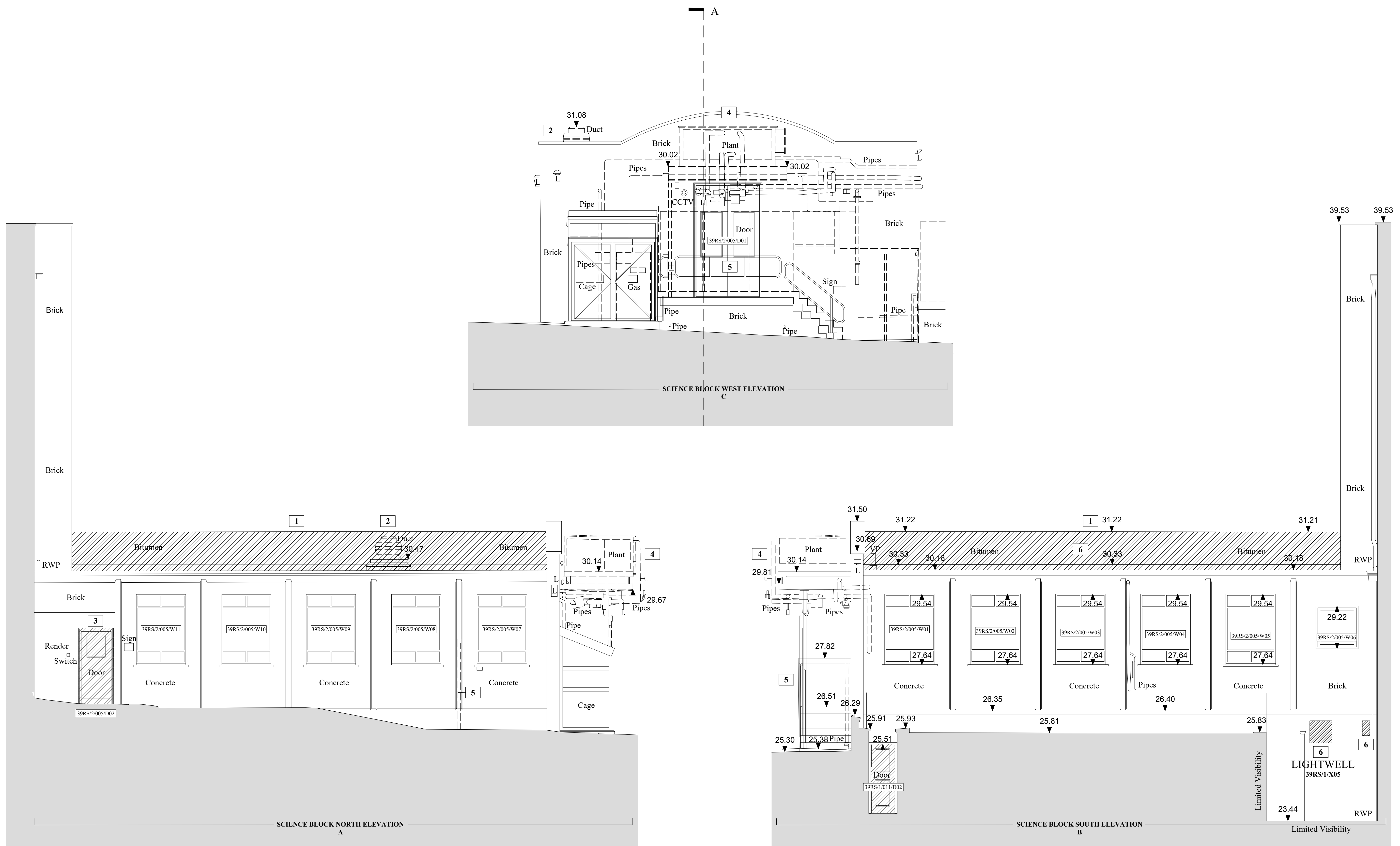
DRAWING NO:  
1077J-WW-RS-XX-DR-A-1711

SCALE:  
1:50 @ A1

DATE:  
14/07/2023

89/91 Bayham Street  
London NW1 0AG  
TEL: 020 7428 9393  
FAX: 020 7428 9394  
www.wrightandwright.co.uk  
www.wrightandwright.co.uk





**NOTES:**

1. Existing roof finish to be cleaned and made good for receipt of new overlay roof finish
2. Existing roof cowl to be removed and BWIC left for connection to new ventilation
3. Remove existing entrance door, frame and architrave and make opening good for installation of new entrance door
4. Remove existing external wall mounted AHU and associated ducts/pipes and steel supporting frame
5. Remove temporary plywood external hoarding
6. Coordination and location of BWIC for new mechanical ventilation systems

**GENERAL WORKS NOTES:**

- Not all removals/demolitions related to fabric repair works are illustrated on this drawing, please refer to the equivalent existing with dilapidation and proposed drawings for the scoping of repair and remedial works
- Extent of structural repairs/demolitions to be outlined following receipt of opening up works and structural engineers information

**KEY:**

- Denotes wall or other structure/element to be removed full height, unless stated otherwise
- Denotes finishes to be removed, unless stated otherwise
- Denotes slab or other structure/element above to be removed, unless stated otherwise
- FF&E & MEP equipment to be removed

**REVISIONS:**

- P1 - Draft Proposed Plans - 21/03/2023
- P2 - For Client Approval - 19/05/2023
- P3 - For Client Approval - 19/06/2023
- P4 - Issued for Tender - 23/06/2023
- P5 - Issued for Planning Application & LBC - 14/07/2023

BRITISH MUSEUM  
39 RUSSELL SQUARE & SCIENCE BLOCK

WRIGHT & WRIGHT ARCHITECTS

DEMOLITION NORTH, SOUTH & WEST  
ELEVATIONS

DRAWING NO:  
1077J-WW-RS-XX-DR-A-1712

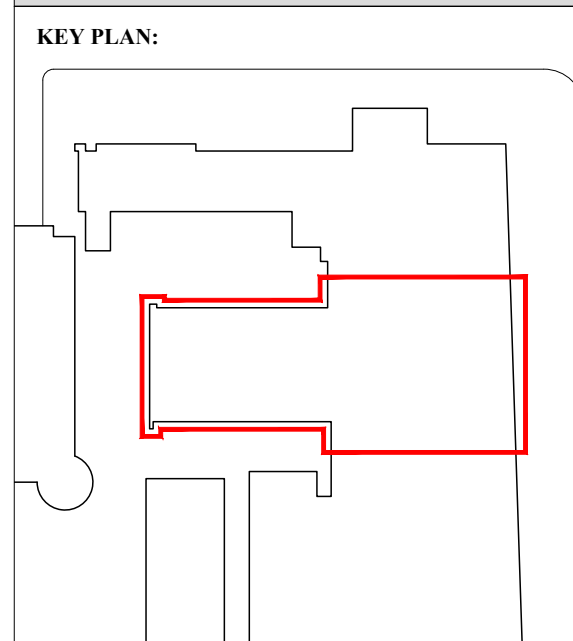
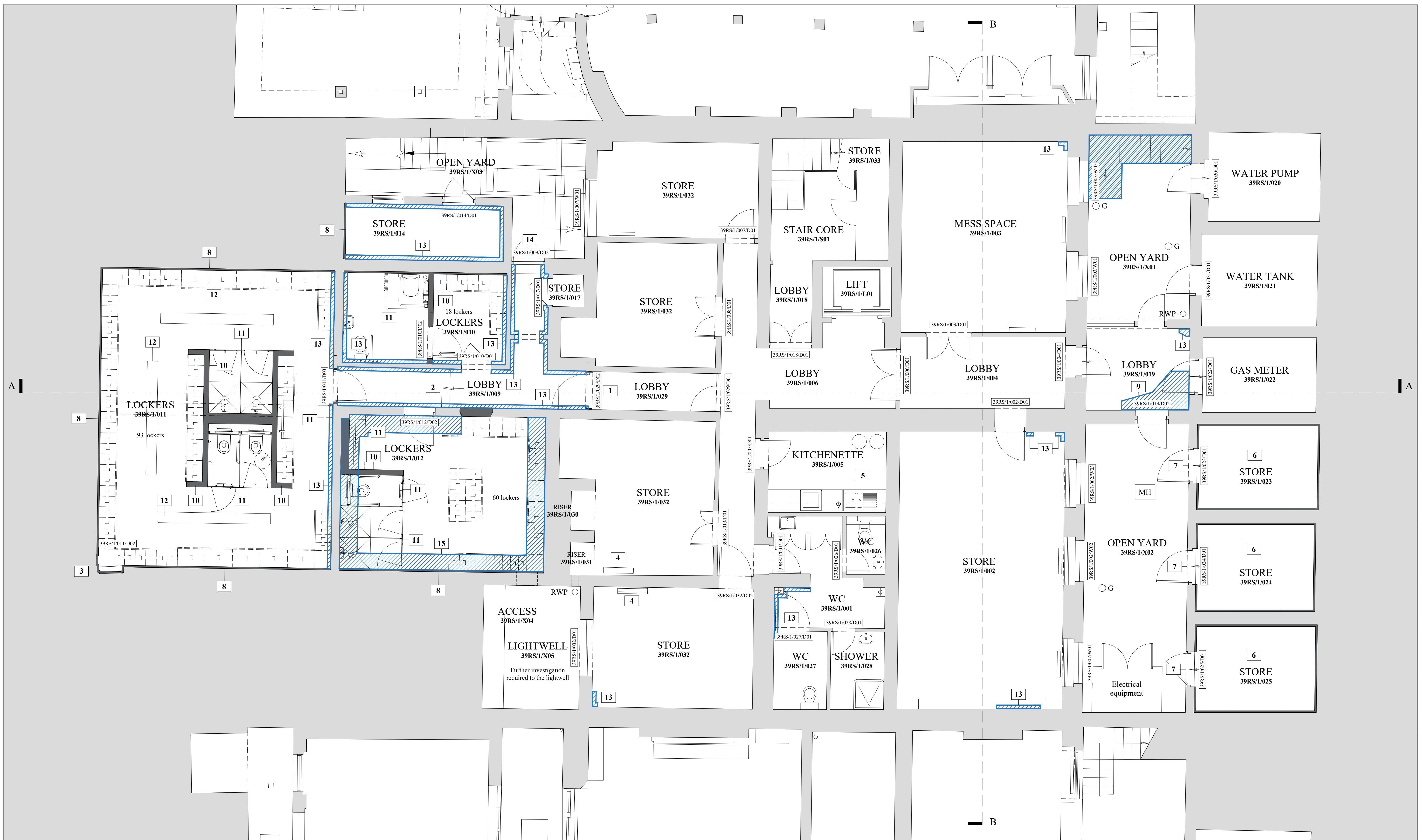
SCALE:  
1:50 @ A1

DATE:  
14/07/2023



89/91 Bayham Street  
London NW1 0AG  
TEL: 020 7428 9393  
FAX: 020 7428 9394  
www.wrightandwright.co.uk





**NOTES:**

1. New door connecting 39RS to Science Block, junction between linoleum floor finishes to be welded
2. New steps accessing raised access floor to accommodate new drainage connections from WC and showers to existing below ground drainage. Lockers 39RS/1/011 to be 300mm above the existing finished floor level
3. Door opening to fire escape ladder to be blocked, plasterboarded and made good for a new paint finish
4. Existing relocated cooling units and outdoor condensers to environmentally controlled storerooms 39RS/1/013 and 39RS/1/032, allow for any associated air tightness works to existing door to maintain room temperature
5. New kitchenette joinery units installed with services connecting into capped services delivered in 2017, refer drawing 3000 for kitchenette plan and elevations details
6. Vaults Walls: Allow for PermaSEAL waterproofing tanking slurry with painted white finish to ceiling and walls of vaults 39RS/1/023/024/025

7. Vaults Doors: Replace existing door ventilation panel with adequately sized new door ventilation panel
8. Allow for tanking and lining as per type WF-03
9. Allow for Permagard PermaSEAL waterproofing tanking slurry to underside of stair to 39RS/1/019 and replacement of existing painted plywood ceiling on a like for like basis
10. New lightweight stud partitions as type WF-02, with tile finish along the shower side of the wall
11. New WC/Shower FF&E including WC/shower cubicles and associated duct panelling, drainage, and fittings and fixtures. Cubicle panels of Maxwood Mylo for Shower and WC or acceptable equivalent and fittings, fixtures, and sanitaryware of Ideal Standard/ Armitage shanks or acceptable equivalent. Accessible WC/Shower room to be provided with full DOC M Compliant set
12. Provide new freestanding changing room benches suitable for use within changing room areas
13. Area of decorative remedial work to repair dilapidation on a

- like-for-like basis
14. New entrance door the same size as existing with swipe card access
  15. Area of decorative remedial work on ceilings to repair dilapidation on a like-for-like basis
- GENERAL WORKS NOTES:**
- All sample of finishes to be provided and FF&E, sanitaryware, loose furniture specifications to be confirmed and signed off by client
- NEW DOORS:**
- 39RS/1/009/D02
  - 39RS/1/029/D02
  - 39RS/1/010/D02
  - 39RS/1/011/D03
  - 39RS/1/012/D02

**KEY:**

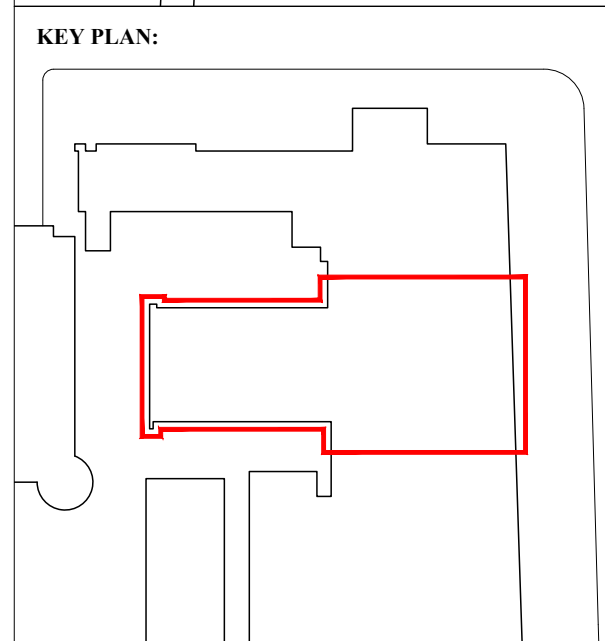
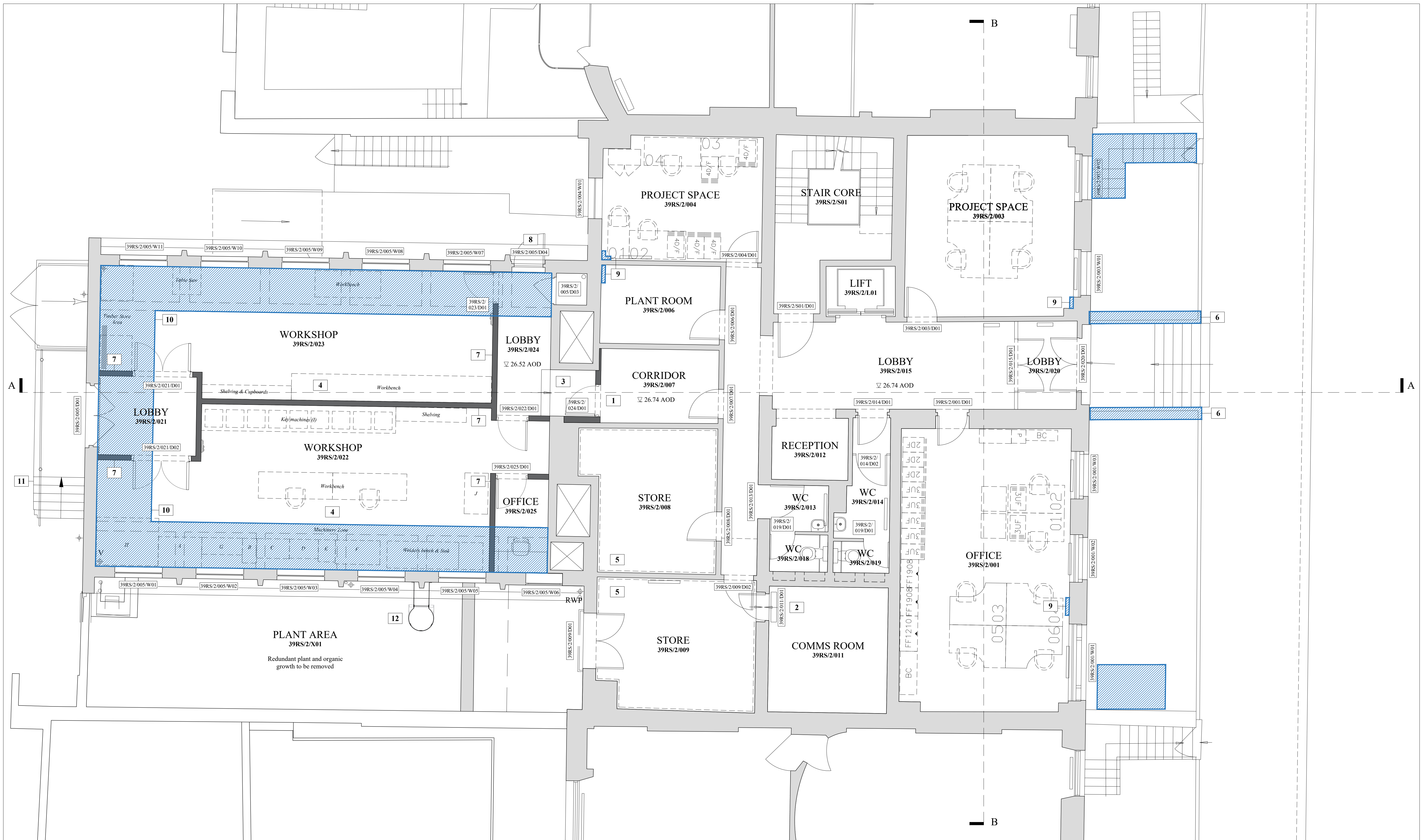
- Existing walls
- Proposed walls
- Area of like-for-like repair on existing retained structure, refer to Outline Schedule of Works and Specification
- Denotes existing drainage services, based on Comiston Record Drawings
- FF&E & Loose furniture shown dashed is existing furniture currently located elsewhere on the Museum Estate relocated into the proposed development

**REVISIONS:**

- P1 - Draft Proposed Plans - 21/03/2023
- P2 - For Client Approval - 19/05/2023
- P3 - For Client Approval - 19/06/2023
- P4 - Issued for Tender - 23/06/2023
- P5 - Issued for Planning Application & LBC - 14/07/2023

BRITISH MUSEUM 39 RUSSELL SQUARE & SCIENCE BLOCK		WRIGHT & WRIGHT ARCHITECTS
PROPOSED LEVEL 01 PLAN		
DRAWING NO: 1077J-WW-RS-01-DR-A-2110		
SCALE: 1:50 @ A1	DATE: 14/07/2023	89/91 Bayham Street London NW1 0AG TEL: 020 7428 9393 FAX: 020 7428 9394 www.wrightandwright.co.uk





- NOTES:**
1. New door connecting 39RS to Science Block, junction between linoleum floor finishes the new door to be welded
  2. New cooling unit and outdoor condenser to Comms Rooms 39RS/2/011, allow for any associated air tightness works to existing door to maintain room temperature in comms room
  3. New steps down to the Science Block Lobby 39RS/2/024 to mitigate 215mm high level change from 39RS to the Science Block
  4. Existing Locksmith and Carpenters workshop equipment and furniture to be re-utilised, with specialist extraction to be provided to equipment as required
  5. Allow for 3x1200x2400mm Translucent Correx Protection Boards to floor and wall (to 2100mm AFFL) to protect finishes in rooms
  6. Extent of repairs to overgrown and defective flashing/capping to main entrance stairs. Refer to Outline Schedule of Works and Specification. New lightweight stud partitions as type WF-01
  7. New entrance door the same size as existing with swipe card access
  8. Area of decorative remedial work to repair dilapidation on a like-for-like basis
  9. Area of decorative remedial work on ceilings to repair dilapidation on a like-for-like basis
  10. Further inspection and extent of potential repair to stairs and balustrade to be finalised, following removal of existing hoarding
  11. New external galvanised steel roof access ladder, accessed from lightwell on Level 01
- GENERAL WORKS NOTES:**
- All sample of finishes to be provided and FF&E, sanitaryware, loose furniture specifications to be confirmed and signed off by client
- NEW DOORS:**
- 39RS/2/021/D01
  - 39RS/2/021/D02
  - 39RS/2/025/D01
  - 39RS/2/023/D01
  - 39RS/2/022/D01
  - 39RS/2/024/D01
  - 39RS/2/005/D04

- KEY:**
- Existing walls
  - Proposed walls
  - Area of like-for-like repair on existing retained structure, refer to Outline Schedule of Works and Specification
  - Denotes existing drainage services, based on Conisston Record Drawings
  - FF&E & Loose furniture shown dashed is existing furniture currently located elsewhere on the Museum Estate relocated into the proposed development
- LOCKSMITH MACHINERY KEY:**
- A Lathe
  - B Pillar drill
  - C Small drill
  - D Grinder & polisher
  - E Guillotine
  - F Belt sander
  - G Saw
  - H Large mill
  - I Key machines mounted on workbenches
  - J Key safe
- Scale: 0 0.5 1 2 3

- REVISIONS:**
- P1 - Draft Proposed Plans - 21/03/2023
  - P2 - For Client Approval - 19/05/2023
  - P3 - For Client Approval - 19/06/2023
  - P4 - Issued for Tender - 23/06/2023
  - P5 - Issued for Planning Application & LBC - 14/07/2023

**BRITISH MUSEUM**  
39 RUSSELL SQUARE & SCIENCE BLOCK

**WRIGHT & WRIGHT ARCHITECTS**

PROPOSED LEVEL 02 PLAN

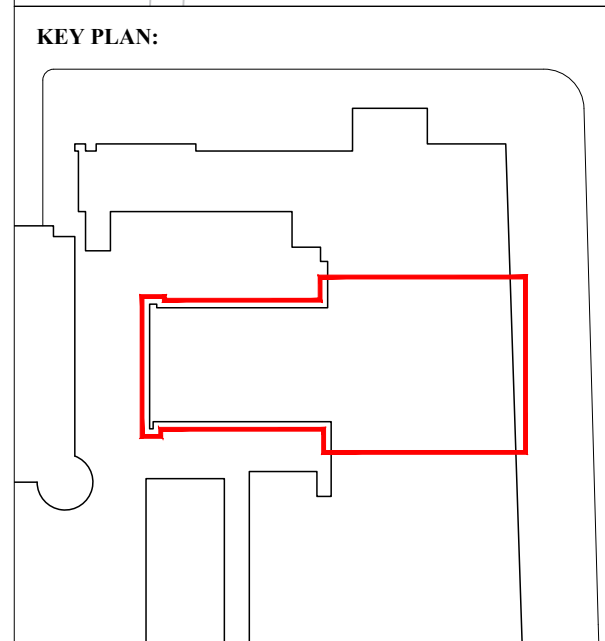
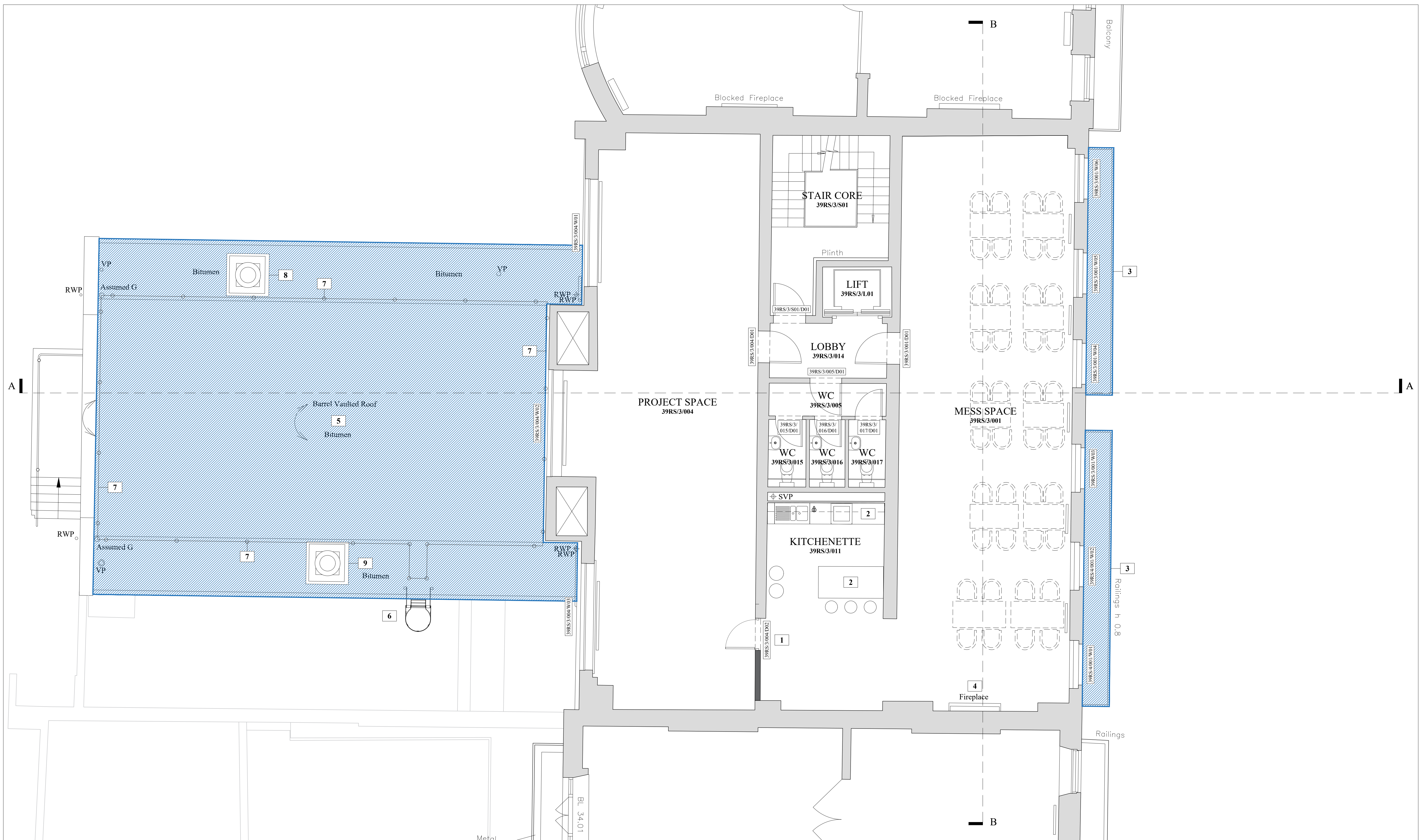
DRAWING NO:  
1077J-WW-RS-02-DR-A-2111

SCALE:  
1:50 @ A1

DATE:  
14/07/2023

89/91 Bayham Street  
London NW1 0AG  
TEL: 020 7428 9393  
FAX: 020 7428 9394  
www.wrightandwright.co.uk





- NOTES:**
1. New full-height lightweight partition wall and lockable door to Project Space accessible through Kitchenette
  2. New kitchenette joinery units installed with services connecting into capped services delivered in 2017, refer drawing 3001 for kitchenette plan and elevations details
  3. Extent of repairs to East elevation balconies. Refer to Outline Schedule of Works and Specification
  4. Historic fireplace mantel retained and protected during works
  5. Extent of new roof as per type RF-02
  6. New external galvanised steel roof access ladder, accessed from lightwell on Level 01
  7. New Mansafe fall arrest system with bolts attached to flat roof, parapet wall and adjacent 39RS wall
  8. New roof ventilation for workshop specialist extraction in existing opening
  9. New roof opening to accommodate new shared MVHR intake
- GENERAL WORKS NOTES:**
- All sample of finishes to be provided and FF&E, sanitaryware, loose furniture specifications to be confirmed and signed off by client
- NEW DOORS:**
- 39RS/3/004/D02

**KEY:**

- Existing walls
- Proposed walls
- Area of like-for-like repair on existing retained structure, refer to Outline Schedule of Works and Specification
- Denotes existing drainage services, based on Coniston Record Drawings
- FF&E & Loose furniture shown dashed is existing furniture currently located elsewhere on the Museum Estate relocated into the proposed development

0 0.5 1 2 3

- REVISIONS:**
- P1 - Draft Proposed Plans - 21/03/2023
  - P2 - For Client Approval - 19/05/2023
  - P3 - For Client Approval - 19/06/2023
  - P4 - Issued for Tender - 23/06/2023
  - P5 - Issued for Planning Application & LBC - 14/07/2023

**BRITISH MUSEUM**  
39 RUSSELL SQUARE & SCIENCE BLOCK

**WRIGHT & WRIGHT ARCHITECTS**

**PROPOSED LEVEL 03 PLAN**

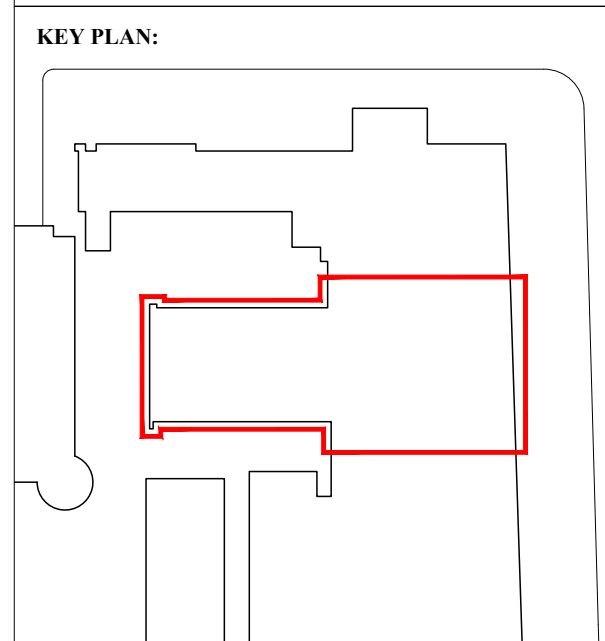
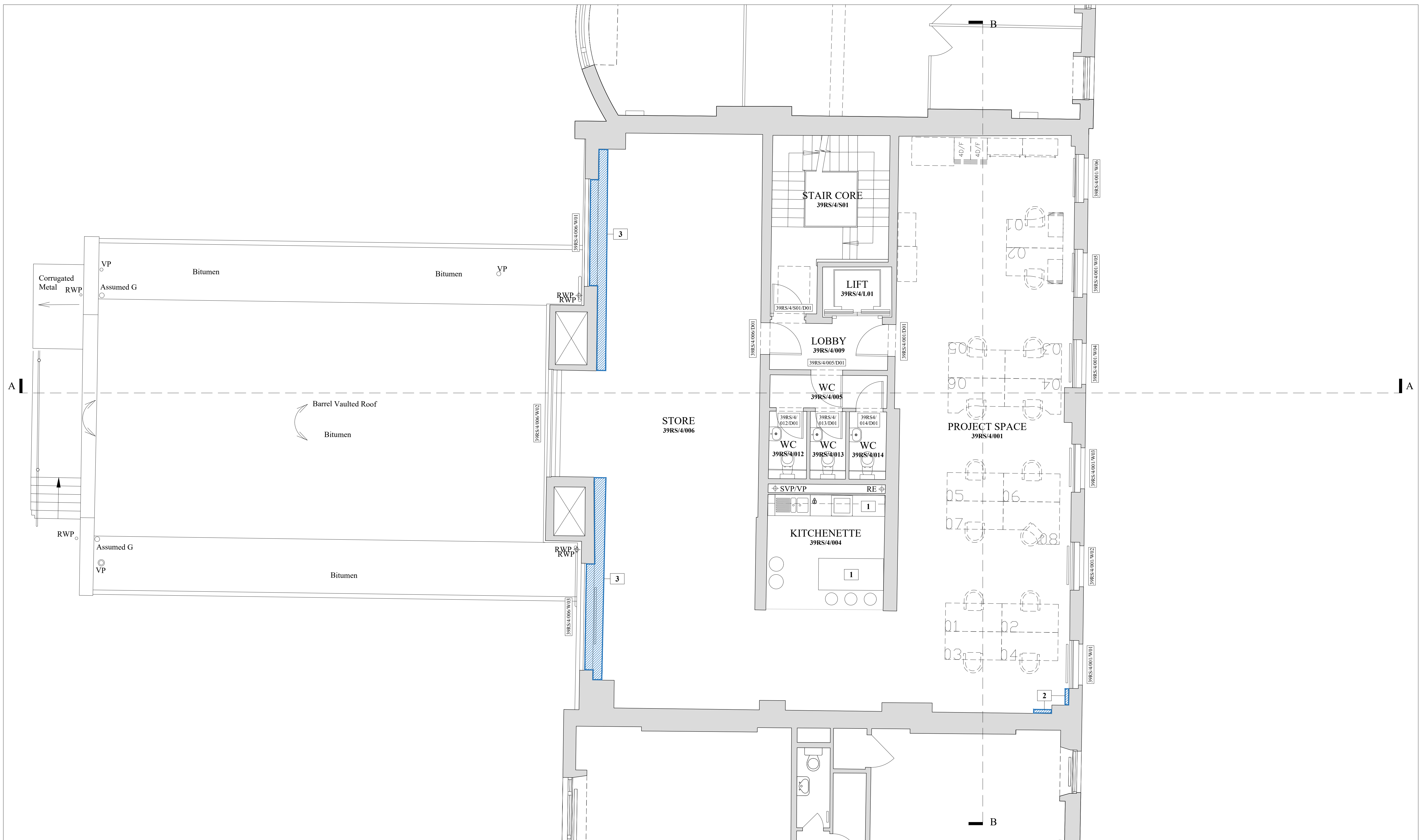
**DRAWING NO:**  
1077J-WW-RS-03-DR-A-2112

**SCALE:**  
1:50 @ A1

**DATE:**  
14/07/2023

89/91 Bayham Street  
London NW1 0AG  
TEL: 020 7428 9393  
FAX: 020 7428 9394  
www.wrightandwright.co.uk





**NOTES:**

1. New kitchenette joinery units installed with services connecting into capped services delivered in 2017, refer drawing 3002 for kitchenette plan and elevations details
2. Area of decorative remedial work to repair dilapidation on a like-for-like basis
3. Area of decorative remedial work on ceilings to repair dilapidation on a like-for-like basis

**GENERAL WORKS NOTES:**

- All sample of finishes to be provided and FF&E, sanitaryware, loose furniture specifications to be confirmed and signed off by client

**KEY:**

- Existing walls
- Proposed walls
- Area of like-for-like repair on existing retained structure, refer to Outline Schedule of Works and Specification
- Denotes existing drainage services, based on Coniston Record Drawings
- FF&E & Loose furniture shown dashed is existing furniture currently located elsewhere on the Museum Estate relocated into the proposed development

0 0.5 1 2 3

**REVISIONS:**

- P1 - Draft Proposed Plans - 21/03/2023
- P2 - For Client Approval - 19/05/2023
- P3 - For Client Approval - 19/06/2023
- P4 - Issued for Tender - 23/06/2023
- P5 - Issued for Planning Application & LBC - 14/07/2023

BRITISH MUSEUM  
39 RUSSELL SQUARE & SCIENCE BLOCK

WRIGHT & WRIGHT ARCHITECTS

PROPOSED LEVEL 04 PLAN

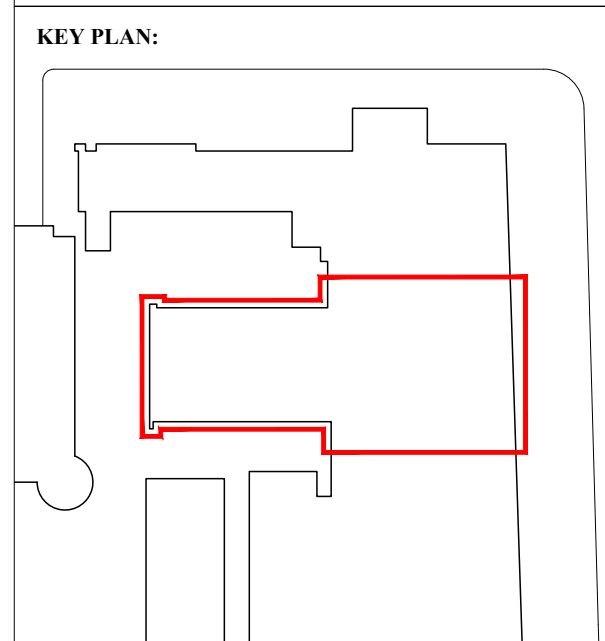
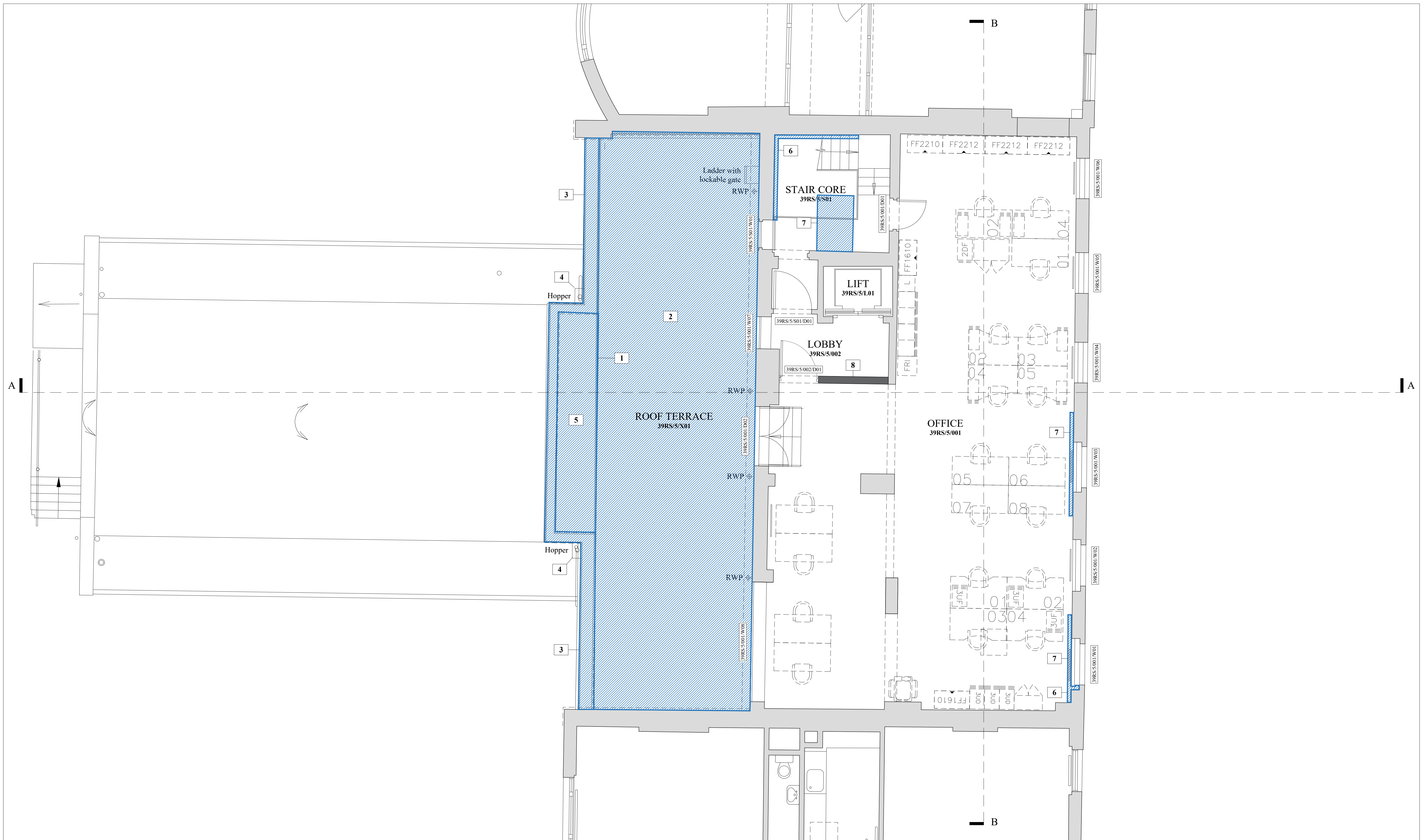
DRAWING NO:  
1077J-WW-RS-04-DR-A-2113

SCALE:  
1:50 @ A1

DATE:  
14/07/2023

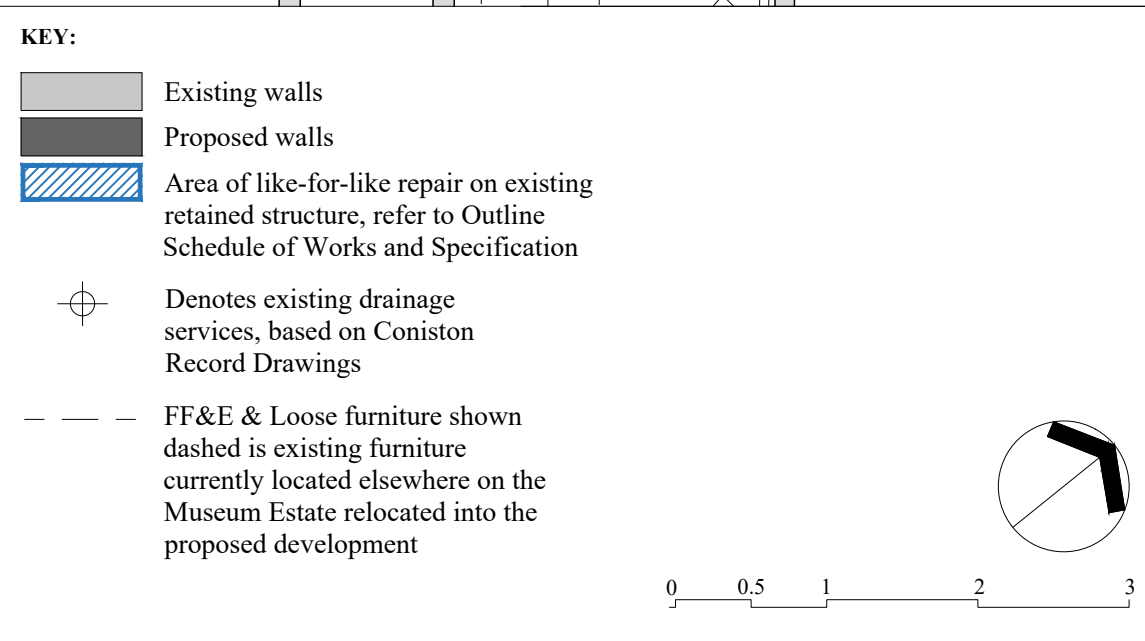
89/91 Bayham Street  
London NW1 0AG  
TEL 020 7428 9393  
FAX 020 7428 9394  
www.wrightandwright.co.uk





- NOTES:**
1. Location of brickwork repairs to parapet upstand inner face. Refer to Outline Schedule of Works and Specification
  2. Extent of new roof as type RF-01 to west terrace of 39 Russell Square. Refer to Outline Schedule of Works and Specification and 7000 series drawings
  3. Extent of repairs to West terrace roof parapet coping stones. Refer to Outline Schedule of Works and Specification
  4. Repairs and cleaning of rainwater goods. Refer to Outline Schedule of Works and Specification
  5. Extent of new roof covering above west risers at raised terrace level as per type RF-02. Refer to Outline Schedule of Works and Specification
  6. Area of decorative remedial work to repair dilapidation on a

- like-for-like basis
7. Area of decorative remedial work on ceilings to repair dilapidation on a like-for-like basis
  8. Proposed Lobby and new doorset to Level 05 following Fire Engineer's recommendation to fire separate the lift shaft and main evacuation route from the office areas
- GENERAL WORKS NOTES:**
- All sample of finishes to be provided and FF&E, sanitaryware, loose furniture specifications to be confirmed and signed off by client



- REVISIONS:**
- P1 - Draft Proposed Plans - 21/03/2023
  - P2 - For Client Approval - 19/05/2023
  - P3 - For Client Approval - 19/06/2023
  - P4 - Issued for Tender - 23/06/2023
  - P5 - Issued for Planning Application & LBC - 14/07/2023

BRITISH MUSEUM  
39 RUSSELL SQUARE & SCIENCE BLOCK

PROPOSED LEVEL 05 PLAN

DRAWING NO:  
1077J-WW-RS-05-DR-A-2114

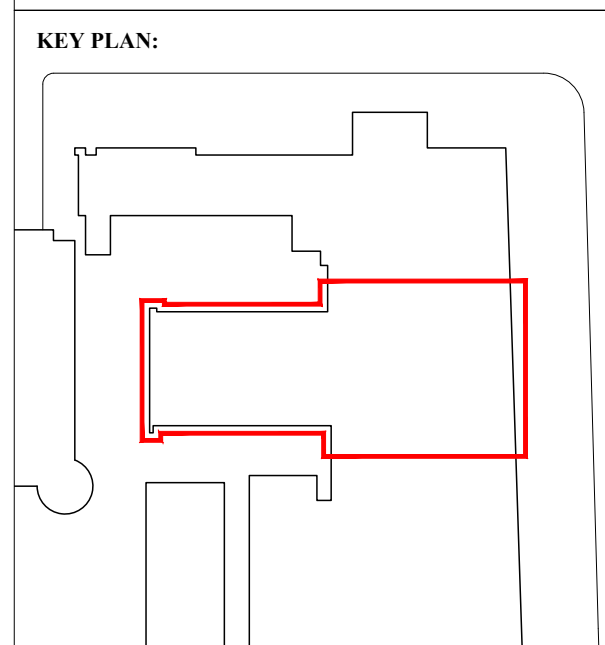
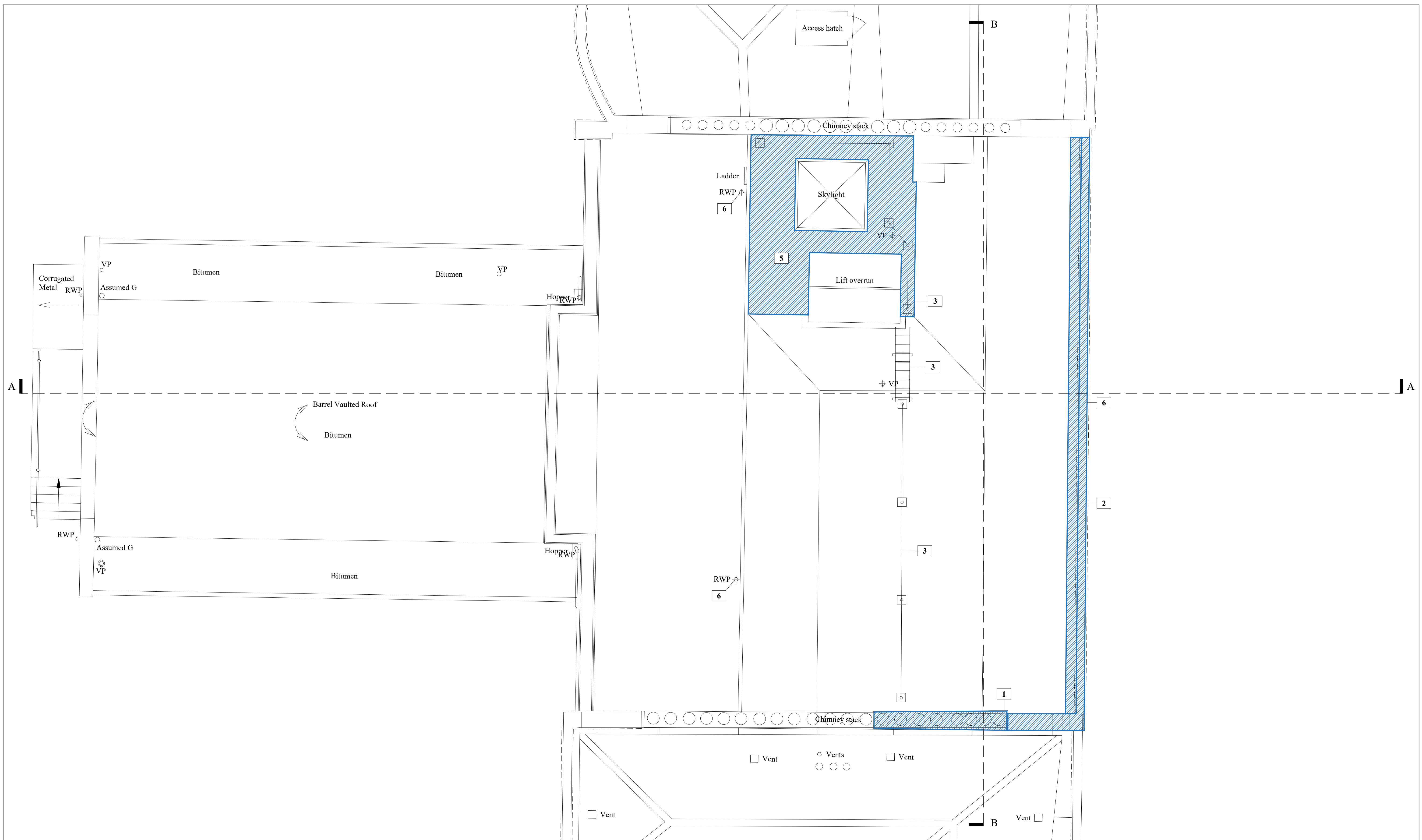
SCALE:  
1:50 @ A1

DATE:  
14/07/2023

WRIGHT & WRIGHT ARCHITECTS

89/91 Bayham Street  
London NW1 0AG  
TEL: 020 7428 9393  
FAX: 020 7428 9394  
www.wrightandwright.co.uk  
www.wrightandwright.co.uk





**NOTES:**

1. Preliminary extent of south chimney stack and parapet repairs. Elevation to be inspected from the roof by architect before work is agreed and carried out. Refer to Outline Schedule of Works and Specification
2. Preliminary extent of Eastern parapet coping and south east parapet wall repairs. Elevation to be inspected from the roof by architect before work is agreed and carried out. Refer to Outline Schedule of Works and Specification
3. New compliant fixed companionway ladder and Mansafe fall arrest system to provide safe roof access for roofing and gutter access and maintenance
4. Extent of eastern parapet gutter repairs. Gutter to be inspected from the roof by architect before work is agreed and carried out. Refer to Outline Schedule of Works and Specification

5. Extent of repair to roof membrane and finish to upper level flat roof to 39 Russell Square as per type RF-02. Refer to Outline Schedule of Works and Specification
  6. Repairs and cleaning of rainwater goods. Refer to Outline Schedule of Works and Specification
- GENERAL WORKS NOTES:**
- All sample of finishes to be provided and FF&E, sanitaryware, loose furniture specifications to be confirmed and signed off by client

**KEY:**

- Existing walls
- Proposed walls
- Area of like-for-like repair on existing retained structure, refer to Outline Schedule of Works and Specification
- Denotes existing drainage services, based on Coniston Record Drawings
- FF&E & Loose furniture shown dashed is existing furniture currently located elsewhere on the Museum Estate relocated into the proposed development



**REVISIONS:**

- P1 - Draft Proposed Plans - 21/03/2023
- P2 - For Client Approval - 19/05/2023
- P3 - For Client Approval - 19/06/2023
- P4 - Issued for Tender - 23/06/2023
- P5 - Issued for Planning Application & LBC - 14/07/2023

BRITISH MUSEUM  
39 RUSSELL SQUARE & SCIENCE BLOCK

WRIGHT & WRIGHT ARCHITECTS

PROPOSED ROOF PLAN

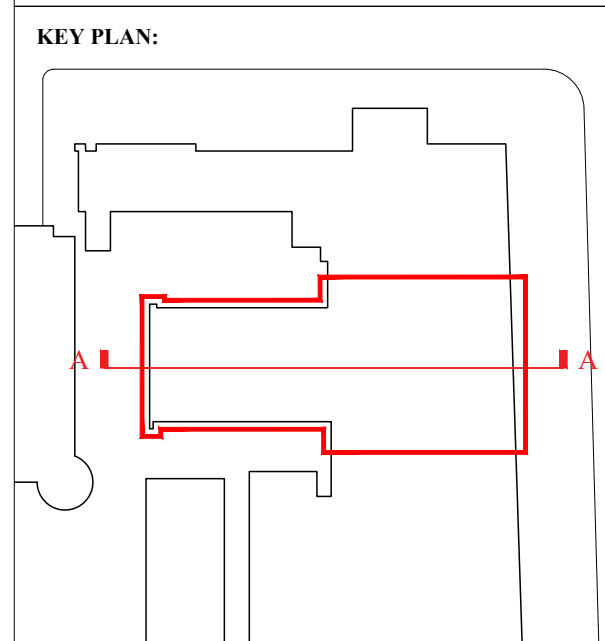
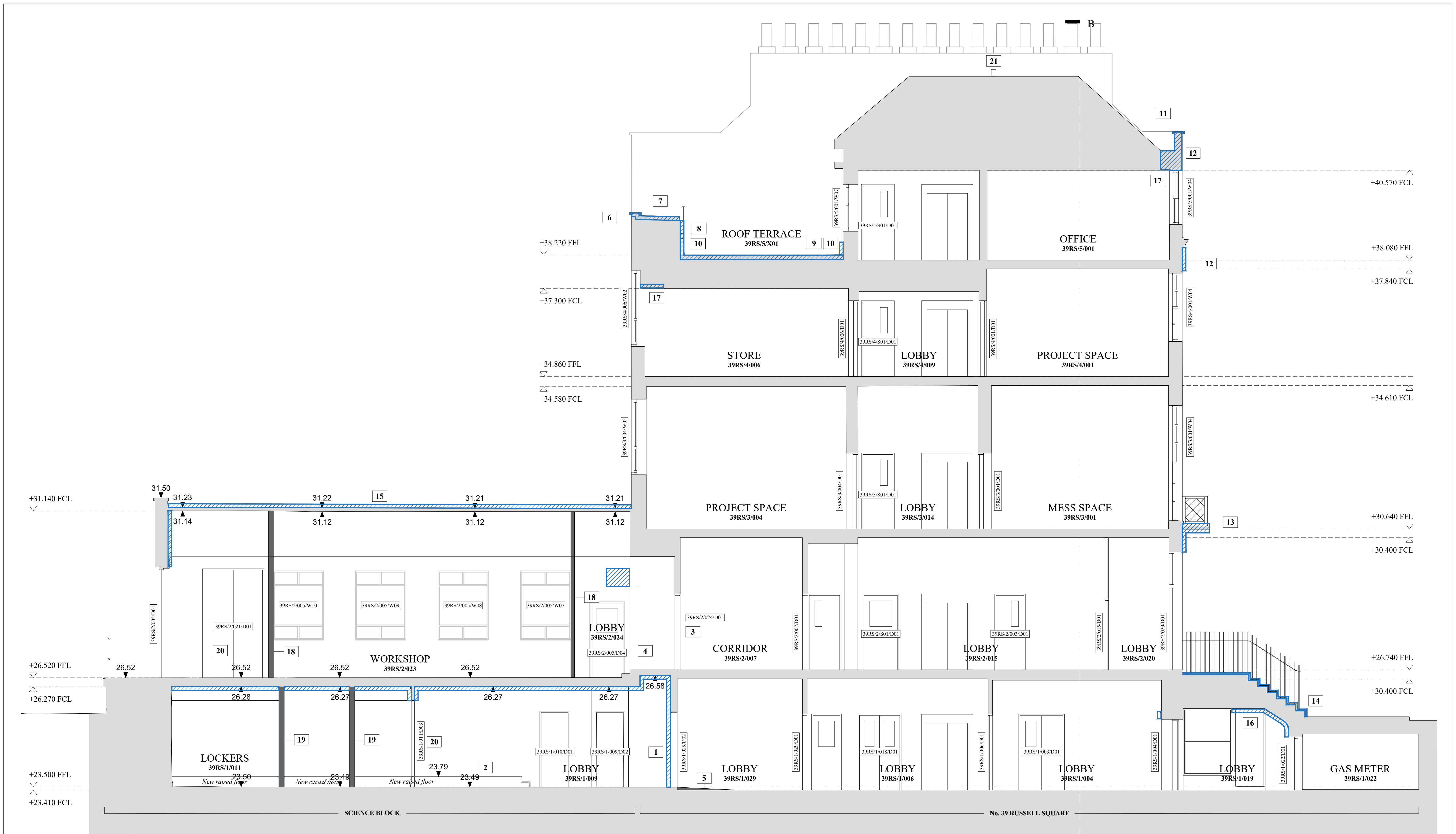
DRAWING NO:  
1077J-WW-RS-RF-DR-A-2115

SCALE:  
1:50 @ A1

DATE:  
14/07/2023

89/91 Bayham Street  
London NW1 0AG  
TEL: 020 7428 9393  
FAX: 020 7428 9394  
www.wrightandwright.co.uk



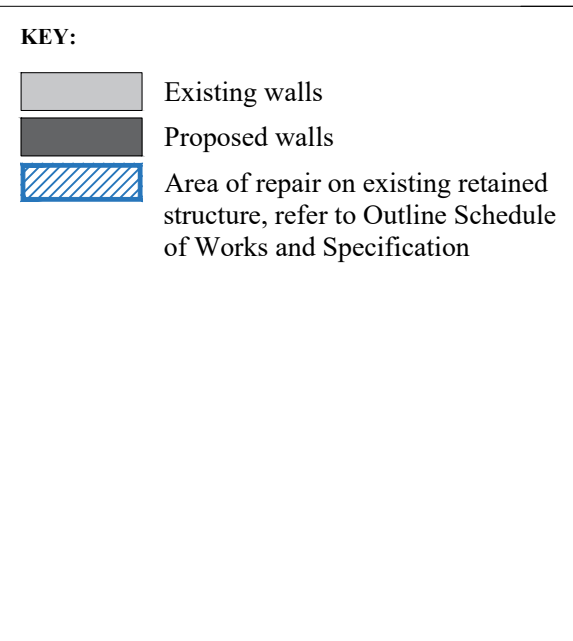


- NOTES:**
1. New timber doorset connecting 39RS to Science Block, junction between linoleum floor finishes to be welded
  2. New steps accessing new raised floor as per type FL-02 to accommodate new drainage connections from WC and showers to existing below ground drainage connection
  3. New timber doorset connecting 39RS to Science Block, junction between linoleum floor finishes at the new door to be welded
  4. New steps down to the Science Block Lobby 39RS/2/024 to mitigate level change in new linoleum floor finish
  5. New threshold DDA ramp formed to floor
  6. Area of fabric repairs to parapet
  7. Area of new roofing to West Elevation terrace parapet as per RF-02
  8. Area of brickwork repairs to inner face of rear terrace upstand
  9. Extent of new roof membrane and finish as type RF-01 to Level 05 terrace flat roof

10. Area of leadwork flashing repairs
11. Area of leadwork repairs to parapet gutter
12. Area of brickwork repairs to East elevation
13. Area of plaster repairs to underside of East balconies
14. Area of repairs to flashing to front steps
15. New roofing finish to existing Science Block roof as type RF-02
16. Allow for Permagard PermaSEAL waterproofing tanking slurry to underside of stair to 39RS/1/019 and replacement of existing painted plywood ceiling on a like for like basis
17. Remedial decorations on to soffit and walls to repair existing dilapidation
18. New lightweight stud partitions as per type WF-01
19. New lightweight stud partitions as per type WF-02
20. New timber doorset
21. New mansard roof access system

**GENERAL WORKS NOTES:**

- All sample of finishes to be provided and FF&E, sanitaryware, loose furniture specifications to be confirmed and signed off by client
- Inspect and ensure all sash windows are functioning without friction. Sash windows that have swelled up due to water damage to be replaced and are difficult to open due to improper painting practice to be repaired, filled, made good and primed for a new paint finish. Ensure all sash windows have proper lubricated chains and draught proofing seals, refer to Outline Schedule of Works and Specification
- Areas and extent of repairs to parapet, new roofing finish, brickwork repairs, leadwork flashing repairs, plaster repairs and general flashing repairs to refer to Outline Schedule of Works and Specification



- REVISIONS:**
- P1 - Draft Proposed Plans - 21/03/2023
  - P2 - For Client Approval - 19/05/2023
  - P3 - For Client Approval - 19/06/2023
  - P4 - Issued for Tender - 23/06/2023
  - P5 - Issued for Planning Application & LBC - 14/07/2023

**BRITISH MUSEUM**  
 39 RUSSELL SQUARE & SCIENCE BLOCK

PROPOSED SECTION AA

DRAWING NO:  
 1077J-WW-RS-XX-DR-A-2210

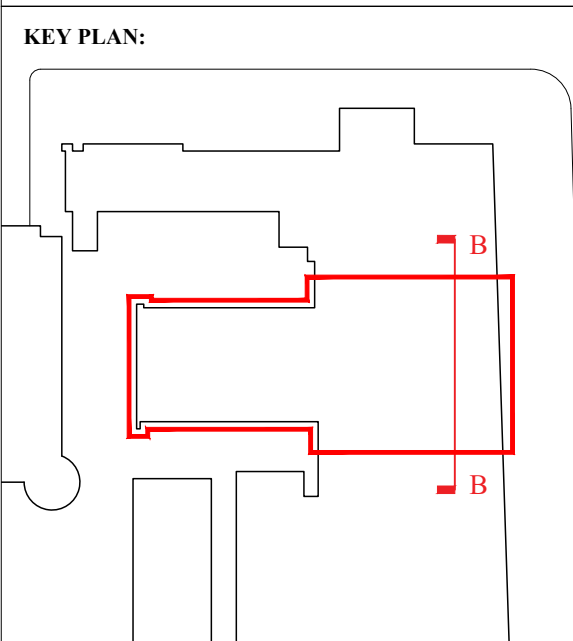
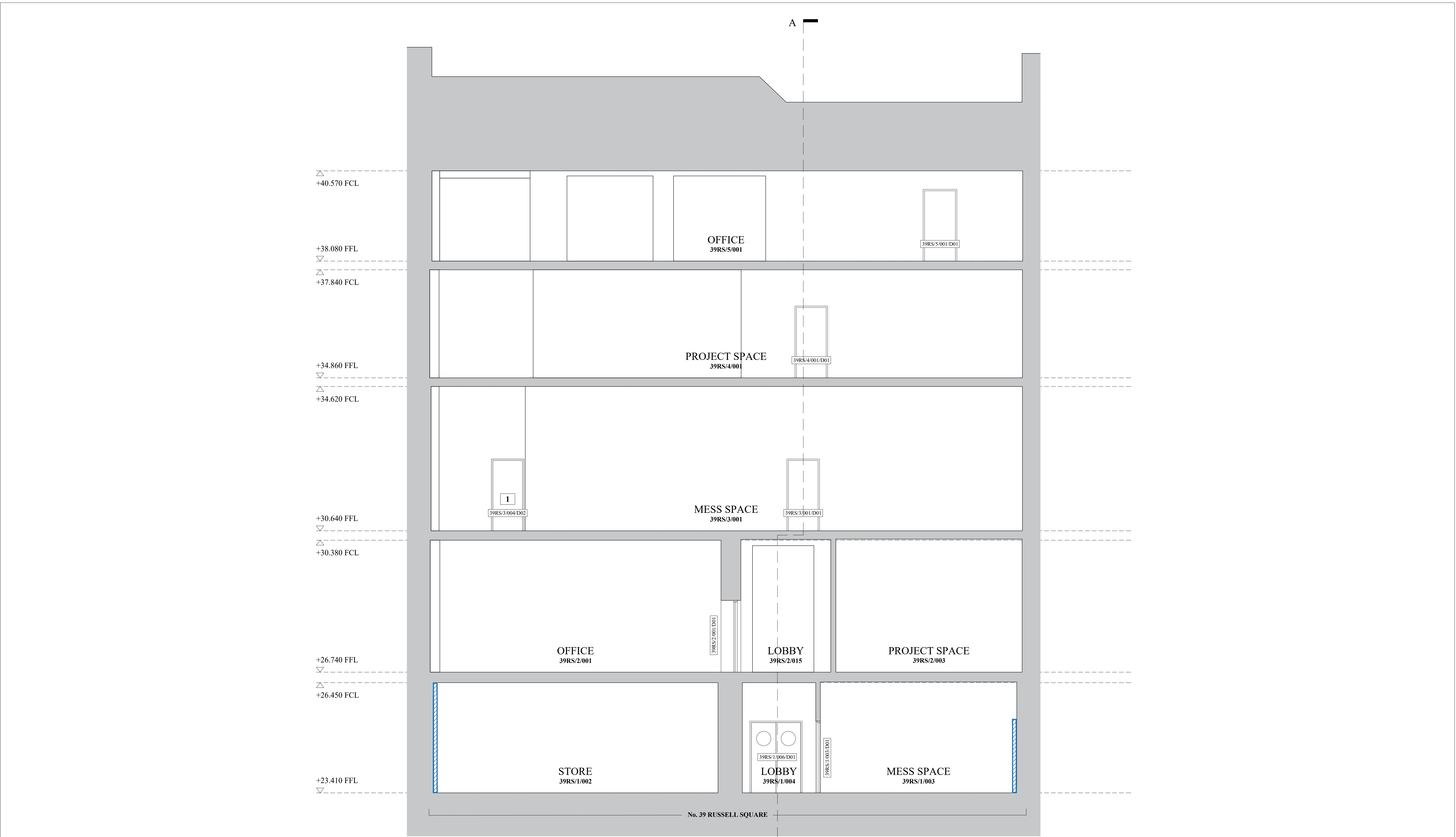
SCALE:  
 1:50 @ A1

DATE:  
 14/07/2023

**WRIGHT & WRIGHT ARCHITECTS**

89/91 Bayham Street  
 London NW1 0AG  
 TEL: 020 7428 9393  
 FAX: 020 7428 9394  
 www.wrightandwright.co.uk  
 www.wrightandwright.co.uk





- NOTES:**
1. New full-height, lightweight partition wall and lockable door to Project Space accessible through Kitchenette
- GENERAL WORKS NOTES:**
- All sample of finishes to be provided and FF&E, sanitaryware, loose furniture specifications to be confirmed and signed off by client
  - Repair and opening up works, including:
    - Inspection into severely damp and cracked walls and ceilings,
    - existing redundant services' penetrations,
    - removal of existing walls and finishes,
    - removal of brickworks and associated lead flashings and stone copings, are to be made good or patched to match existing, and where required, painted and finished to match existing

- KEY:**
- Existing walls
  - Proposed walls
  - Area of repair on existing retained structure, refer to Outline Schedule of Works and Specification



- REVISIONS:**
- P1 - Draft Proposed Plans - 21/03/2023
  - P2 - For Client Approval - 19/05/2023
  - P3 - For Client Approval - 19/06/2023
  - P4 - Issued for Tender - 23/06/2023
  - P5 - Issued for Planning Application & LBC - 14/07/2023

BRITISH MUSEUM 39 RUSSELL SQUARE & SCIENCE BLOCK		WRIGHT & WRIGHT ARCHITECTS
PROPOSED SECTION BB		
DRAWING NO: 1077J-WW-RS-XX-DR-A-2211		
SCALE: 1:50 @ A1	DATE: 14/07/2023	89/91 Bayham Street London NW1 0AG TEL: 020 7428 9393 FAX: 020 7428 9394 www.wrightandwright.co.uk