

Strip Out Key

- ALT-111 Removal of Internal Non-Structural Masonry Walls
- ALT-112 Removal of Internal PVC Walls
- ALT-113 Removal of Internal Plasterboard Partition
- ALT-115 Removal of Internal Plasterboard Linings to Solid Walls
- ALT-119 Removal of Internal Wall Linings to Concealed Fireproof/Covered Ceiling
- ALT-131 Removal of Non-Thermally-Breaking Secondary Glazing
- ALT-133 Removal of Internal Double Glazing
- ALT-136 Removal of Wall Access Panels
- ALT-137 Removal of Wall Panel
- ALT-138 Removal of Roof Slab
- ALT-143 Removal of Kitchen Filings
- ALT-145 Removal of Sanitaryware
- ALT-151 Removal of External Glazed Roof Light
- ALT-152 Removal of Flat Roof Waterproofing
- ALT-509 Form Opening in Internal Ceiling
- ALT-507 Movable Ceiling Opening
- Restrooms to be retained until Client sign-off

- ALT-103 Removal of Internal Suspended Ceiling Tile System
- ALT-107 Removal of Internal Ceiling Coverings (Ceiling Wallpaper)
- ALT-142 Removal of Window Blinds
- ALT-146 Removal of Curtain Tracks
- ALT-148 Removal of Perimeter Skirting
- ALT-149 Removal of Skirting - Statutory and Non-Statutory
- ALT-123 Removal of Internal Floor Build-up
- ALT-125 Removal of Internal Floor Slab
- ALT-129 Removal of Internal Timber Skirting
- ALT-121 Removal of Internal Floor Covering
- ALT-107 Removal of Internal Ceiling Coverings (Ceiling Wallpaper)
- ALT-142 Removal of Window Blinds
- ALT-146 Removal of Curtain Tracks
- ALT-148 Removal of Perimeter Skirting
- ALT-149 Removal of Skirting - Statutory and Non-Statutory

- Historic elements to be stripped by Specialist Contractor. Refer to the Restoration drawings for retained elements to be refurbished.
- ALT-101 Removal of Internal Ceiling Cornice Moulding
- ALT-135 Removal of Internal Doors
- ALT-147 Removal of Radiator Cover

- ALT-144 Removal of Internal Terracotta Window Sills
- ALT-117 Removal of Internal Wall Coverings to all surfaces as applicable

- To all surfaces as applicable
- Operational area to be maintained and protected throughout works. MDE doors to be retained.
- Door required for fire integrity to be stripped out by Main Contractor

- Existing wall/structure to remain.
- Not in Scope.

Elements to Retain:

- Retain all wall mouldings, chair rails.
- Retain ceiling cornice where these align downward beams or walls.
- Retain lift and plaster ceiling.
- Temporary retain radiators, until client sign-off.

Demolition and Strip-Out Risk Elimination Notes:

Unprotected Work
Design measures taken to reduce / eliminate risk
 - Guarding to all service voids and lift shafts to be provided by the contractor.
 - At least one of the lift shafts remain operational during the whole of strip out period for occupants.
Information Provided for Hazard Control
 - Strip out drawings showing near locations assumed from archive drawings.

Fall From Height
Design measures taken to reduce / eliminate risk
 - Temporary guarding to all unprotected roof edges required.
Information Provided for Hazard Control
 - Strip out drawings identify unprotected roof edges.

Fire Escape
Information Provided for Hazard Control
 - Strip out drawings identify escape route to be maintained at all times.

Operational Premises
Design measures taken to reduce / eliminate risk
 - Services to be retained / cover supplies to be maintained to be identified prior to strip out.
Information Provided for Hazard Control
 - LE will remain operational during the whole of the strip out period.

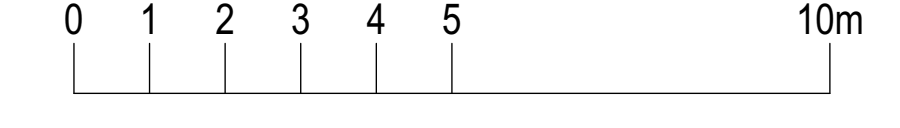
Adjoining Properties
Information Provided for Hazard Control
 - Tight urban site with several adjoining properties requiring suitable protection during the works.

Asbestos
Design measures taken to reduce / eliminate risk
 - Management Asbestos Survey information issued with tender.
 - Refurbishment Asbestos Survey to be carried out by strip out contractor prior to any work.
Information Provided for Hazard Control
 - Management Asbestos Survey results available prior to works commencing.

Notes:

- All existing windows to be retained and protected during works.
- See M+E Services Engineers Scope, Drawings and Specification for services strip out.
- Report in conjunction with BPH Site Inspector Report
- Refer to the Structural Engineer prior to removing any masonry walls
- Ensure steel and lift cover fire compartmentation is maintained throughout works
- Specialist contractor to assess perimeter walls mould moisture
- All existing Windows to be retained and to be protected during works
- To be read in conjunction with JRA specifications
- To be read in conjunction with Structural Engineer information and requirements

1 Fifth Floor - Strip Out Plan
SCALE 1:100



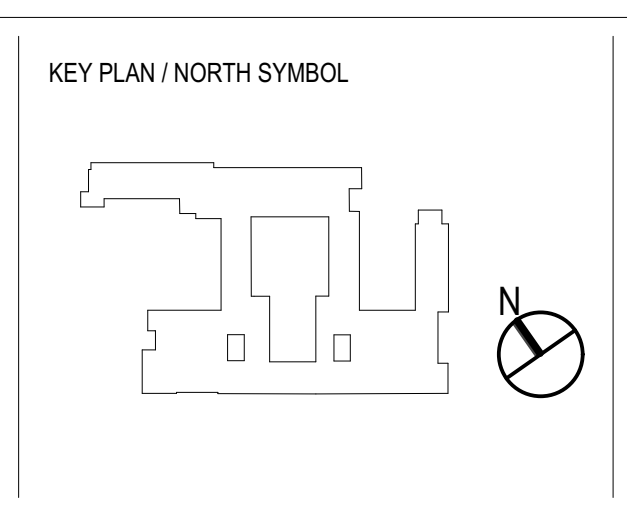
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 BMA House Team Model, WORKSTREAM2

Rev	Date	Dwn	Chk	Description
LM	13/10/2023	PP	LM	For Information
PP	21/09/2023	PP	LM	For Planning

Rev	Date	Dwn	Chk	Description

Rev	Date	Dwn	Chk	Description



JRA
 John Robertson Architects
 111 Southwark Street,
 London, SE1 1UF
 02076335100
 www.jra.co.uk
 enquiries@jra.co.uk

Project
Tavistock House
 London

Client
British Medical Association
 BMA House, Tavistock Square London
 WC1H 9EP
 0200 123 1233
 info@bma.org.uk

Drawing Title
Block E - Fifth Floor Strip-Out Plan

Scale 1:100 @ A0
 Internal Project No. 1998

Dwg No. **1998-JRA-02-04-DR-A-0059**

Suitability WORK IN PROGRESS SO

Revision PRELIMINARY P02