

Strip Out Key

- ALT-111 Removal of Internal Non-Structural Masonry Walls
- ALT-112 Removal of Internal PVC Walls
- ALT-113 Removal of Internal Plasterboard Partition
- ALT-115 Removal of Internal Plasterboard Linings to Solid Walls
- ALT-119 Removal of Internal Wall Linings to Concealed Fire/Covered Chimney breast
- ALT-131 Removal of Non-Thermally-Breaking Secondary Glazing
- ALT-133 Removal of Internal Doors
- ALT-136 Removal of Wall Access Panels
- ALT-137 Removal of Wall Panel
- ALT-138 Removal of Roof Slabs
- ALT-143 Removal of Kitchen Filings
- ALT-145 Removal of Sanitaryware
- ALT-151 Removal of External Glazed Roof Light
- ALT-152 Removal of Flat Roof Waterproofing
- ALT-509 Form Opening in Internal Ceiling
- ALT-507 Movable Ceiling Opening
- Redactors to be retained until client sign-off
- ALT-103 Removal of Internal Suspended Ceiling Tile System
- ALT-107 Removal of Internal Ceiling Coverings (Ceiling Wallpaper)
- ALT-142 Removal of Window Blinds
- ALT-146 Removal of Curtain Tracks
- ALT-148 Removal of Perimeter Trunking
- ALT-149 Removal of Signage - Statutory and Non-Statutory
- ALT-123 Removal of Internal Floor Build-up
- ALT-125 Removal of Internal Floor Slab
- ALT-129 Removal of Internal Timber Skirting
- ALT-121 Removal of Internal Floor Covering
- ALT-127 Removal of Internal Ceiling Coverings (Ceiling Wallpaper)
- ALT-142 Removal of Window Blinds
- ALT-146 Removal of Curtain Tracks
- ALT-148 Removal of Perimeter Trunking
- ALT-149 Removal of Signage - Statutory and Non-Statutory
- Historic elements to be stripped by Specialist Contractor
- Refer to the Restoration drawings for retained elements to be refurbished
- ALT-101 Removal of Internal Ceiling Cornice Moulding
- ALT-135 Removal of Internal Doors
- ALT-147 Removal of Radiator Cover
- ALT-144 Removal of Internal Terracotta Window Sills
- To all surfaces as applicable
- ALT-117 Removal of Internal Wall Coverings to all surfaces as applicable
- Operational area to be maintained and protected throughout works. MDE doors to be retained.
- * Door required for fire integrity to be stripped out by Main Contractor
- Existing wall/structure to remain.
- Not in Scope.

Elements to Retain:

- Retain all wall mouldings, chair rails.
- Retain ceiling cornice where these align downward beams or walls.
- Retain lift and plaster ceiling.
- Temporary retain radiators, until client sign-off.

Definition and Strip-Out Risk Elimination Notes:

Unprotected Work
Design measures taken to reduce / eliminate risk
 • Guarding to all service voids and lift doors to be provided by the contractor.
 • At least one of the lifts should remain operational during the whole of strip out period for occupants.

Information Provided for Hazard Control
 • Strip out drawings showing near locations assumed from archive drawings.

Fall From Height
Design measures taken to reduce / eliminate risk
 • Temporary guarding to all unprotected roof edges required.
Information Provided for Hazard Control
 • Strip out drawings identify unprotected roof edges.

Fire Escape
Information Provided for Hazard Control
 • Strip out drawings identify escape route to be maintained at all times.

Operational Premises
Design measures taken to reduce / eliminate risk
 • Services to be retained / cover supplies to be maintained to be identified prior to strip out.

Information Provided for Hazard Control
 • LE will remain operational during the whole of the strip out period.

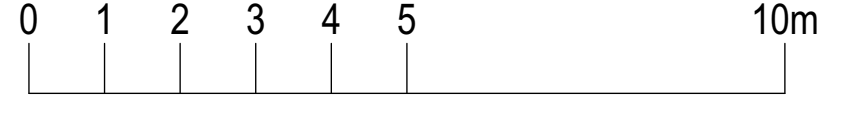
Adjoining Properties
Information Provided for Hazard Control
 • Tight urban site with several adjoining properties requiring suitable protection during the works.

Asbestos
Design measures taken to reduce / eliminate risk
 • Management Asbestos Survey information issued with tender.
 • Refurbishment Asbestos Survey to be carried out by strip out contractor prior to any work.
Information Provided for Hazard Control
 • Management Asbestos Survey results available prior to works commencing.

Notes:

- All existing windows to be retained and protected during works.
- See M+E Services Engineers Scope, Drawings and Specification for services strip out.
- Report in conjunction with BPH Site Inspection Report
- Refer to the Structural Engineer prior to removing any masonry walls
- Ensure steel and fill cores for compartmentation is maintained throughout works
- Specialist contractor to assess perimeter walls mould moisture
- All existing Windows to be retained and to be protected during works
- To be read in conjunction with JRA specifications
- To be read in conjunction with Structural Engineer information and requirements

1 Fourth Floor - Strip Out Plan
SCALE 1:100

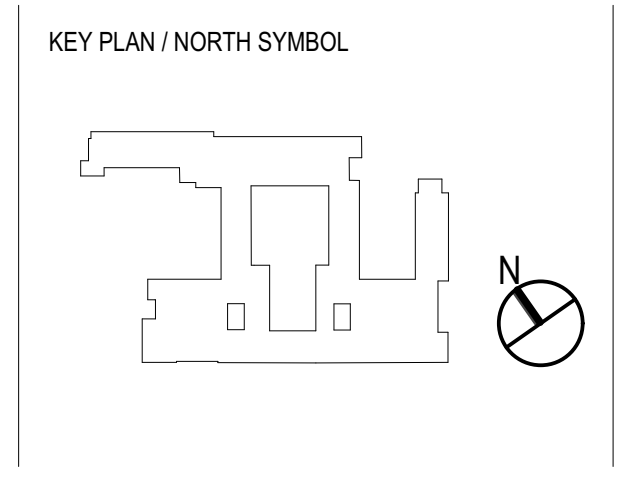


Rev	Date	Dwn	Chk	Description
P01	13/10/2023	PP	LM	For Information
P02	21/09/2023	PP	LM	For Planning

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Drawing Title
Block E - Fourth Floor Strip-Out Plan

Scale
1:100 @ A0

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1998-JRA-02-04-DR-A-0058

Suitability
WORK IN PROGRESS

Revision
PRELIMINARY

Project No.
1998

Sheet No.
S0

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P02

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