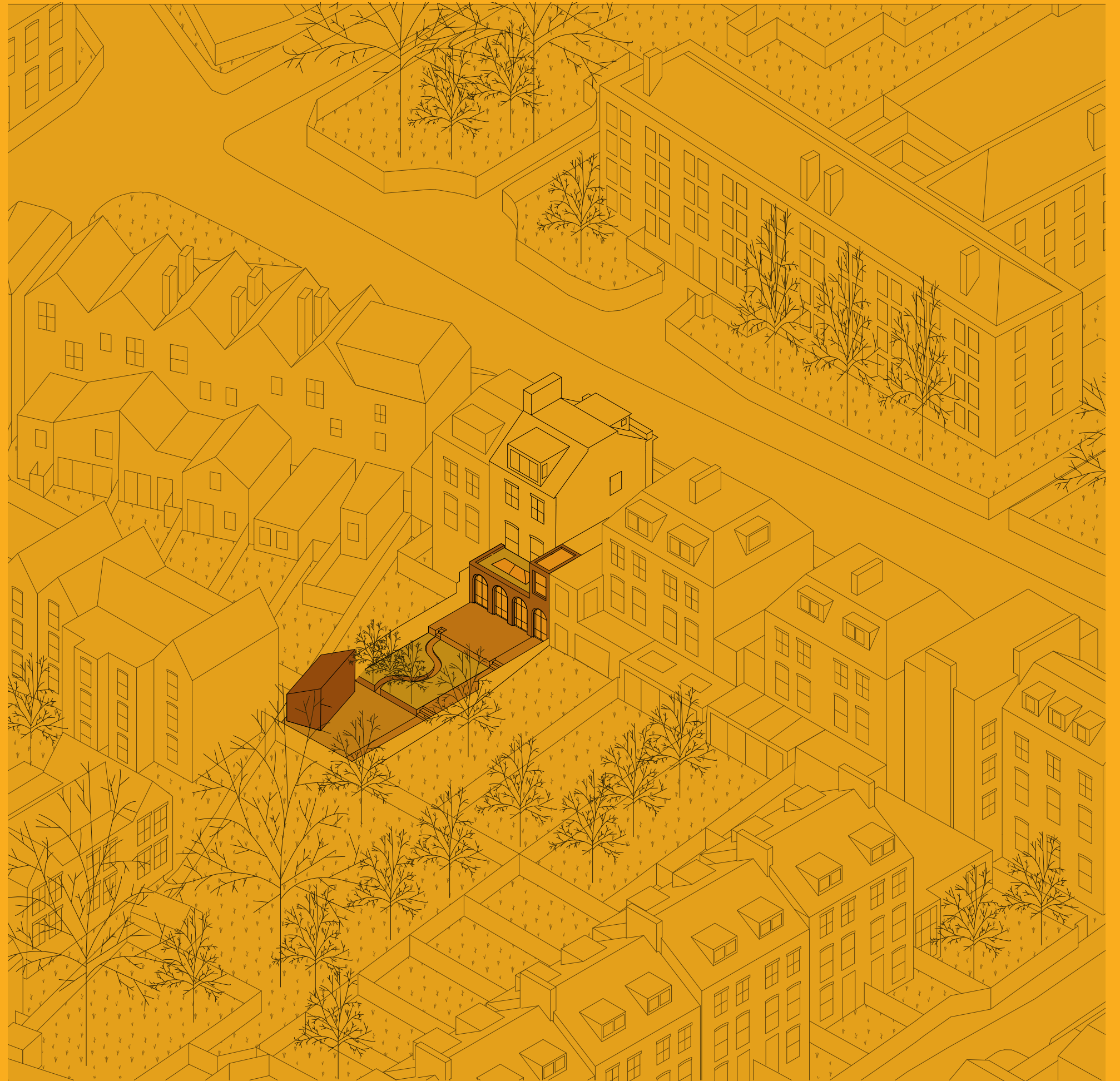


18 Well Walk

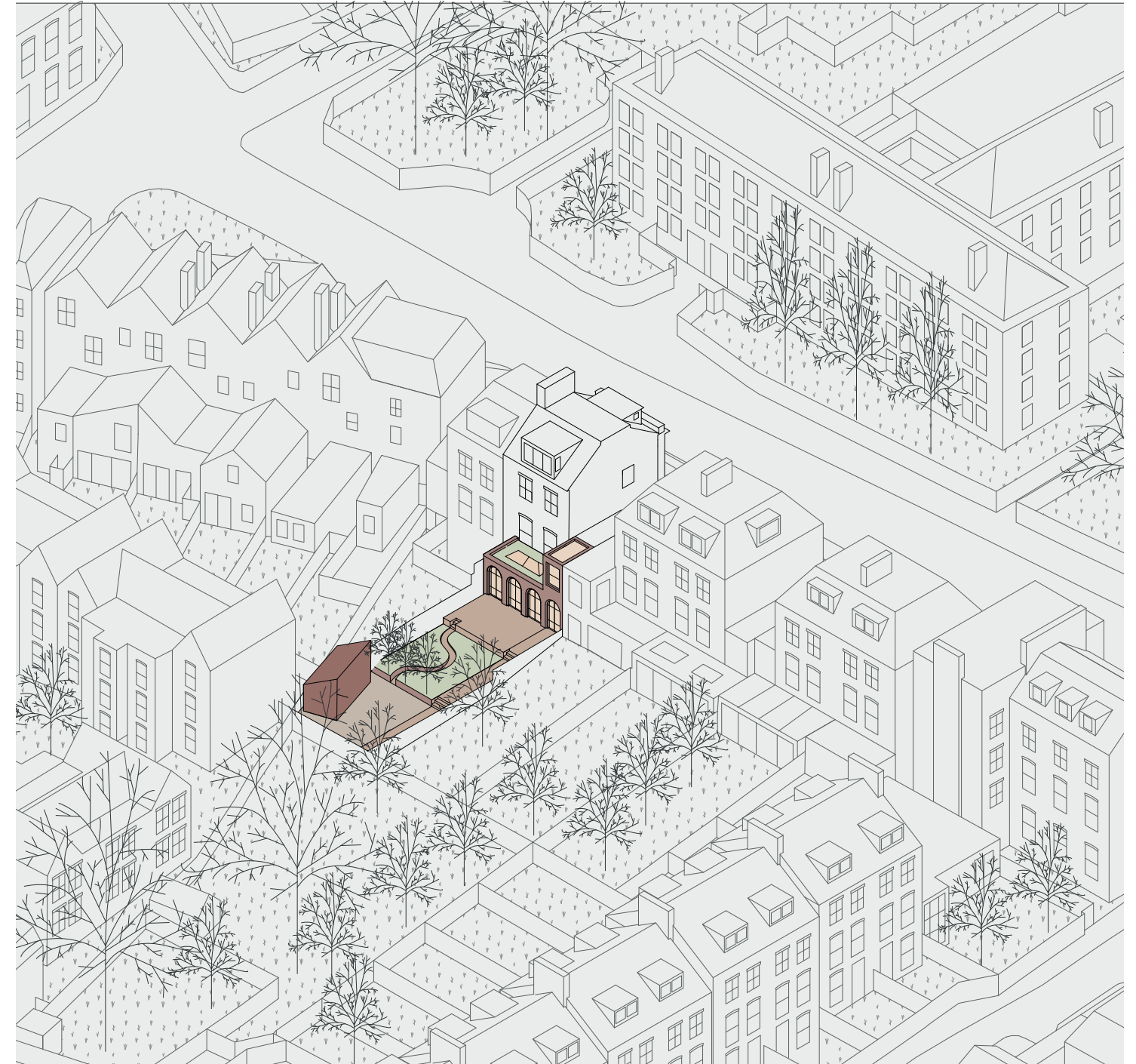
Planning Statement

August 2023



Planning Statement

- 1.1. This Planning Statement has been prepared as part of a planning application for extensions and alterations to an existing semi-detached house in Hampstead, 18 Well Walk. The planning statement should be read in conjunction with the planning drawing set, design and access statement and arboricultural report.
- 1.2. Pre application advice was sought regarding the proposals and a number of changes have been made in response to the advice received: pre app reference (2023/1490/PRE)
- 1.3. **Lower ground floor front entrance.** In direct response to the pre application advice, a traditional front door and suitable parapet are now being shown.
- 1.4. **Rear extension.** Whilst the pre application was supportive of the rear extension, further clarification showing the rationalisation behind the arched french doors has been added into the design and access statement.
- 1.5. **Replacement outbuilding.** In direct response to the pre application advice the height of the proposed outbuilding has been reduced to a maximum height of 3m at the top of the pitch. Furthermore the building has been set away from the boundary wall by 500mm to maintain a sufficient planted gap.
- 1.6. **Exterior Works.** Detail drawings of the proposed slimline double glazed timber sash windows showing integral glazing bars have now been included in the drawing set as per the pre application advice.
- 1.7. Effort has been made to ensure that the proposals comply with the London Plan (2021), the Camden Local Plan (2017), Camden Planning Guidance (2021), Hampstead Neighbourhood Plan (2018) and the Hampstead Conservation Area Statement (2001).



Proposals at 18 Well Walk in relation to the surrounding context. isometric drawing.