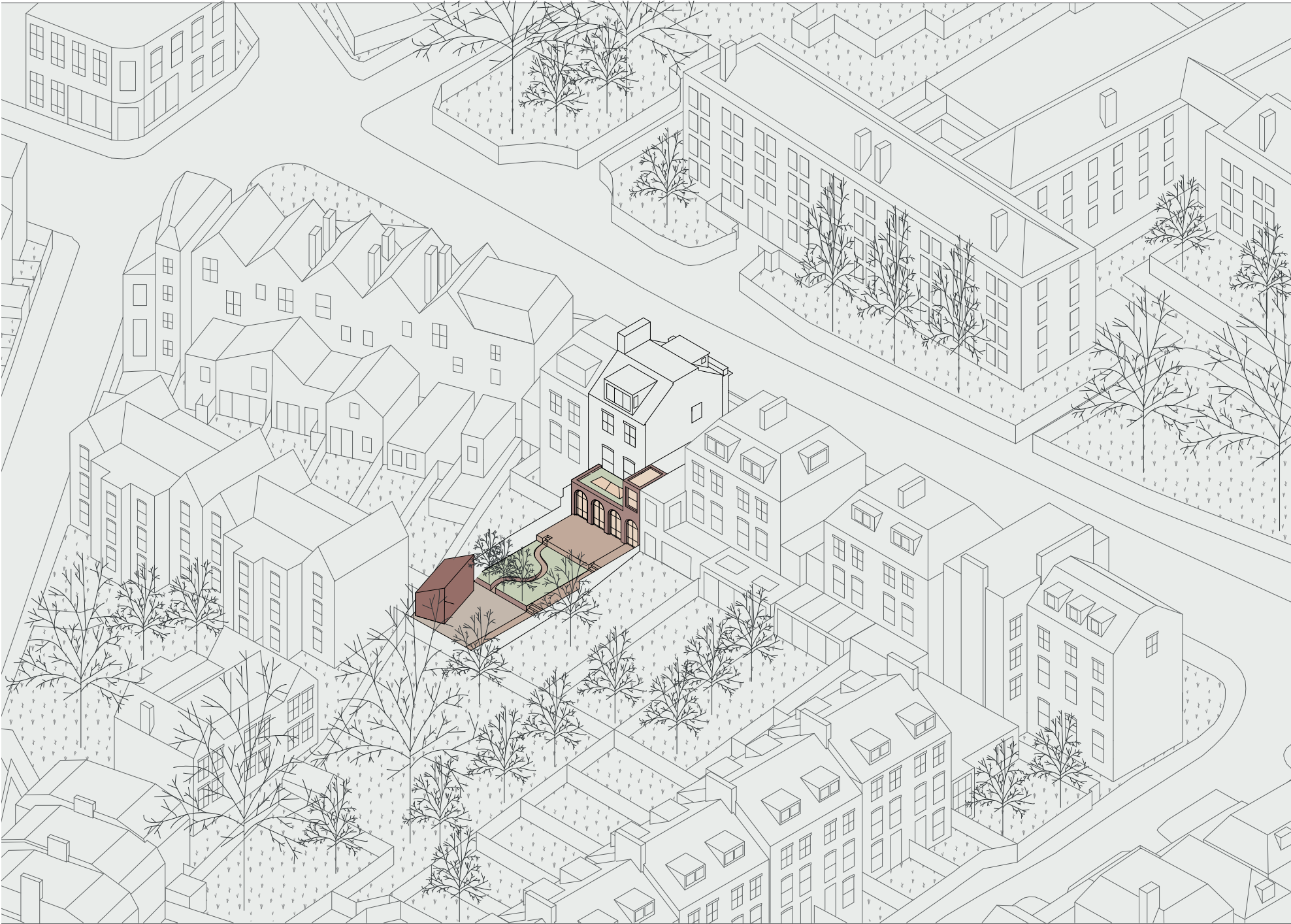


**18 Well Walk**  
Design & Access Statement  
Planning  
**August 2023**



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Proposals at 18 Well Walk in relation to the surrounding context. isometric drawing.



## 1. Introduction

- 1.1. This Design & Access statement has been prepared as part of a planning application for extensions and alterations to an existing semi-detached house in Hampstead, 18 Well Walk. The proposals also include the replacement of a garden studio building which is in poor condition.
- 1.2. The proposals have been designed to reference elements of the surrounding housing typology but in a contemporary manner.
- 1.3. The changes to 18 Well Walk will create valuable additional space to the owner occupiers of 18 Well Walk.



Cut away section sketch of proposals at 18 Well Walk.

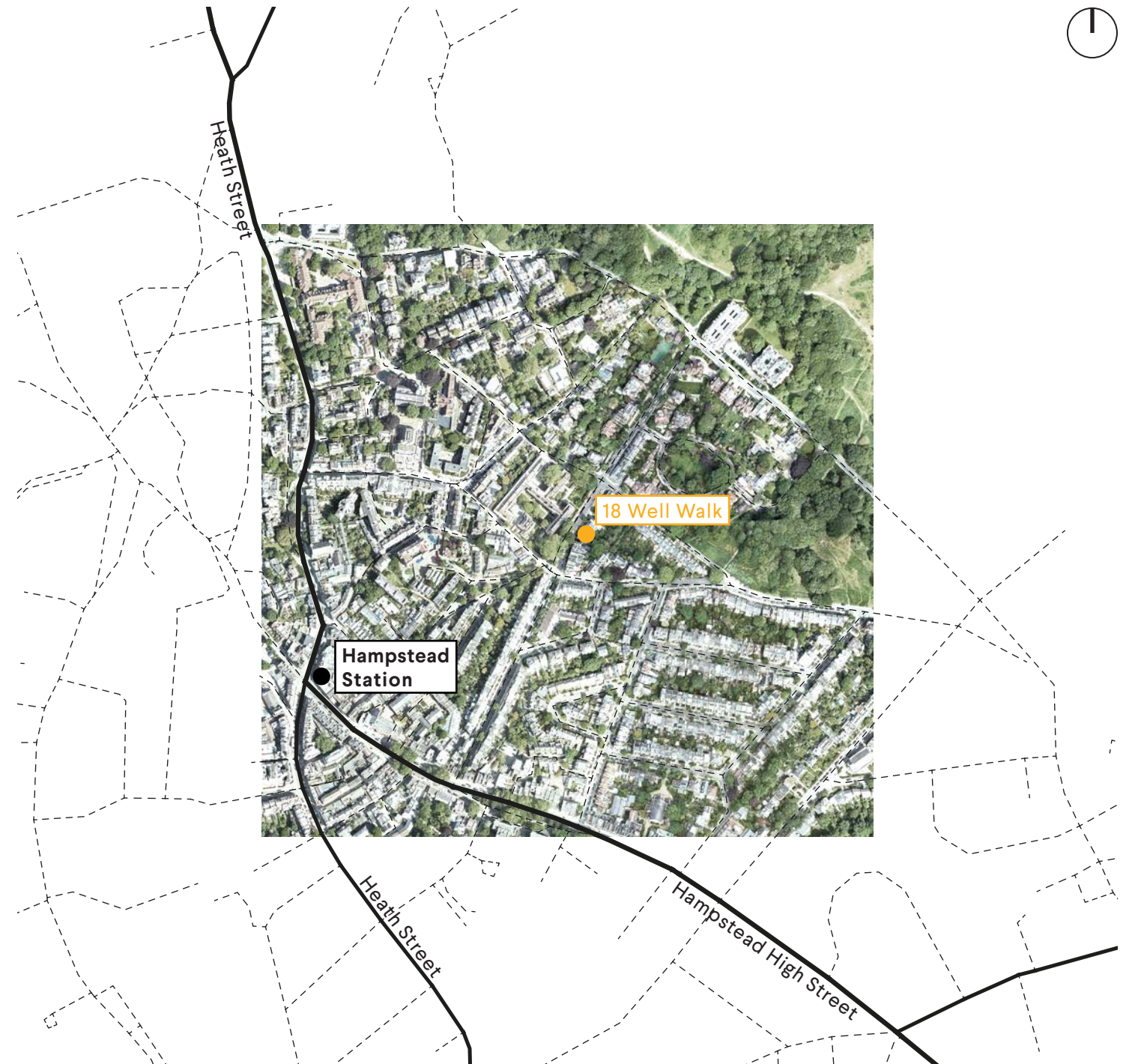


## 2. Site

- 2.1. The full address of the site is 18 Well Walk, London NW3 1LD
- 2.2. The site is located in Hampstead, Camden, roughly 30mins from London City Centre by public transport, the closest underground station being Hampstead Station.
- 2.3. The site is suburban in nature, located on a quiet, tree lined street and has a large garden at the rear.
- 2.4. 18 Well Walk is located in the Hampstead Conservation Area (CA15) but is not listed statutorily or locally.
- 2.5. The site has a very low risk of flooding, both from the rivers and the sea and surface water. (Source: GOV.UK The Environment Agency).



A view down Well Walk with The Wells Tavern on the corner.



Site Map.

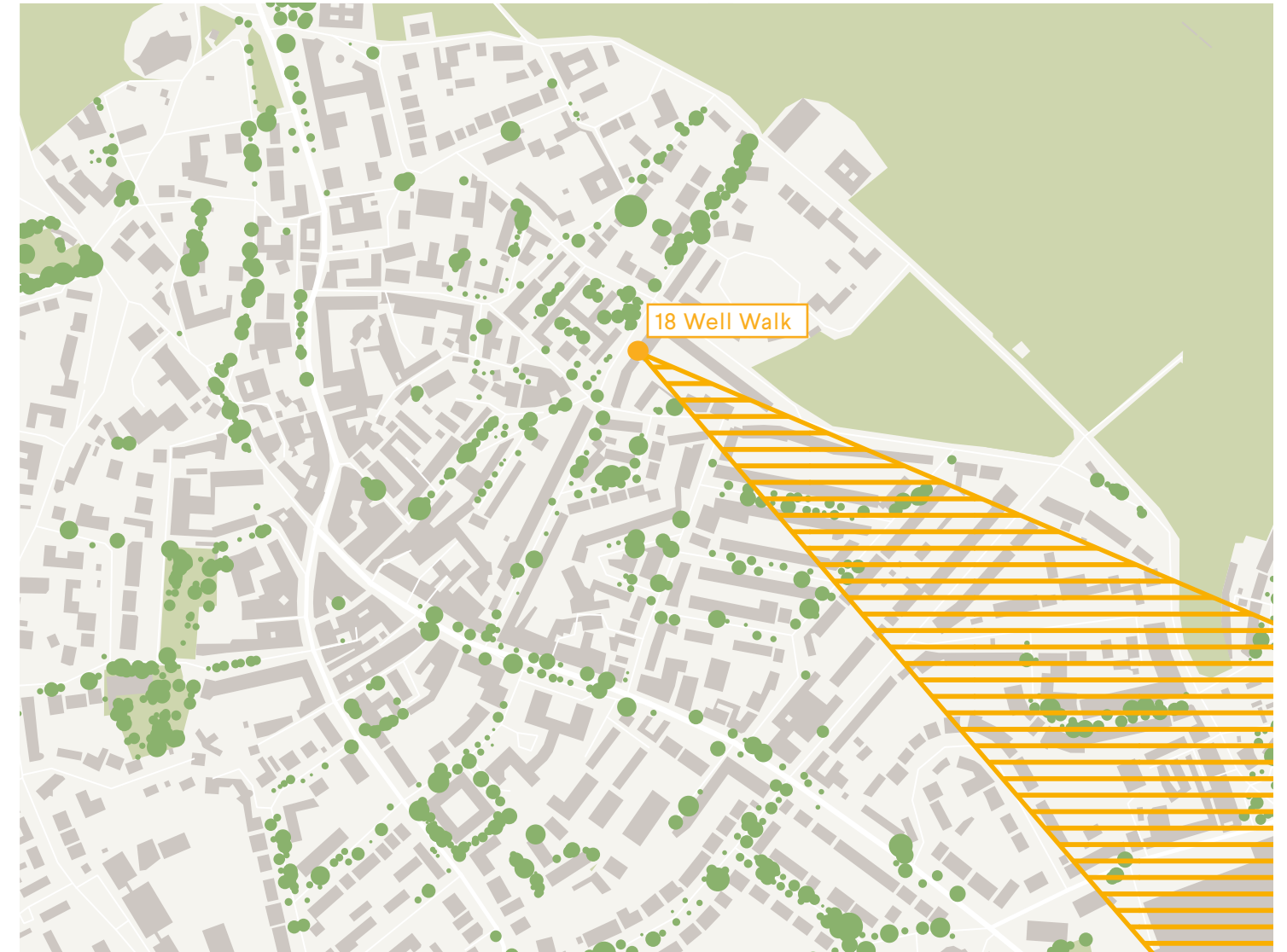


### 3. Environmental Amenity

- 3.1. Hampstead Heath can be accessed at the end of Well Walk, 250m away from the property. The area boasts a large number of mature street trees.
- 3.2. Set on the slope of the Heath, 18 Well Walk enjoys impressive south-easterly views over the tree tops and across the city beyond.



Hampstead Heath and the city beyond



#### Key

- Open green space
- Registered street trees (size by spread)
- Views from 18 Well Walk

## 4. Local Heritage & Conservation

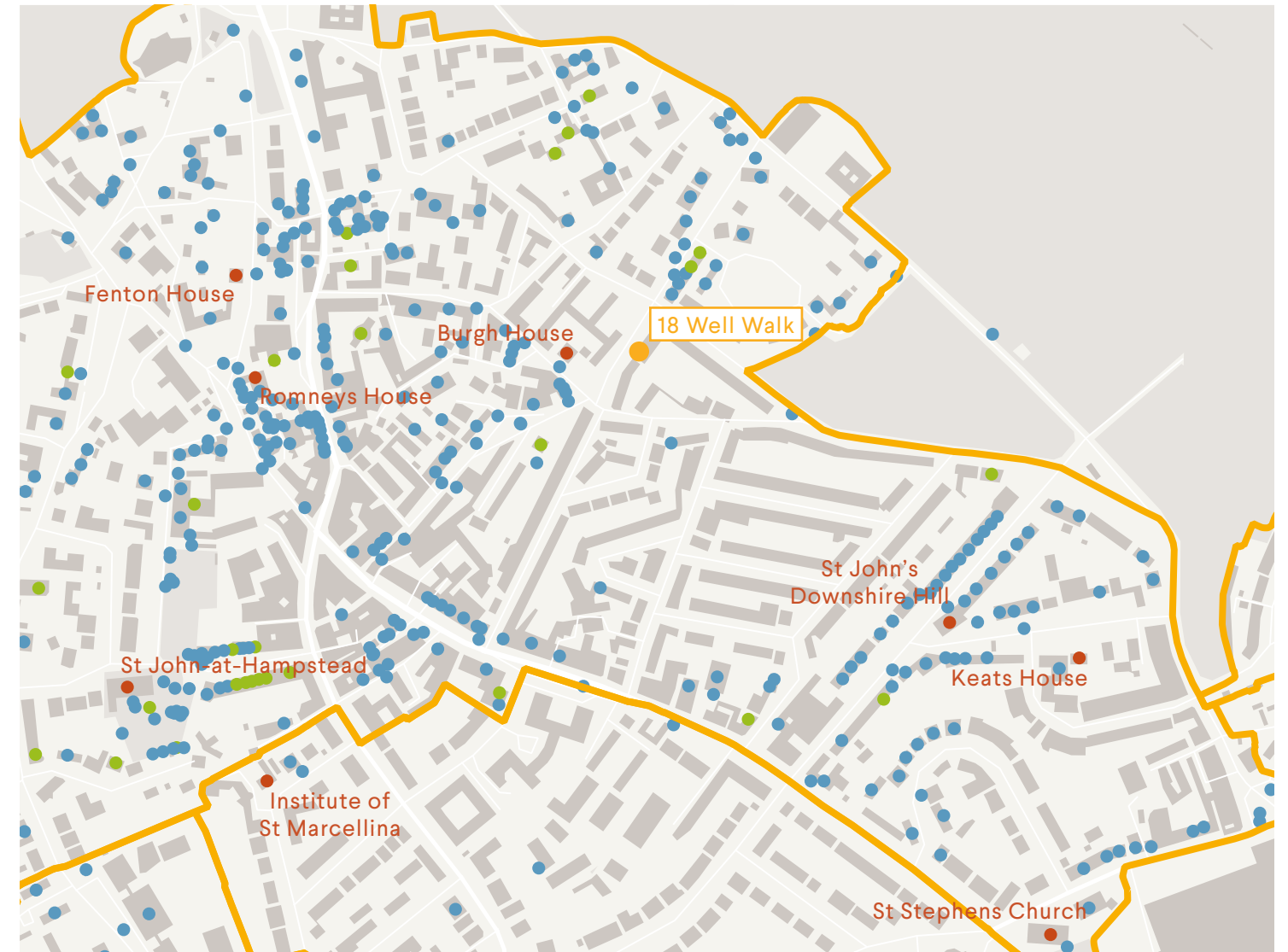
- 4.1. Well Walk is located within the Hampstead Conservation Area (CA15). The neighbourhood has a rich built heritage including Grade I listed buildings such as Fenton House, Burgh House and Keats House.
- 4.2. Many of the older houses in Hampstead, including 18 Well Walk are built in the Georgian or Victorian style characterized by symmetry, proportion, and the use of classical motifs. Common features are brick façades, white painted stucco details, and tall, narrow windows. Ornate decoration is another common feature of the Georgian and Victorian houses with elaborate brickwork, towers and turrets.
- 4.3. Throughout the 20th and 21st Century, Hampstead has also become a melting pot of modern architectural styles, prime examples such as the Bauhaus Isokon Building, the Brutalist Goldfinger House and the High Tech Hopkins House.



Keats House



Hopkins House

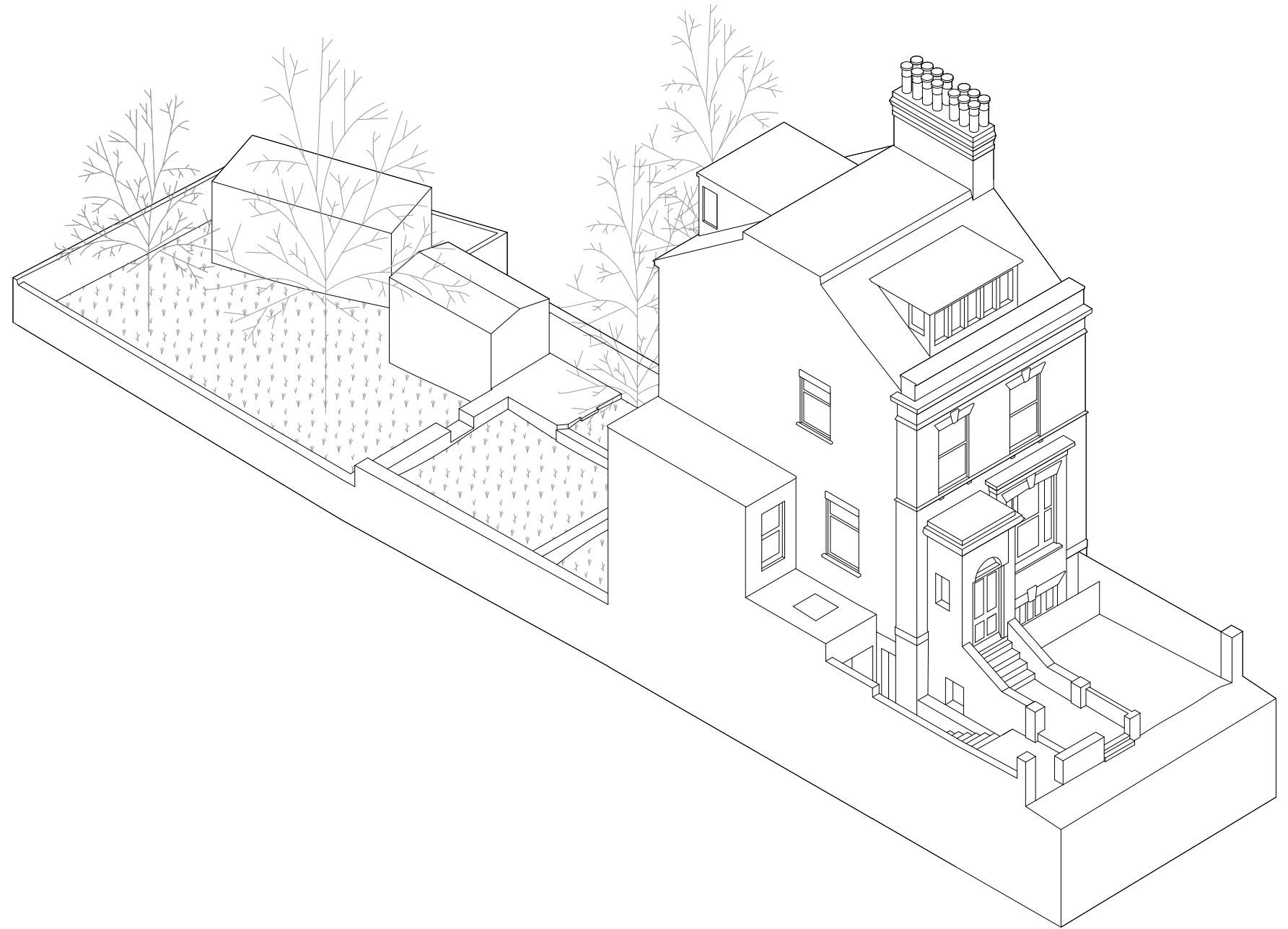


- Key**
- Conservation area
  - Grade I listed building
  - Grade II\* listed building
  - Grade II listed building



## 5. Existing Building

- 5.1. The existing building is a Victorian semi detached house built in the 1860s as part of a row of semi detached villas running from 16 - 26 Well Walk
- 5.2. The villas are built three storeys above the street level with a lower ground floor below street level.
- 5.3. An adjoining brick side passage was built in the 1970s, this is mirrored at no 20 Well Walk and was the product of a joint planning application and build.
- 5.4. The front walls of the house are built in Gault Brick, the rear and side of the house constructed from London Stock Brick and the 1970s addition constructed from a plain yellow brick.
- 5.5. As highlighted in a building conditions report a number of areas require replacement and repairs including the roof, drainage and zinc parapet.
- 5.6. The garden is also extremely overgrown and some of the larger trees have been recommended for felling in an Arboricultural report.



18 Well Walk: Existing Isometric drawing



1970s side passage between 18 +20 Well Walk



Overgrown frontage of 18 Well Walk

## 6. Proposals

6.1. The stylistic intent is to celebrate the age and character of the house and aim to reinstate lost character or features where possible using materials that are complementary to the existing building.

### External Building Fabric

Complete assessment of the building fabric and overhaul of any issues highlighted in the Building Survey. Such as replacement roofing and drainage. It is also proposed to replace all the existing windows (which are currently in poor condition) with replacement frames which feature slimline double glazing. The glazing bar layout of the new windows at the front of the house are to match the design at 16 Well Walk, 4 over 4 at ground level and 6 over 6 at first floor level. The glazing bar layout of the new windows to the rear will match the existing layout - which is also the same at 20 Well Walk.

### Lower Ground Floor

Full width rear extension into the garden along with a complete internal reconfiguration of internal space. A largely open plan arrangement is desired that includes a dining area, kitchen and snug as well as utility areas and a WC.

### Ground Floor

Layout to generally remain as existing with proposed study located off the side of the main living room. Refurbishment throughout.

### First Floor

Bedrooms and one bathroom to be created on the first floor, potentially by splitting rear room into two. Extensive refurbishment throughout.

### Top Floor

Potential to become master bedroom and master suite. Extensive refurbishment throughout. Assessment of existing condition of dormer, potential for it to be replaced.

### Landscaping

Redesign of rear garden landscaping and planting strategy.

### Garden Ancillary Buildings

Demolish existing ancillary buildings and build new gym studio.



18 Well Walk: proposed sectional sketch



## Main House Proposals

- 6.2. A full width brick extension is proposed along the rear of 18 Well Walk, creating a stronger connection to the garden and valuable open plan kitchen and dining space for the inhabitants at lower ground floor level.
- 6.3. The 1970s side passage will also be extended at ground floor level (to mirror the condition at No. 20). This will create a study space on the ground floor level off the existing living room.
- 6.4. The 1970s, lower ground floor front entrance will also be rebuilt to make it more accessible, more secure and better quality.
- 6.5. All existing windows will be repaired. Some may be replaced where required due to poor condition but with like-for-like windows to maintain the integrity of the conservation area.
- 6.6. A light coloured brick that complements the existing building will be the primary material used. Timber windows and doors will also feature.



Precedent showing proposed material palette: bricks and timber windows & doors.



Proposed Front Elevation



Proposed Rear Elevation



## Rear Extension Arched Inspiration

6.7. A full width brick extension is proposed along the rear of 18 Well Walk, creating a stronger connection to the garden and valuable open plan kitchen and dining space for the inhabitants at lower ground floor level.

6.8. The design of the Roman Arched windows draws on motifs from the surrounding architecture. In Victorian architecture, arches were a common and distinctive design element used in various buildings and structures. The Victorian era was characterised by a revival of classical architectural styles, and arches played a crucial role in creating ornate and decorative façades. Roman arches (also known as round arches) are prevalent in various Victorian buildings in the area. A few examples:

**6.9. Hampstead Parish Church (St. John-at-Hampstead):** Built in the 19th century, this church features a classic Victorian design with Roman arches adorning its windows and entrance. The round arches contribute to the traditional and elegant character of the building.

**6.10. Hampstead Underground Station:** Opened in 1907, the Hampstead station of the London Underground (Tube) is an excellent example of Victorian architecture with Roman arches used in its design. The station's entrances and interior passages often showcase this arch styles

**6.11. Keats House:** Roman arches can be observed in some of the architectural details of the house.

**6.12. Hampstead Library (former Town Hall):** The old Hampstead-Town Hall, which is now used as a public library, is a striking Victorian building with Roman arches prominently displayed in its facade.



Hampstead Parish Church



Hampstead Underground Station

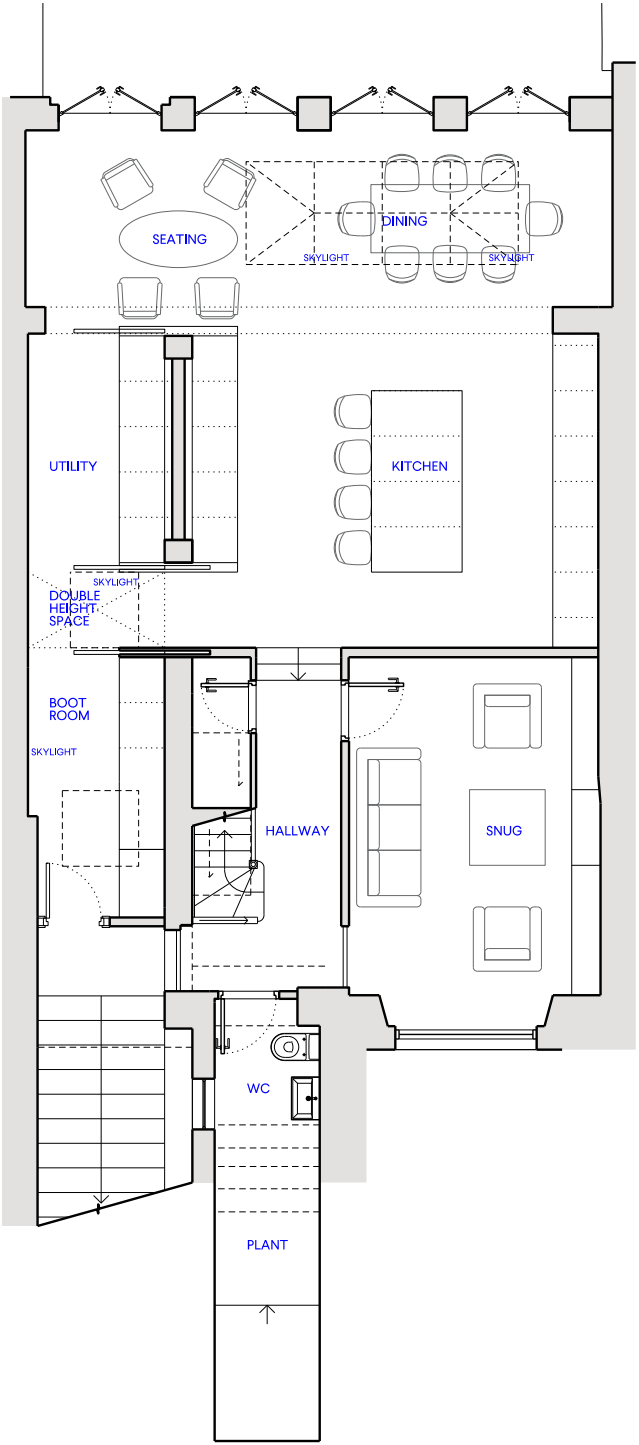


Keats House

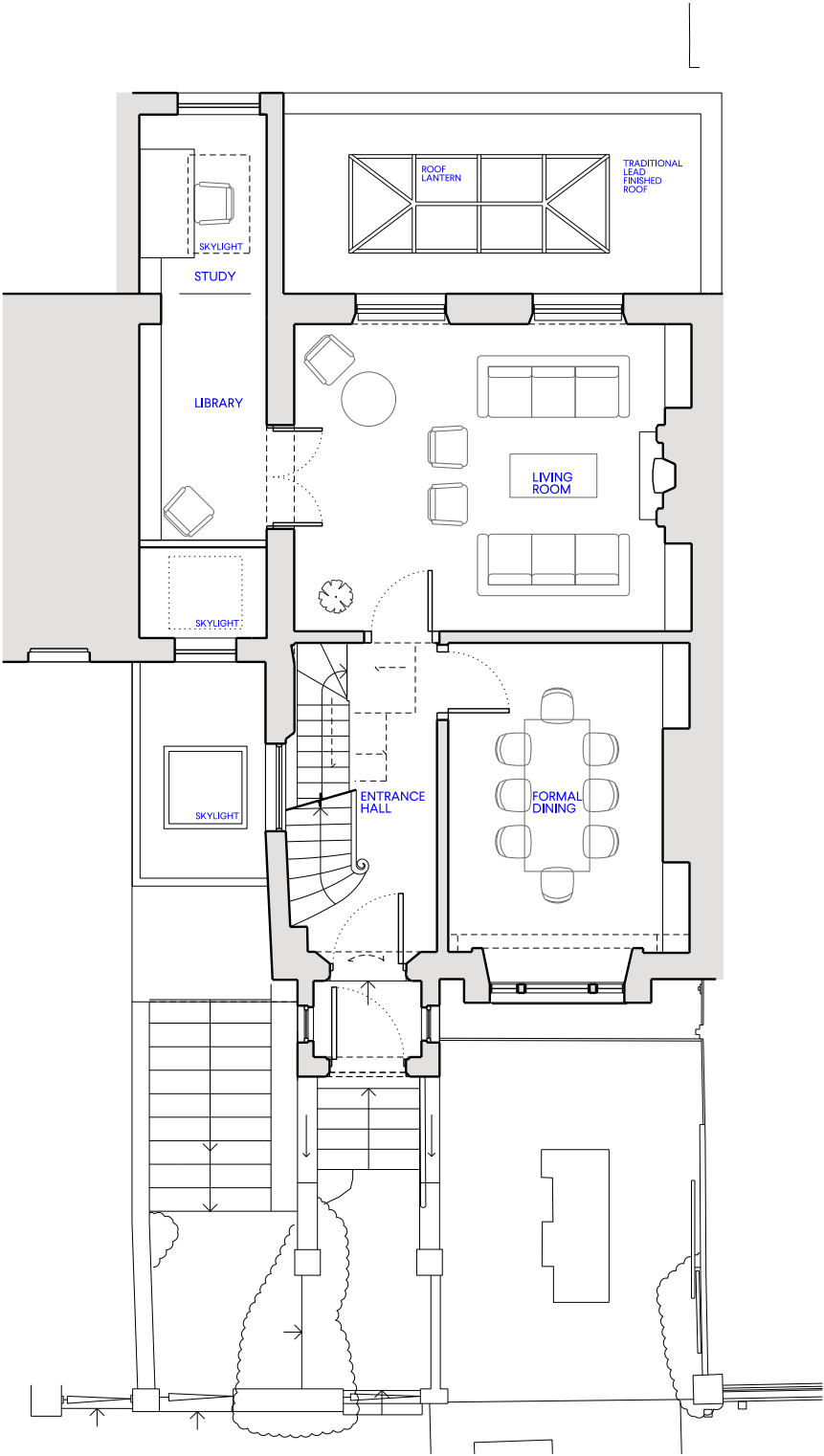


Hampstead Town Hall

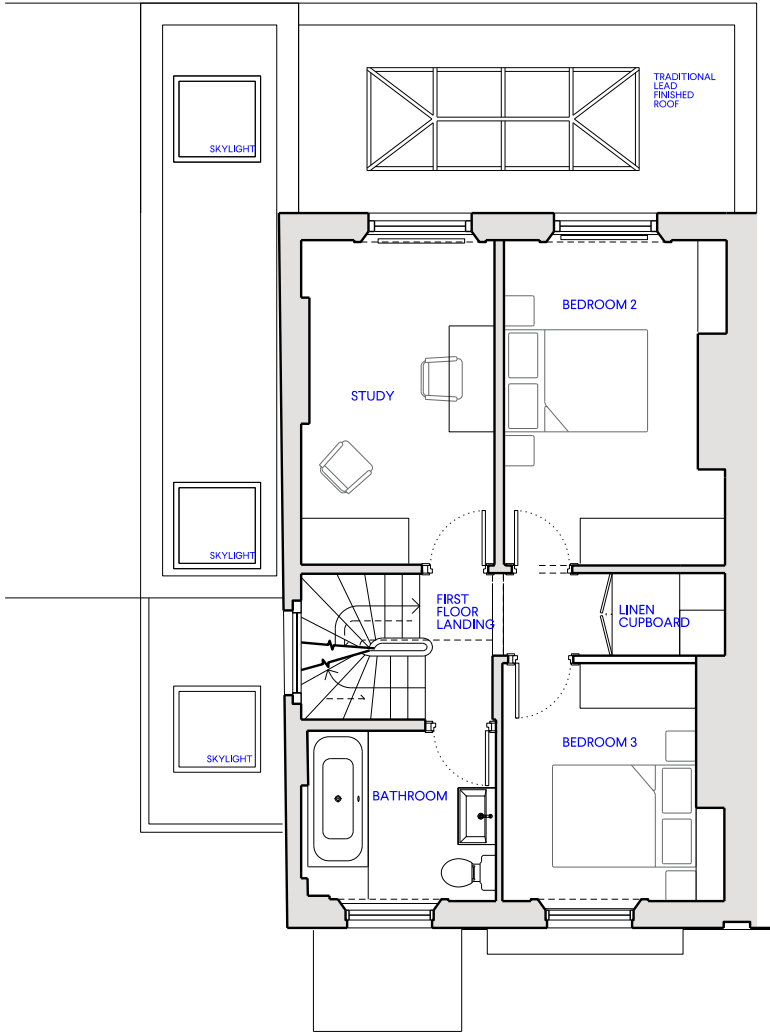




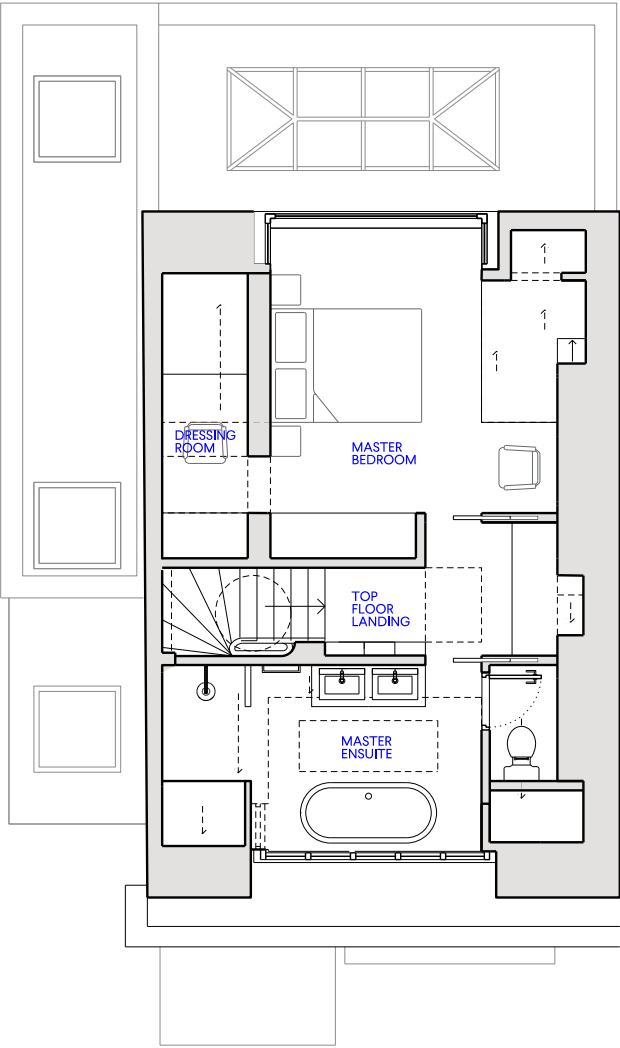
Proposed Lower Ground Floor



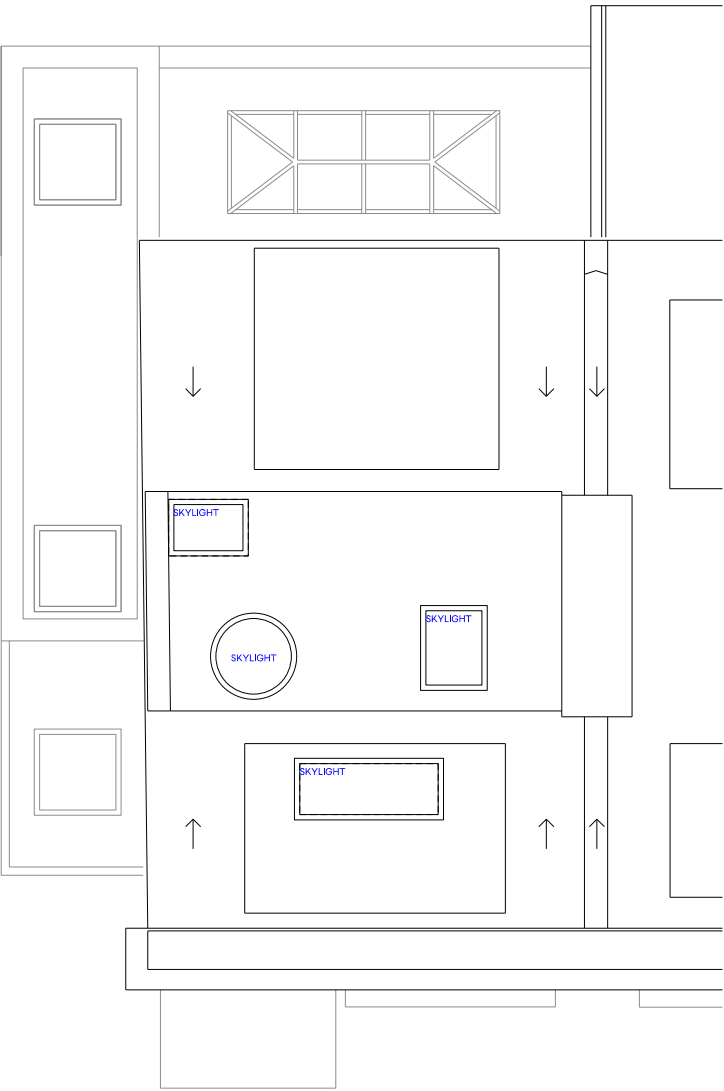
Proposed Ground Floor



Proposed First Floor



Proposed Second Floor



Proposed Roof Plan



## Garden Studio Proposals

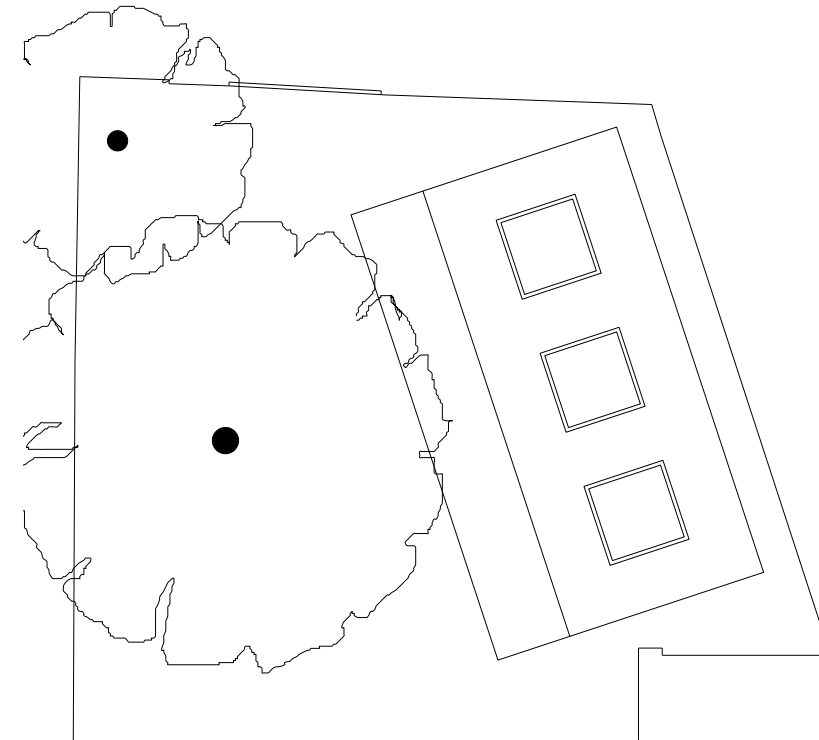
- 6.13. A new garden studio building is to be constructed at the bottom of the garden to replace two existing, poorly constructed outbuildings.
- 6.14. The footprint of the building will be similar to one of the existing outbuildings and the overall volume of development will be less than the combination of the two current outbuildings.
- 6.15. The studio is to be a simple building that features a mono-pitch roof containing roof lights and will be clad in timber to blend in with the surrounding nature in the garden.
- 6.16. The studio is to be used predominantly as a gym and will feature large sliding doors that open out onto a deck area beyond.



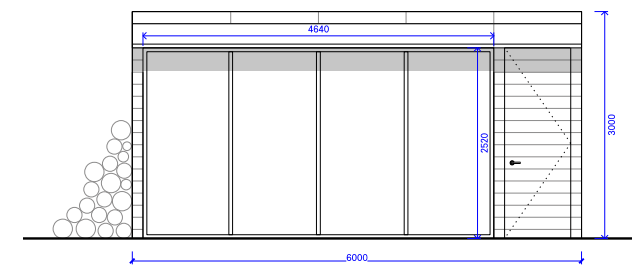
Precedent showing interior materials and pitched roof



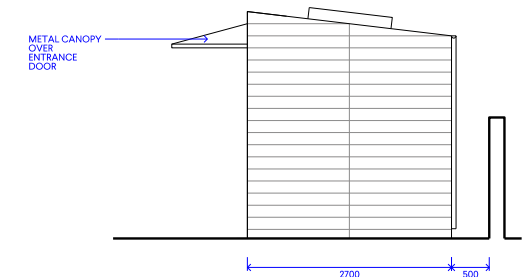
Precedent showing exterior materials and large sliding doors



Roof plan of studio



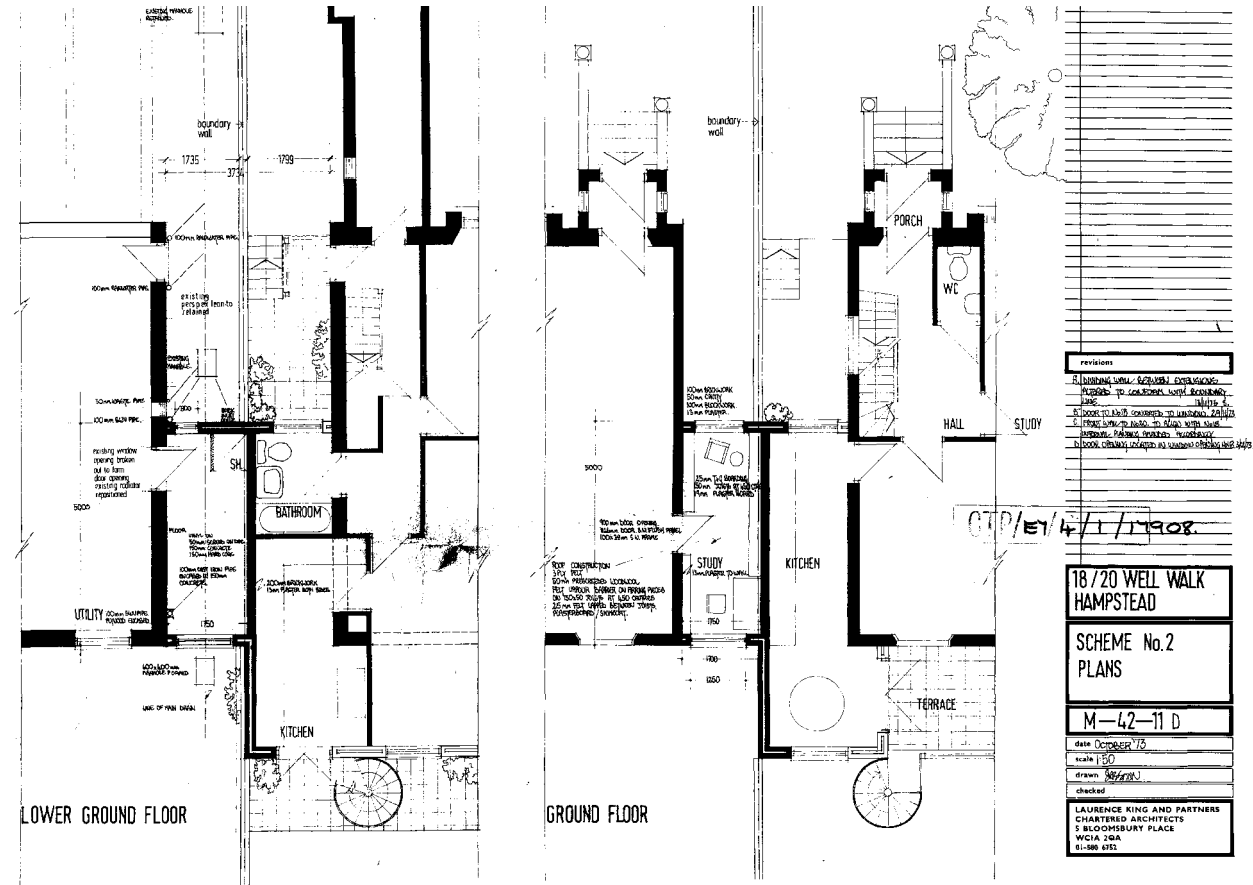
Front Elevation



Side Elevation

## 7. Relevant Planning Application

- 7.1. There are some relevant historical planning applications to reference which have determined the scope, scale and form of the proposed extensions at 18 Well Walk
- 7.2. The initial 1973 joint application for infilling the side passage between 18 and 20 Well Walk (**application number E7/4/1/17908**) shows that number 20 extended further at ground floor level. The proposals at 18 Well Walk intend to mirror this and restore a symmetry between the neighbouring houses.



Lower Ground and Ground floor plans of 18 an 20 Well Walk (application E7/4/1/17908)



Elevation drawings of 18 an 20 Well Walk (application E7/4/1/17908)



## 8. Sustainability

- 8.1. The built environment and construction sector accounts for 38% of global carbon emissions. As architects we strive to reduce this impact wherever possible. From the offset, we will be advising on sustainable material choices, construction methods and energy systems.
- 8.2. The new structure will be of modern construction complying with Approved Document Part L - Conservation of Fuel and Power meaning that every effort will be made to make the building as thermally efficient as possible.

## 9. Conclusion

- 9.1. The proposals at 18 Well Walk are proportionate and complementary to the surrounding architectural context of Hampstead.
- 9.2. The house is in need of total refurbishment and repair as aspects of the building are in poor condition. A restoration of the house would not only benefit the inhabitants of 18 Well Walk but will have a positive visual impact on the street and surrounding conservation area.
- 9.3. The proposed extensions would greatly improve the amount of high quality living space for the owner occupiers of 18 Well Walk.

