

2023/1971/P – 47 Alma Street, NW5 3DH



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Figure 1: Application site identified with red marker. Showing existing rear elevation context of site and neighbouring properties.



Figure 2: Application site identified with red marker. Showing existing front elevation context of site and neighbouring properties. Rear Elevations of Raglan St can also be seen.



Figure 3: Front elevation as viewed from Alma St of the application site (identified with white front door).



Figure 4: Rear elevation of application site.

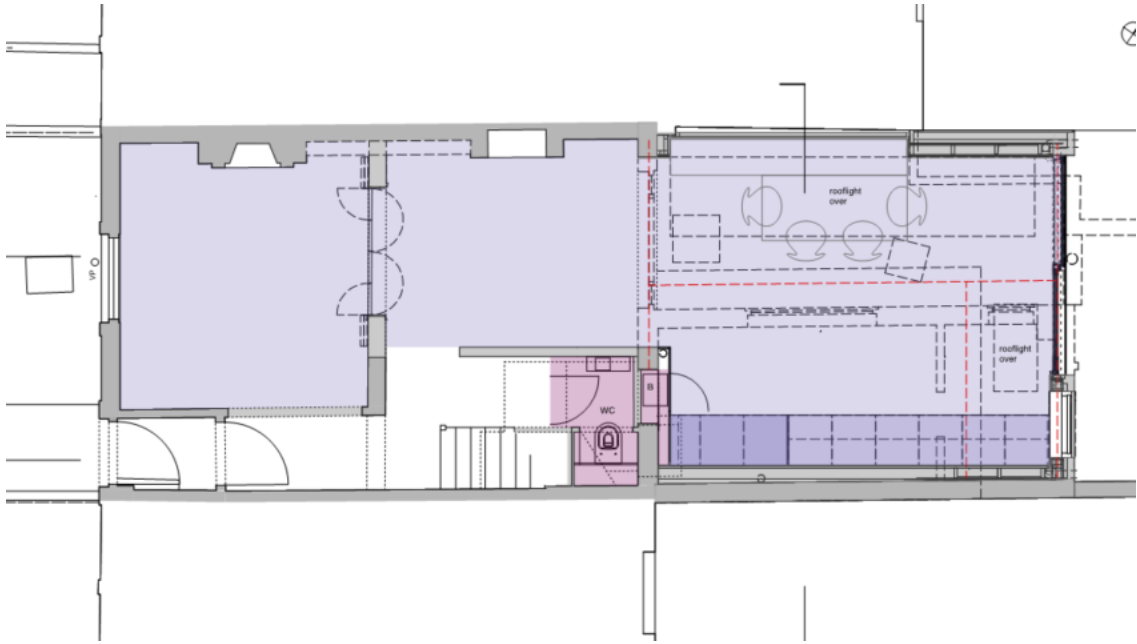


Figure 5: Proposed ground floor plan.

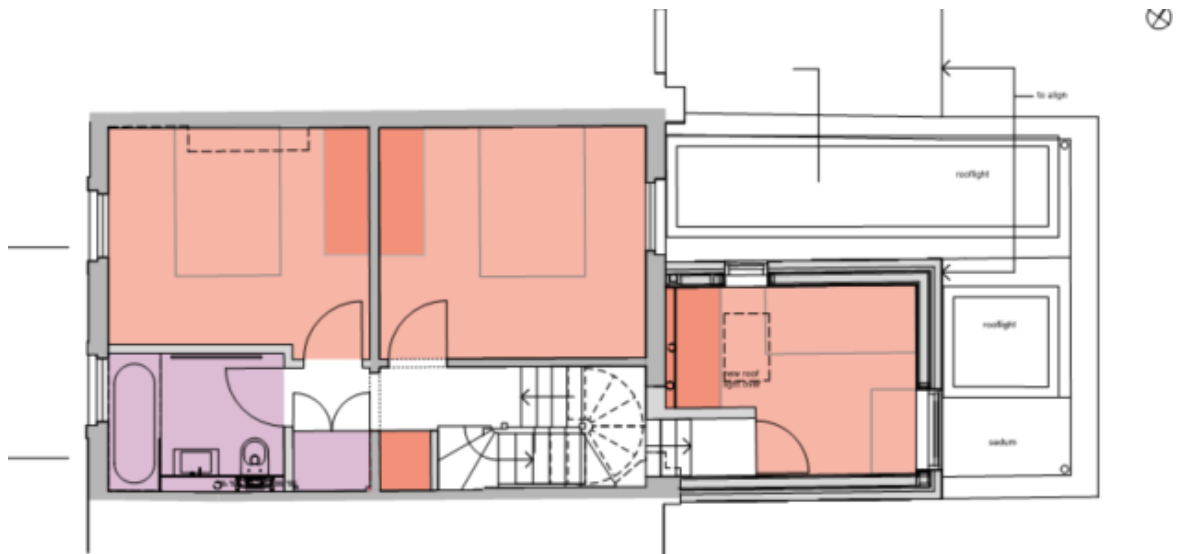


Figure 6: Proposed first floor plan.

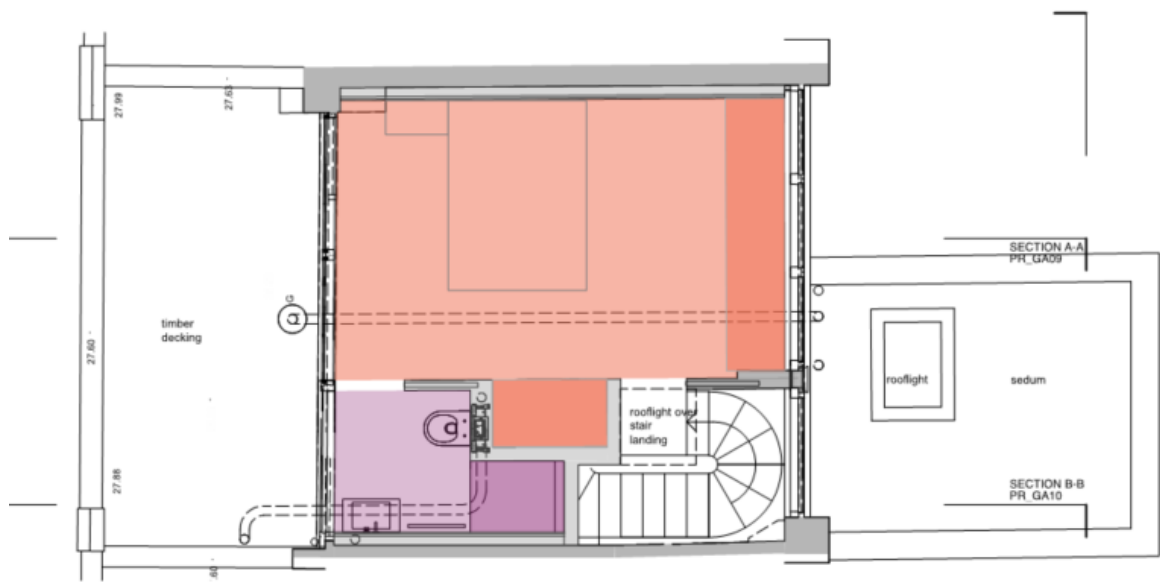


Figure 7: Proposed second floor plan

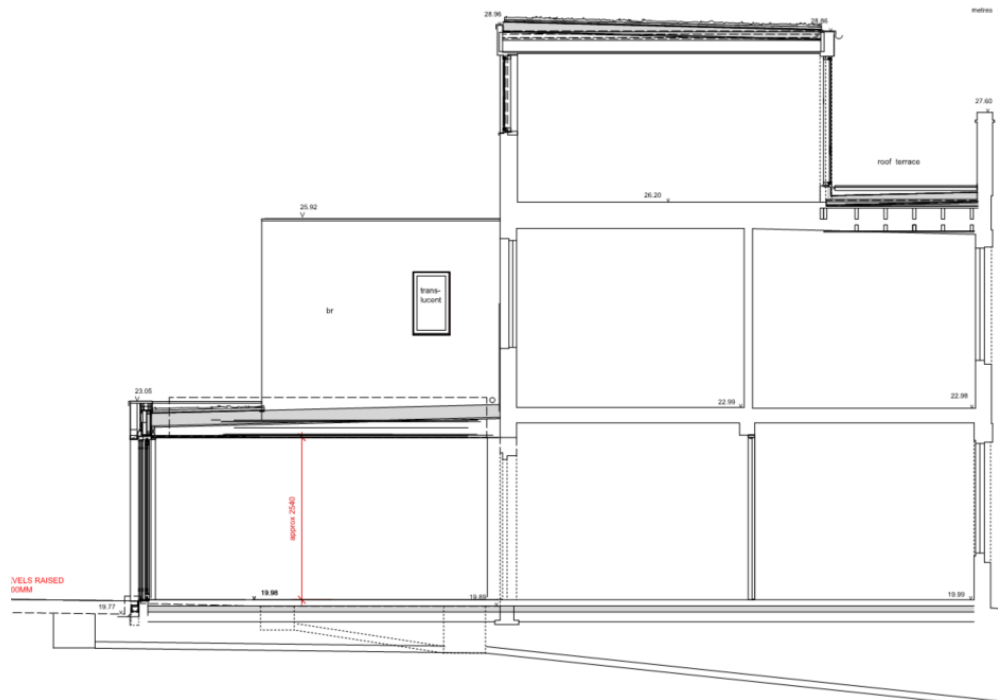


Figure 8: Proposed section plan.



Figure 9: Proposed rear elevation.

Delegated Report		Analysis sheet		Expiry Date:	11/07/2023
(Members' Briefing)		N/A		Consultation Expiry Date:	09/07/2023
Officer			Application Number(s)		
Kristina Smith			2023/1971/P		
Application Address			Drawing Numbers		
47 Alma Street London Camden NW5 3DH			Refer to Draft Decision Notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Erection of ground floor and first floor extensions and alterations to existing fenestration					
Recommendation(s):		Grant Conditional Planning Permission			
Application Type:		Householder			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Adjoining Occupiers:	No. of responses	5	No. of objections	5

**Summary of
consultation
responses:**

A site notice was displayed from 09/06/2023 and expired on 03/07/2023.
A press advert was published on 15/06/2023.

5 responses were received from local residents (no's. 46 Alma St, 49 Alma Street, 4 Raglan Street, 6 Raglan Street, 1 x unknown) on the following grounds:

Design and conservation

- Excessive in form, scale and bulk and does not confirm to Policies D1 or D2, nor is it in line with the Inkerman Conservation Area statement or CPG 2021.
- Extension at no.46 was previously refused by Camden on grounds of height and width (subsequently won at appeal). This should be the benchmark.
- There is a degree of consistency in the building lines that the proposal should adopt
- The application site already has a roof extension which compounds the impact of the ground and first floor extensions.
- Proposed extension is not subordinate to host building
- Proposals are very intrusive and dominate as viewed from no.46.
- Even outside of a conservation area, the proposals would be excessive.
- The proposed extension occupies an excessive part of the garden contrary to policy and guidance.
- The proposal would have a negative effect on the character of the area

Officer response: Please refer to 'design and conservation' section of report

Amenity

- The daylight and sunlight report shows that the proposals at no.46 would receive significantly less sun and light.
- The proposals are non-compliant with the BRE recommendations as confirmed by the report.
- Sunlight hours to the garden of no.46 would be reduced from 28% to 17% (0.59 of its former value). This will be clearly noticeable and detrimental to enjoyment of garden. The fact that the garden is small and already shaded means further shading should be minimised.
- A window to the dining/kitchen room would have its sunlight reduced to 20% from 39% and would lose all sunlight in currently receives in winter.
- The mass of the proposal will impact very detrimentally on light and quality of life for residents of no.48 Alma Street.
- Proposals would take light and cause a sense of enclosure
- Giant rooflight will be intrusive and emanate artificial light which will be unpleasant for everyone living around it particularly in dark winter evenings
- The excessive protrusion of the GF and FF extensions would cause light pollution to ground and first floor extensions of no.46.
- First floor extension is not in keeping with the existing extensions and would have a detrimental effect on the light for 46,48,49 Alma St

Officer response: Please refer to 'Amenity' section of report.

	<p><u>Other</u></p> <ul style="list-style-type: none">• The sedum roofs, even if the plants were to thrive, in no way compensate for such loss as they do not offer the same habitat as garden. <p><i>Officer response: Please see paragraph 3.13 of report.</i></p>
Local Group comments:	<p>No responses received from local groups including the Kentish Town Neighbourhood Forum.</p> <p><i>n.b. There is no Inkerman Conservation Area Advisory Committee</i></p>

Site Description

The application site refers to a modest two storey (plus roof extension) mid-terrace house on the north side of Alma Street in use as a single family dwelling house. The prevailing character of the surrounding area is residential with the majority of the buildings built in the 1850s and 1860s.

The site is located in the Inkerman Conservation Area. It is not listed but is identified as making a positive contribution to the conservation area.

The site is also situated in the Kentish Town Neighbourhood Plan area.

Relevant History

Application site

31265 – Extension to the second floor of existing residential accommodation - **Permission 10/12/1980**

Other relevant properties:

51 Alma Street

2019/0756/P - Erection of ground and first floor extensions to the rear. **Granted 18/04/2019**

45 Alma Street

2009/5600/P - Erection of single storey infill extension at ground floor level and erection of first floor extension to rear of single family dwelling house (Use Class C3) – **Granted 27/04/2010**

46 Alma Street

2015/3838/P - Erection of a part single, part two storey rear extension. **Refused 25/08/2015** for the following reason:

- The proposed 1st floor rear extension, by reason of its height, width, bulk and detailed design, would be detrimental to the character and appearance of the host building and the wider Inkerman Conservation Area

Subsequently Allowed on appeal on 13/02/2016

49 Alma Street

2010/0734/P - Alterations and extensions including erection of a part single, part two storey rear extension to existing dwelling (Class C3) – **Refused 05/05/2010 on the following grounds:**

- The proposed first floor extension, by reason of its scale, position, bulk and roof design, would be detrimental to the character of the building, the wider terrace and the character and appearance of the wider Inkerman Conservation Area.
- The proposed first floor extension, by reason of its proposed height and depth, would have a detrimental impact on the levels of sunlight and daylight and outlook received by the first floor window on the rear elevation of no. 50 in comparison to the existing situation.

Subsequently Allowed on appeal on 23/09/2010

Relevant policies

National Planning Policy Framework (2021)

The London Plan (2021)

Camden Local Plan (2017)

A1 - Managing the impact of development

D1 - Design

D2 – Heritage

Camden Planning Guidance

CPG Home improvements (2021)

CPG Amenity (2021)

Kentish Town Neighbourhood Plan 2016

Policy D3 – Design principles

Inkerman Conservation Area Statement 2001

Assessment

1. Proposal

1.1. Planning permission is sought for the following works:

- Ground floor full width rear extension (2.1m (w) x 3.1m (h) x 5.7m (d)) following demolition of existing closet wing with rooflights and sedum roof
- Part width first floor rear extension (3.2m (w) x 2.9m (h) x 3.7m (d)) with rooflights and sedum roof
- Replacement windows to existing second floor extension

1.2. During the course of the application, the first-floor extension was reduced in depth from 4.3m to 3.7m to match the depth of the first floor extension at no.46.

2. Assessment

2.1. The planning considerations material to the determination of this application are as follows:

- Design and conservation
- Amenity

3. Design and conservation

3.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. Policy D1 (Design) states that all development should consider the character, setting, context and the form and scale of neighbouring buildings whilst Policy D2 (Heritage) states that within conservation areas, the Council will only grant permission for development that 'preserves and enhances' its established character and appearance.

3.2. Policy D3 (part c) of the Kentish Town Neighbourhood Plan (2016) requires proposals to identify and draw upon key aspects of character, or design cues from the surrounding area. Appropriate design cues include grain, building form (shape), scale, height and massing, alignment, modulation, architectural detailing, materials, public realm and boundary treatments.

3.3. The Inkerman Conservation Area statement warns that extensions can adversely affect the architectural integrity of the host building such that the character of the Conservation Area is prejudiced, and so they should be as unobtrusive as possible. It goes on to say that extensions should be in harmony with the original form and character of the house and the historic pattern of extensions within the terrace or group of buildings.

Ground floor extension

3.4. The additional massing at ground floor level would infill the area between the existing closet wing and the boundary with no.46 creating a full width extension that extends to the same depth as the existing closet wing.

3.5. Whilst it would exceed the depth of the full-width ground floor extension at no.46, it would match the building line of other full width extensions at no's. 49 and 51 Alma Street. Therefore, it is not considered to be disruptive to the pattern of rear development at ground floor level.

3.6. The extension would be constructed in matching London stock brick and comprise a large linear rooflight and a smaller single rooflight to bring light deep into the ground floor plan. This is a typical feature of extensions of this nature. The rear elevation would have large glazed sliding doors and a single window. The detailed design is considered to be acceptable for this low level and non-prominent location on the building.

3.7. The extension would leave sufficient garden space with the area being given over to built form one of hard standing that is shaded by surrounding buildings. It therefore holds little amenity or biodiversity value in its present state.

First floor extension

3.8. The property currently has no extension at first floor level unlike the vast majority of properties along the rest of the terrace. As such, the principle of an extension in this location is acceptable but dependent on scale, form and detailed design.

3.9. At a depth of 3.7m and a width of 3.2m, the proposed first floor extension (as revised) would match the first floor rear extension at no.46 Alma Street. The proposed extension would also match its height of 2.9m, creating a symmetrical pair in terms of massing.

3.10. It is noted that the proposed first floor element is less deep than the recently approved rear extension at number 51 Alma Street (ref. 2019/0756/P). Officers thought it appropriate to match the depth of the neighbour's extension from both a design and amenity perspective (see detailed discussion in later section).

3.11. The first-floor extension would be of brick construction and comprise a window facing the garden, a smaller north-west facing window and a modest rooflight. The windows would be aluminium framed, distinguishing the extension as a modern addition. This is considered to be an appropriate style and amount of glazing for this level on the building and would respect the solid to void ratios of similar extensions along the terrace.

Second floor extension

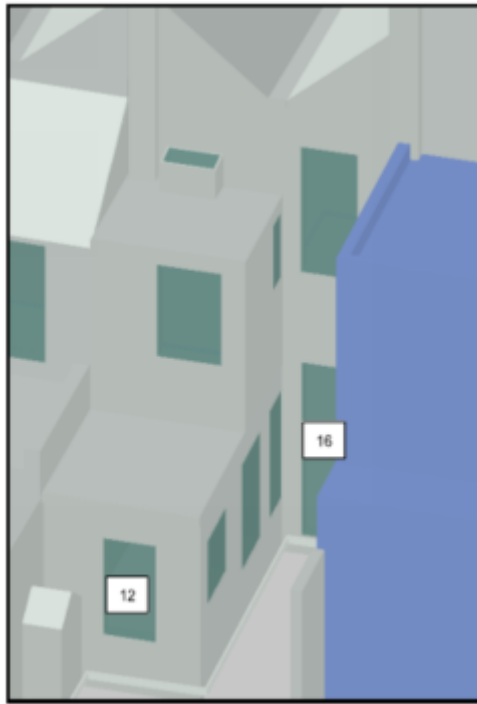
3.12. The alterations to the modern roof extension do not increase its visibility or general scale and replace unsympathetic glazing with equally unsympathetic glazing. Without a more substantial

reconfiguration of this extension, there is limited scope to improve its appearance. The rooflight to the existing flat roof would not be visible from ground level.

- 3.13. There would be no loss of garden space or permeable / biodiverse area associated with the proposal as the ground floor extension would extend over an area of existing hard standing (see photos). Green roofs would be installed over the new flat roofs to improve the drainage and biodiversity credentials of the site. Details, including substrate depth and a maintenance plan, would be secured by condition.
- 3.14. Overall, the proposals as revised are not considered to be of excessive bulk or mass and the scale of the works overall is commensurate with other extensions on the terrace. The material palette would be sensitive to the context. The works would have no public visibility. A conservation officer has reviewed the application and considers the proposals to preserve the significance of the conservation area. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

4. Amenity

- 4.1. Policy A1 of the Camden Local Plan seeks to ensure that development does not cause adverse amenity impacts upon neighbours, in terms of loss of light, outlook and overlooking.
- 4.2. A daylight and sunlight assessment has been submitted that examines the impact on no's 46, 48 and 49 Alma Street and 6 Raglan Street. It is noted that the assessment is based on the scheme prior to the reduction in depth of the first floor extension and the reduction can only have improved the results. It uses the typical methodologies of Vertical Sky Component (VSC) and Annual Probable Sunlight Hours (APSH) to assess the impact on daylight and sunlight respectively. BRE guidance considers that daylight may be adversely affected if, after development the VSC is both less than 27% and less than 0.8 times its former value. Sunlight availability may be adversely affected if the centre of the window: receives less than 25% of annual probable sunlight hours, or less than 5% of annual probable sunlight hours between 21st September and 21st March and; receives less than 0.8 times its former sunlight hours during either period; and has a reduction in sunlight received over the whole year greater than 4% of annual probable sunlight hours.
- 4.3. The assessment also tests overshadowing of gardens. The BRE guide recommends that at least 50% of the area of each amenity space listed above should receive at least two hours of sunlight on 21 March. If as a result of new development an existing garden or amenity area does not meet the above, and the area which can receive two hours of sunlight on 21 March is less than 0.8 times its former value, then the loss of light is likely to be noticeable.
- 4.4. The assessment reveals that all windows tested would meet the BRE guidance with the exception of three windows at 48 Alma Street. Two of the three windows serve the same room which is also served by a third window which would be unaffected by the proposal (window 12 on image below). As a result, the daylight distribution test which looks at the amount of daylight received by a room, would remain very good retaining 90% and a before/after ratio of 0.93 (compared to the 0.8 stipulated by BRE guidance). The remaining window (window 16 on image below) would experience a before/after ratio of 0.72 (compared to the recommended 0.8) which is not considered to be too significant. From planning records, the affected window serves a living room but is one of two reception rooms with the other at the front of the property benefiting from unobstructed daylight and outlook. Furthermore, the impact on this window is likely to have been improved by the reduction in depth of the first floor extension. On balance, the impact is considered to be acceptable.



48 Alma Street

4.5. All windows with a requirement for sunlight pass both the total annual sunlight hours test and the winter sunlight hours test. The proposed development therefore satisfies the BRE direct sunlight to windows requirements.

4.6. All gardens and open spaces tested meet the BRE recommendations with the exception of garden 1 at 46 Alma Street. This garden would lose 11% of the sunlight (marked in red on the image below) it currently received on 21st March, a ratio of 0.6, resulting in 17% (compared to 28% before the development) receiving that level of sunlight. As the garden is relatively small and enclosed by buildings and boundary treatment, the level of sunlight received is already low and well below the recommended 50% at present. Therefore, any impact - even if in absolute terms quite minor - is going to affect the ratio more significantly. It is worth mentioning that the impact is likely to have been lessened by the 0.6m depth reduction.



4.7. In privacy terms, the only window that would result in overlooking is a side elevation window on the first floor extension. This would be obscure glazed which would be secured by condition.

4.8. The rooflights are not considered to be excessive in size or number for an extension of this nature. Given they would be located at ground floor level and close to the house (as opposed to deeper into a garden) where there are other light omitting windows, the proposals are not considered to result in an unacceptable level of light pollution.

5. Conclusion

5.1. Grant Conditional Planning Permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 24th July 2023, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2023/1971/P
Contact: Kristina Smith
Tel: 020 7974 4986
Email: Kristina.Smith@Camden.gov.uk
Date: 18 July 2023

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk

Llowarch Llowarch Architects
74
Camden Mews
London
NW1 9BX

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
47 Alma Street
London
Camden
NW5 3DH

DECISION

Proposal:

Erection of ground floor and first floor extensions and alterations to existing fenestration
Drawing Nos: LA01; EX_GA01; EX_GA02; EX_GA03; EX_GA04; EX_GA05; EX_GA06;
EX_GA07; EX_GA08; EX_GA09; PR_GA01rC; PR_GA02rC; PR_GA03rB; PR_GA09rC;
PR_GA07rB; Daylight and sunlight assessment (prepared by Right of Light consulting,
dated 15 May 2023); Design, access and heritage statement (prepared by Llowarch, dated
15/05/23)

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: LA01; EX_GA01; EX_GA02; EX_GA03; EX_GA04; EX_GA05; EX_GA06; EX_GA07; EX_GA08; EX_GA09; PR_GA01rC; PR_GA02rC; PR_GA03rB; PR_GA09rC; PR_GA07rB; Daylight and sunlight assessment (prepared by Right of Light consulting, dated 15 May 2023); Design, access and heritage statement (prepared by Llowarch, dated 15/05/23)

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 of the London Borough of Camden Local Plan 2017 and policy D3 of the Kentish Town Neighbourhood Plan 2016.

- 4 Prior to the occupation of the development hereby permitted, all windows on the east elevation of the building, as labelled on drawing no. PL-07 (Rev B), shall be fitted with obscure glass and, where applicable, be inward opening comprising a restrictive mechanism to prevent views out. The windows shall be retained as such for the duration of the development.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with policy A1 of the Camden Local Plan 2017.

- 5 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include:
- i. a detailed scheme of maintenance
 - ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used [for large areas of green roof add in : and showing a variation of substrate depth with peaks and troughs]
 - iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

- 6 No roof on the development shall be used as a roof terrace, sitting out area or other amenity space.

Reason: To protect the amenity of adjoining occupiers and the area in accordance with policies A1, D1 and D2 of the Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer