

Note: works listed below have already been approved under the Planning and Listed Building Consent ref. 2022.3105.P and 2022.3599.L

Revised scope of lantern roof repairs

3no sides of the Lantern Roof have been patched a number of times and covered in a bitumen-like coating. The existing roof slates show signs of delamination and nail fatigue at fixing location generally in these areas where leaks have been identified internally.

It is proposed to replace the existing dilapidated roof slates to 3no sides of the lantern roof with new slates to match, replace the breathable roofing membrane and any rotten timber battens underneath where water ingress have occurred.

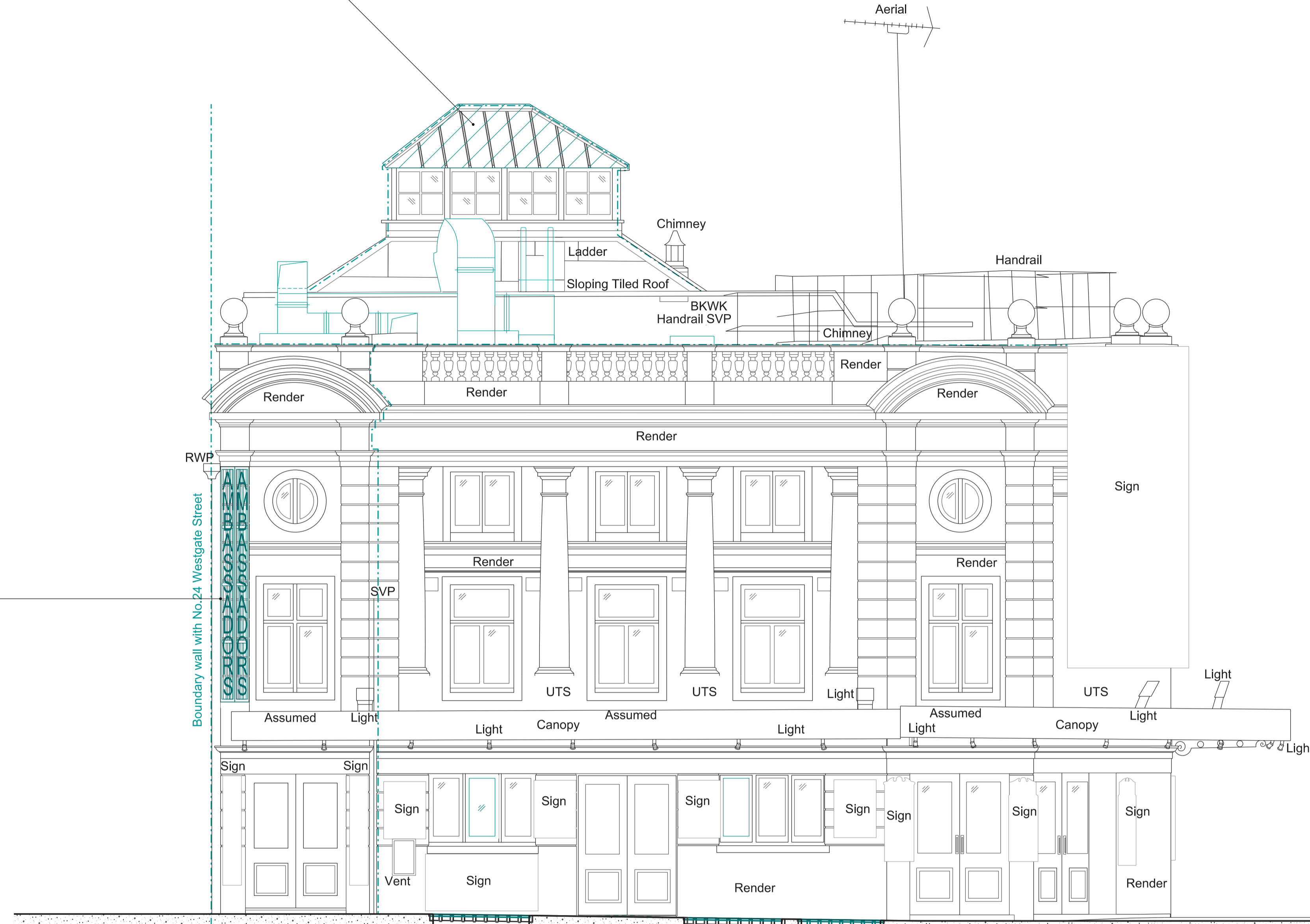
The existing slates will be salvaged and reused where possible.

The proposed roof repairs will also give the opportunity to inspect the underlying timbers/structure and ensure that this is protected from further water ingress over a period of time.

Broken Georgian glass panels will be carefully removed, the fixing channels/rebates cleaned and new "like for like" Georgian wire glass installed and sealed

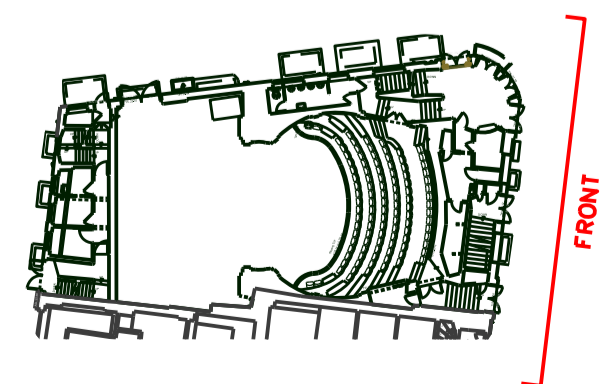
New M+E roof equipment behind second floor parapet

New lightning system to follow existing rain water pipes route



New proposed illuminated sign above existing canopy

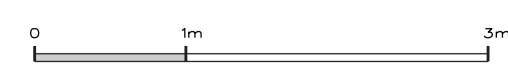
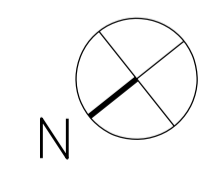
Key
 Existing
 Proposed



THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS

THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS

THE DRAWING AND THE WORKS DEPICTED ARE THE COPYRIGHT OF THIS PRACTICE AND MAY NOT BE REPRODUCED EXCEPT BY WRITTEN PERMISSION



Rev:	Date:	Description
D	24/07/23	Advertisement and listed building consent application
C	15/11/22	Planning - Additional works to 2022.3105.P and 2022.3599.L
B	20/09/22	Planning
A	13/07/22	Planning
/	17/06/22	Planning

Job: 2201 Ambassadors Theatre
 Client: Ambassador Theatre Group

Drawing: Proposed Front Elevation
 Drawing no: 2201-3-300
 Rev: D
 Status: Stage 3
 Scale: 1:50@A1, 1:100@A3
 Date: 24/07/23

citizensdesignbureau
 Ground Floor Units 01 & 03, 6 Westgate Street, London, E8 3RN
 t : 02030959732
 e : everyone@citizensdesignbureau.net