

**DESIGN AND ACCESS STATEMENT**

# **26 BELSIZE GROVE**

**KAS Architects**

**July 2023**

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- 3.1 Planning and Heritage Policy Compliance

# 1

## Introduction & Background

Introduction  
Site and Surrounding  
Description  
Planning History



# Introduction

## 1.1 Introduction

This document has been prepared on behalf of our client Jonathan Magid and Alisa Pomeroy. This document is intended to support a householder planning application for a garden outbuilding at 26 Belsize Grove. The existing building is Grade II listed. However, the proposal is situated at the rear end of a 22m-deep garden and therefore does not affect the listed building. As a result, a Listed building application has not been made. The client is a freeholder of the property.

The client wishes to create a much needed dedicated office space as both parents permanently work from home in a household of 5. In addition, the space will also be used for their kids to practice musical instruments. As a result, the space has been designed to be flexible and useable over multiple uses. The proposal extends the utility of the home to an area at the back of the garden that is not used due to the significant depth of the garden.

This document will describe the design considerations of the proposal and demonstrate compliance with the relevant national and local planning policy.



Rear garden view from ground floor of 26 Belsize Grove



Hard landscaping to rear area of rear garden

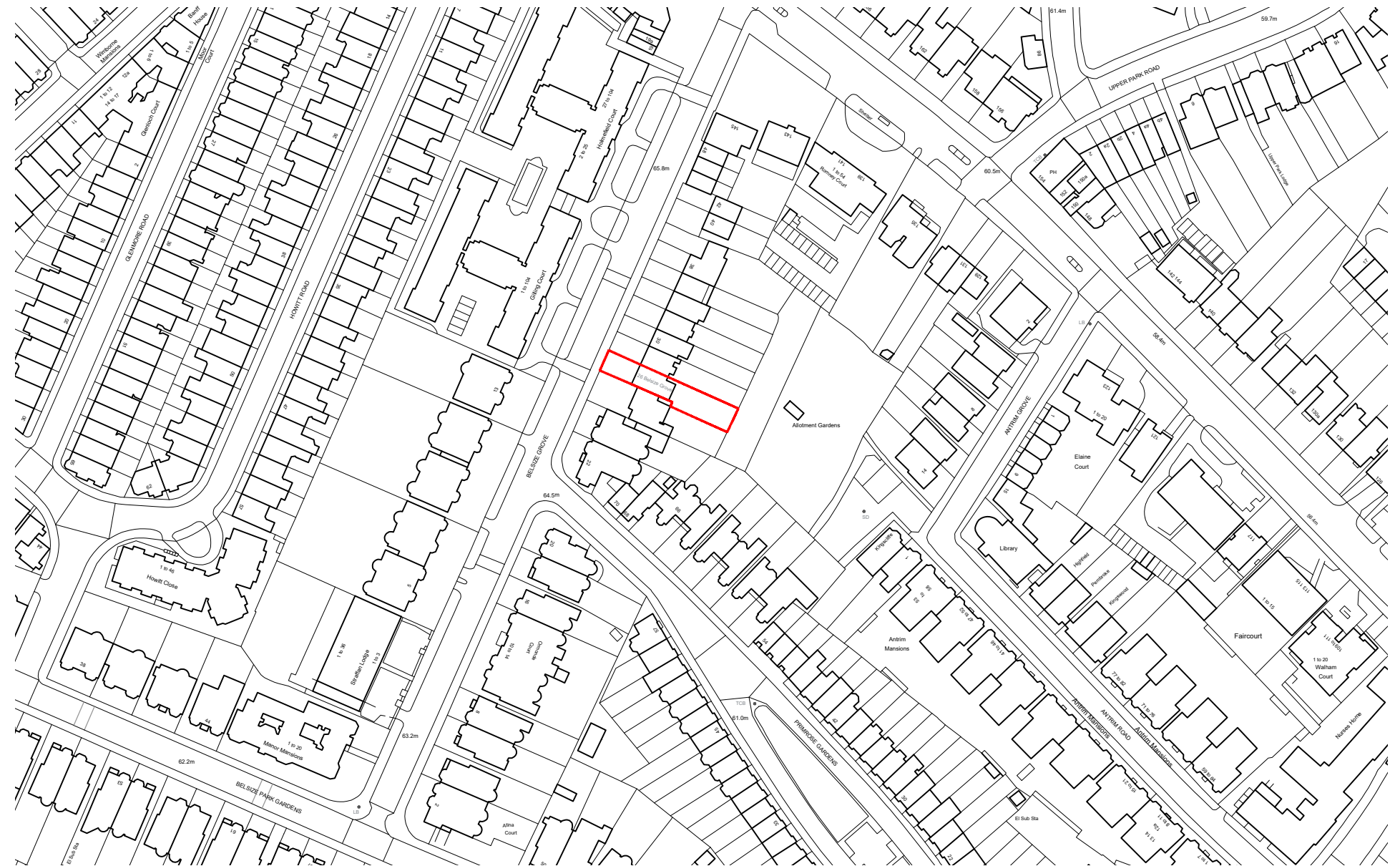



## 1.2 Site and Surrounding

The property is situated on Belsize Grove within the Belsize Park Conservation Area. The house is an end of terrace property that was built by George Grane between 1825 and 1826 and was originally known as the Haverstock Terrace. The site is a close walking distance to Haverstock Hill and Belsize Park Underground Station.

The property is comprised of a lower ground floor, ground, first and second floor. Direct access to the garden is from the recently extended lower ground floor. The ground floor also has stair access to the garden therefore there is good accessibility to the garden.

The rear end of the garden is currently laid in sand stone pavers and raised plant beds. The hard-landscaped area is 280mm lower than the rest of the garden. Two steps lead to the lower part of this rear garden while mature bushes mostly hide this part of the garden. The proposal seeks to keep the alignment of these bushes in order to create a hidden garden studio at the end of the garden.



Location Plan. NTS. 



1.3 Description

The following images depict the rear garden area. There are three trees at the back of the garden that have been planted by the client in the last 5 years. None of the trees in the garden have a TPO as advised by Camden’s Tree and Landscape department. An arboricultural report has been completed in relation to the proposed outbuilding.

With regards to the arboricultural report, a Himalayan Birch tree is ‘almost dead’ and in ‘very poor’ condition as is proposed to be removed. Another Himalayan Birch to the rear of the garden is proposed to be removed in order to accommodate the outbuilding. These are known as T2 and T3 on the arboricultural report. The remaining trees will all be retained, including the 16m high Lime tree shown to the right of image 1.



Image 1.  
View towards rear garden showing the tall Lime tree to the right and tall bushes in front.



Image 2.  
The rear garden area is paved in sand stones with surrounding raised plant beds. The rear garden area is 280mm lower than the main garden level.





Image 3.  
View of boundary wall adjoining neighbour no.28 from the rear of the garden.



Image 4.  
View of rear elevation of house from the rear garden.



Image 5.  
The rear boundary wall adjoins an allotment.



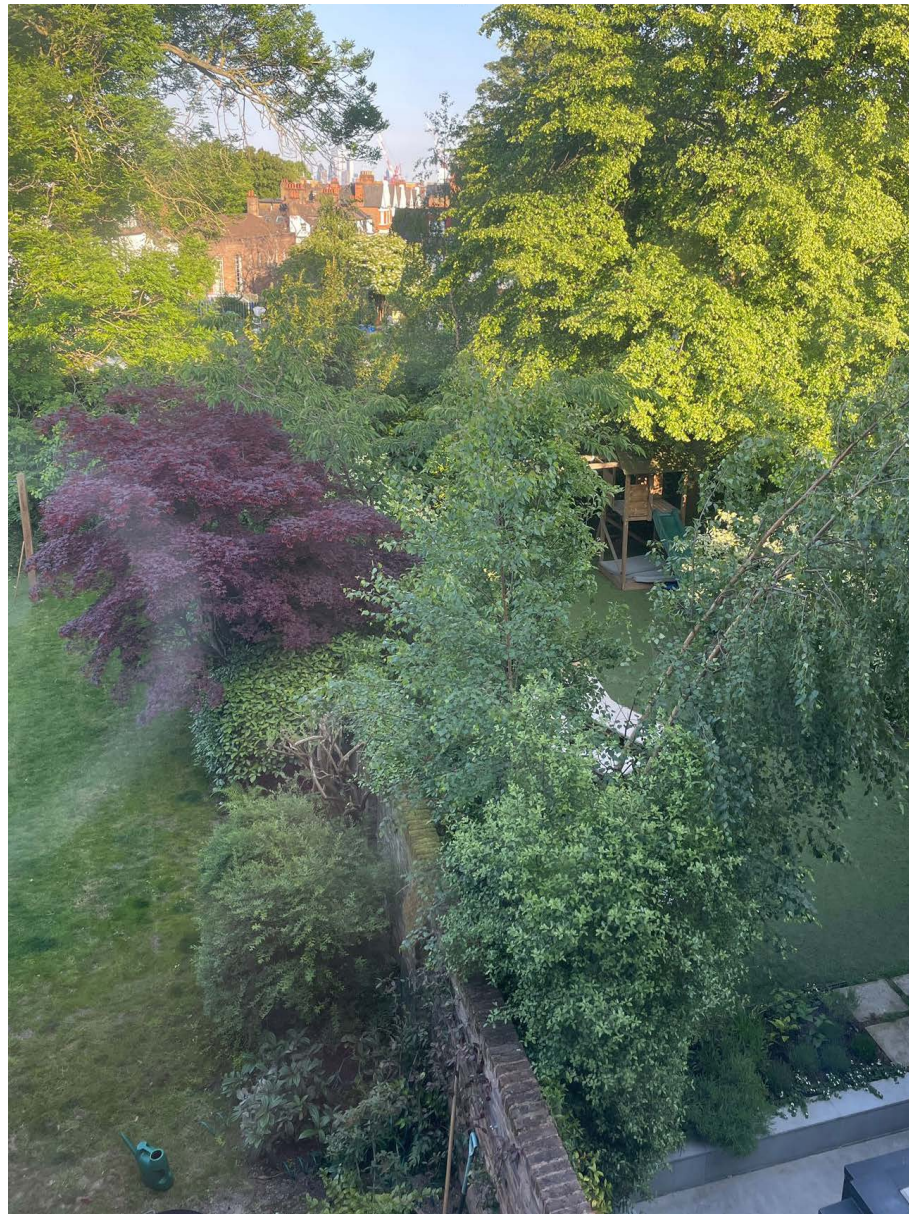


Image 6.  
View from adjoining neighbours window on no. 28 Belsize Grove. There is substantial foliage along the boundary wall that provides privacy between the two gardens.



Image 7.  
The recently built extension is a largely glazed and modern design.



#### 1.4 Planning History

1. 2018/1571/T

Front Garden: 1 x Lime - Remove

Status: No Objection to Works to Tree(s) in CA

2. 2017/3857/T

Rear Garden: 1 x Robinia - Fell

Status: No Objection to Works to Tree(s) in CA

3. 2017/3459/P

Removal of pebble dash render to side elevation, replaced with stucco finish to match front elevation.

Status: Granted

4. 2017/2985/L

Removal of pebble dash render to side elevation, replaced with stucco finish to match front elevation

Status: Granted

5. 2017/2988/L

Installation of 4 flush level roof lights to inner pitch of main roof

Status: Withdrawn

6. 2016/4627/P

Installation of 3 roof lights on main roof:

Status: Withdrawn

7. 2016/4607/L

Erection of single storey rear extension at lower ground floor level, installation of external garden access stairs and internal alterations including removal of partition walls and lift

Granted

8. 2016/4301/P

Erection of single storey rear extension at lower ground floor level and installation of external garden access stairs

Status: Granted

9. 2015/6471/L

Erection of single-storey lower ground floor extension following partial demolition of lower ground facade, alterations to the rear ground floor level balcony, installation of interconnecting doors between rooms at ground floor level, removal of lift, reinstatement of original staircase to first and second floor levels, alterations to the layout at first and second floor, and reinstatement of original style timber door and timber windows to the ground floor front facade.

Status: Granted

10. 2015/5480/P

Erection of single-storey lower ground floor extension, alterations to the rear ground floor level balcony, and reinstatement of original style timber door and timber windows to ground floor front facade.

Status: Granted

11. 2015/3056/T

Rear Garden: 1x Oak - Remove 1 x 7in diam branch over lawn at height 2m above ground.

Status: No Objection to Works to Tree(s) in CA

12. 2014/1518/T

Rear Garden: 1 x Lime - Lift to 5m above ground level. Prune out crossing branches from within the canopy.

Status: No Objection to Works to Tree(s) in CA

13. TP9806436

Fell one dying tree in front of property

Status: Approve works (TPO) - with conditions

14. TP9601351

To remove and replace 3 substantial lime trees

Status: Approve works (TPO) specified by Council



# 2

## PROPOSAL

Massing and Volume

Layout

View Towards Principal Elevation

Schedule of Precedents

Sustainability

Access & Amenity

Landscape and Foliage

Design Team



# PROPOSAL

## 2.1 Massing and Volume

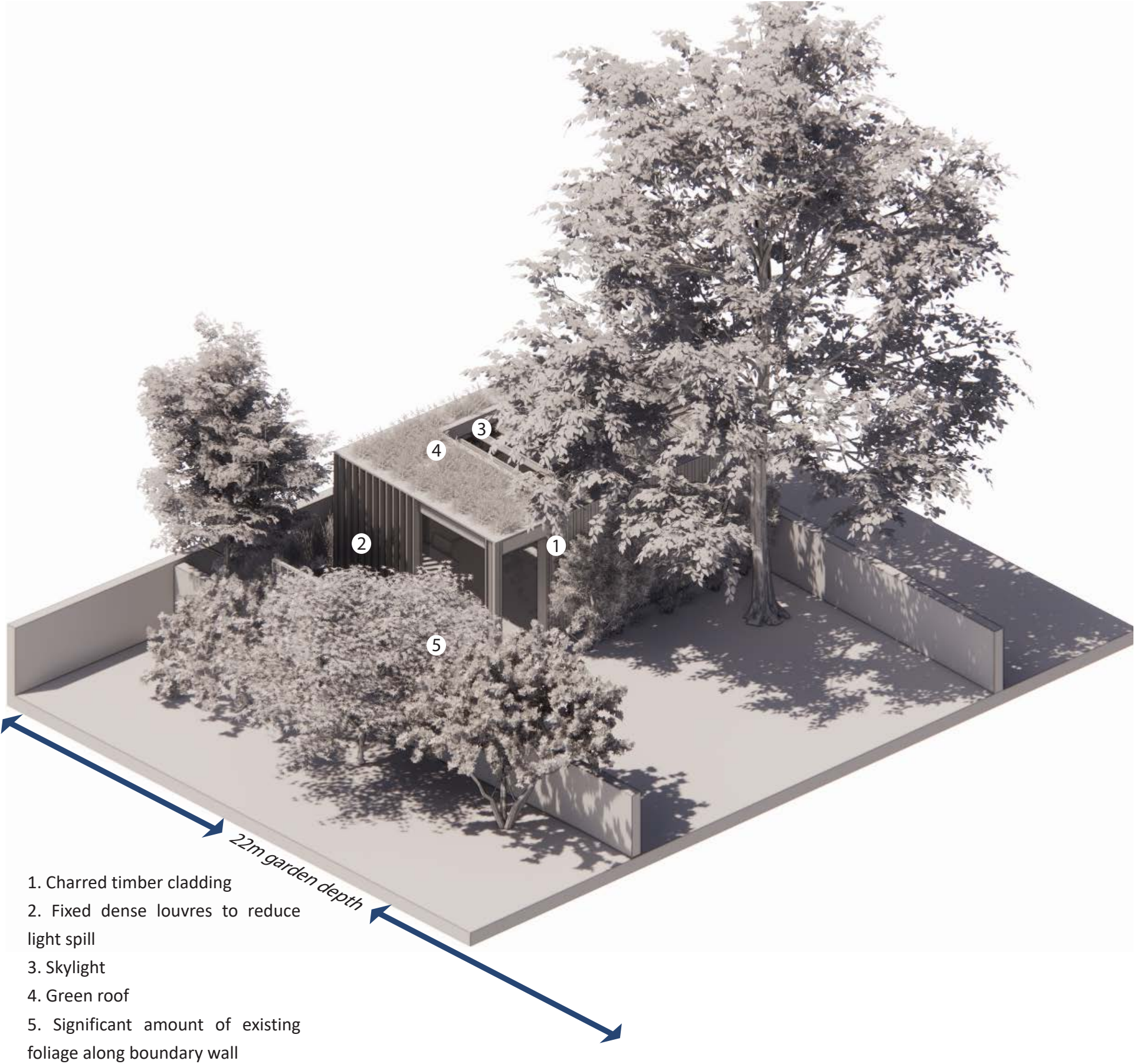
The proposal seeks to create a family space at the rear of the garden. The space has been design to be flexible to accommodate uses such as a home office, gym and music practice area. The principal elevation that faces the house has been design to have minimal fenestration in order to maximise privacy into the garden room as well as minimise light pollution towards the adjoining neighbours.

The massing of the garden room has been designed to be situated within an existing hard-landscaped area of the garden. This means that there is no reduction of any green landscape.

The materiality of the garden room is externally clad in charred timber. This frames the garden room amongst an existing composition of trees at the rear garden and is therefore a considered an appropriate material. The main entrance into the garden room is on the north-east elevation where glazing is full-height and provides views of the boundary wall beyond. This allows the rear brick boundary wall to appear as continuous and unobstructed into the garden room. This also allows the garden room to appear to have less bulk and more elegance.

The garden room also includes a large skylight to the rear of the space. This allows for the framing of the large lime tree above where the skylight is situated under. The skylight is large in order to introduce light into the space out of the fact that there is a lack of windows on the western elevation in order to respect privacy to neighbours and offset the massing when viewed from neighbouring higher floors. This skylight will include blackout blinds to minimise light pollution to neighbours. The garden room also includes a window facing the allotment. This window allows the space to be ventilated naturally.

There is a new raised paving area to the front of the garden room entrance. This landscape area is currently 280mm lower than the main garden level, therefore this will create a level threshold throughout the majority of the garden and also allow a level access into the proposed garden room.



- 1. Charred timber cladding
- 2. Fixed dense louvres to reduce light spill
- 3. Skylight
- 4. Green roof
- 5. Significant amount of existing foliage along boundary wall



2.2 Layout

The layout has been designed to accommodate multiple uses such as a home office, gym and a music practice room. A dedicated home office is much needed as both parents work from home permanently. The garden room enables the rear of the garden to extend the utility of the house in an otherwise disused area of the garden. The proposal seeks to revitalise the rear of the garden and turn it into a destination space.

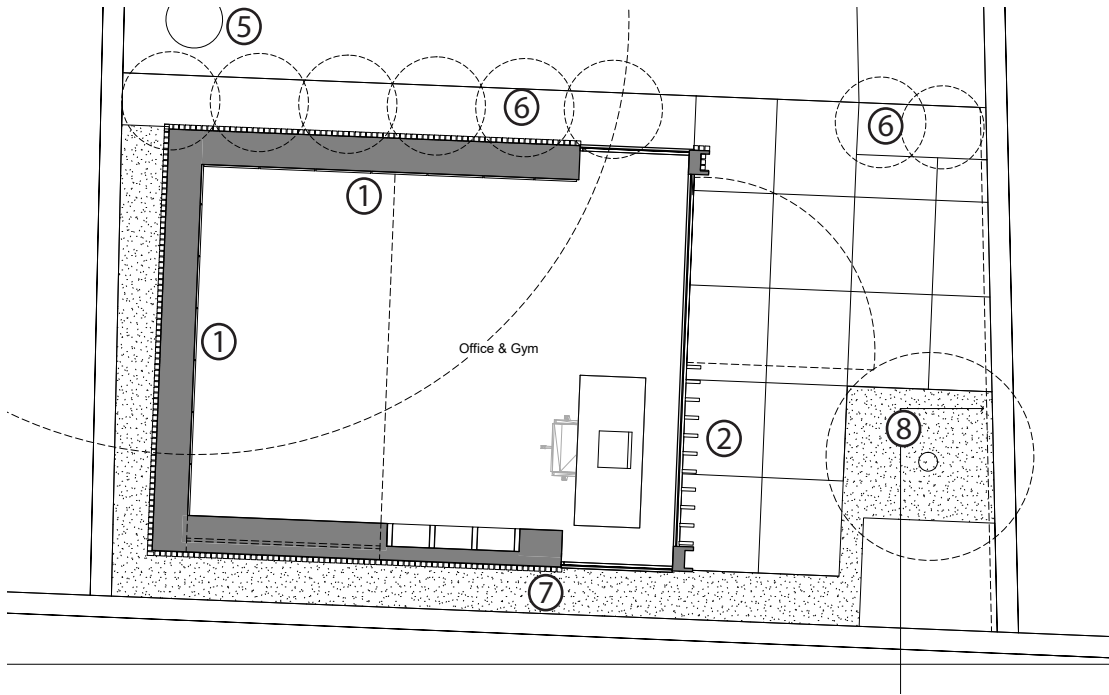
The ground floor is accessed through the north-east elevation through glazed doors. The structural timber joists are exposed to create shelving and storage space. Acoustic insulation wall panels are to be used as an internal lining to provide acoustic isolation for adjoining neighbours.

There is a window facing the allotment for additional daylight, while the large roof light frames views of the 16m high mature lime tree above.

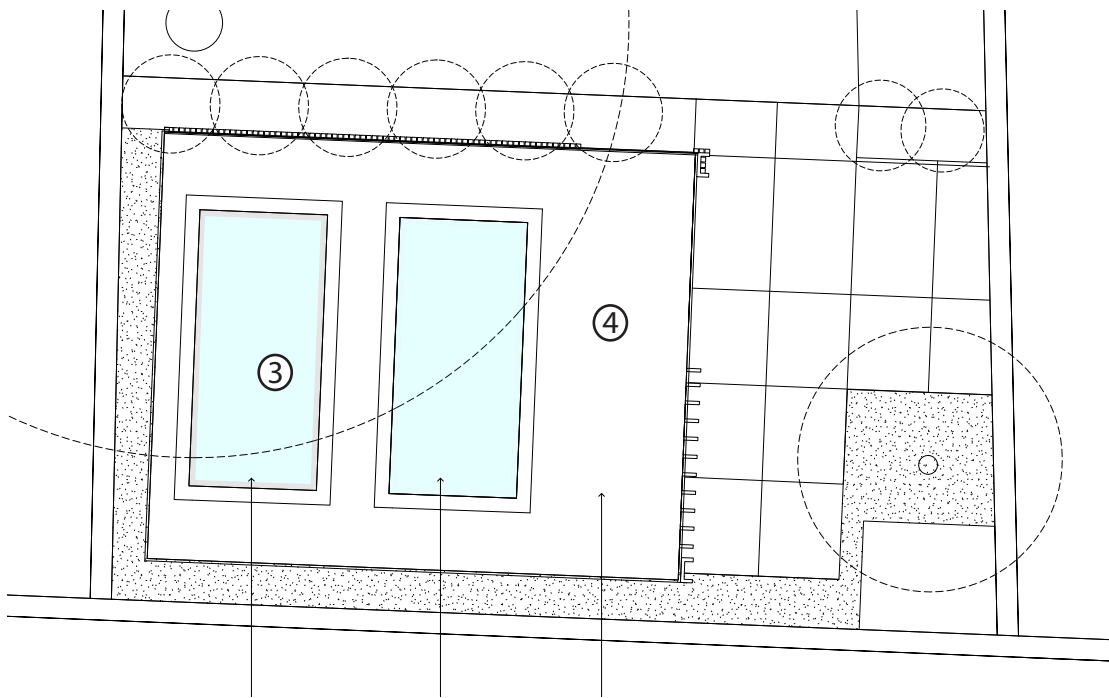
The garden room is situated behind tall mature bushes that are aligned linearly parallel to the west elevation of the garden room. The bushes are proposed to be retained to create a discrete garden room at the back of the garden.

The garden room is situated 16.7m away from the recently built extension, therefore it can be regarded as not affecting the listed building.

- 1. Acoustic insulation wall panels
- 2. Permeable paving on adjustable pads
- 3. Skylight
- 4. Green roof
- 5. Lime tree
- 6. Existing bushes to be retained to provide privacy to neighbours
- 7. Perimeter planting area
- 8. Bay Laurel tree

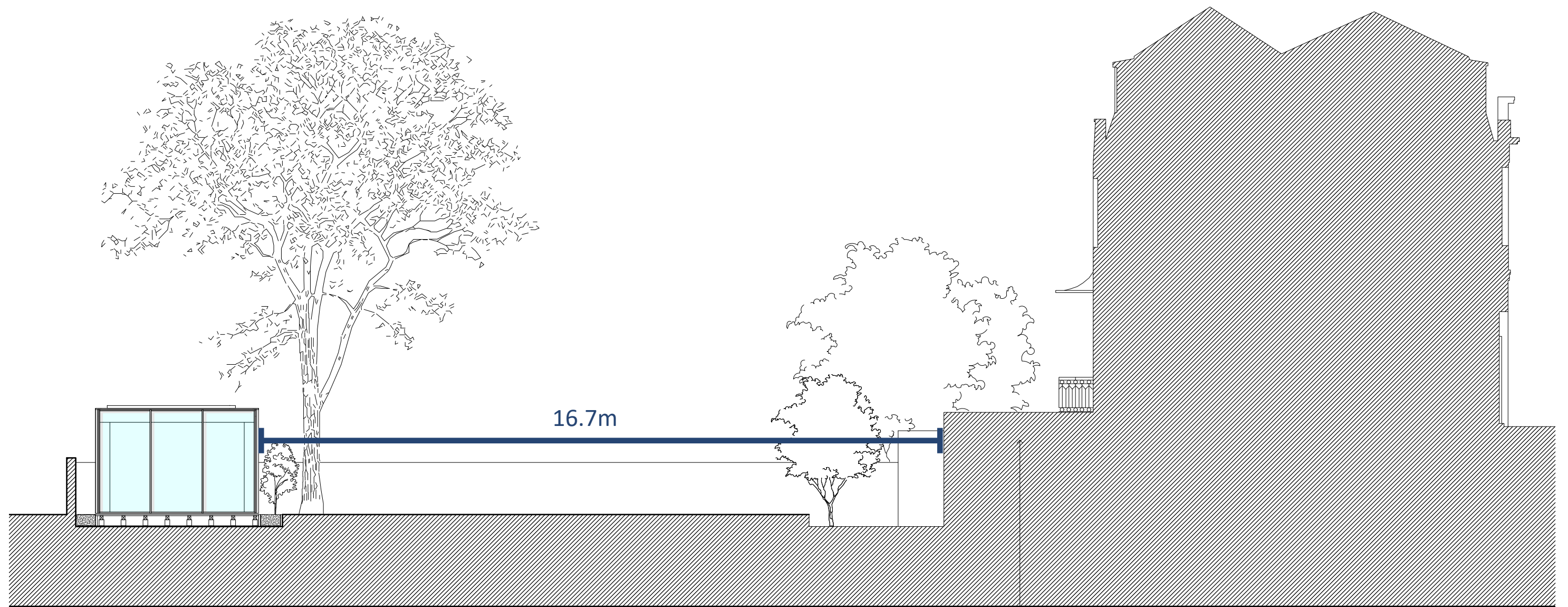


Proposed Ground Floor Plan

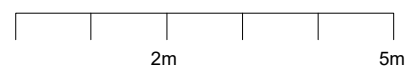


Proposed Roof Plan





Approved extension  
2016/4607/L  
2016/4301/P



Long site section



2.3 View Towards Principal Elevation

- 1. Raised permeable sand stone pavers on adjustable pads.
- 2. Fixed glazing to reveal view of boundary wall beyond.
- 3. Existing bushes to be retained.
- 4. Charred timber cladding.
- 5. 16m tall Lime tree.
- 6. Existing boundary fence.
- 7. Curtains to protect neighbouring privacy.
- 8. Existing large adjacent trees and foliage provide natural privacy protection to adjoining neighbour no.28.





2.5 Schedule of precedents

The following includes a schedule of precedents of rear garden outbuildings. This includes adjoining neighbours as well as a selection of approved outbuildings within Belsize Park conservation areas.

1. 2007/6429/P  
Erection of timber summerhouse in the rear garden  
Status: Granted

*Note: This adjoining neighbour’s application was approved with a 3.35m high pitched roof, noticeable higher than the proposed outbuilding at 26 Belsize Grove.*

2. 2021/3035/P  
Erection of a single storey rear extension with associated roof terrace and the erection of a single storey outbuilding.  
Status: Granted

3. 2010/4356/P  
Erection of single storey studio at rear of property.  
Status: Granted

*Note: This particular garden outbuilding is very large at 6.5m x 4.5m and 3m high.*

2.6 Sustainability

This project has been conceived with an awareness building sustainability. Both the applicant, and the agent, KAS Architects are committed to realising an exemplar project of sustainable design. New planned elements will be constructed utilising modern construction methods and in accordance with current Building Regulations. Sustainable materials such as timber will be used for the garden building. Modern materials and techniques will guarantee high quality of build is provided, with minimal building time to ensure minimal discomfort to the neighbours.

2.7 Access & Amenity

The garden room can be accessed via the lower ground floor and ground floor of the listed building. A lowered area of the rear garden will be raised to be level with the rest of the garden area.



2.8 Landscape and Foliage

There will be minimal reduction of green space, as the current area of the rear garden is paved in sand stone pavers. The proposal seeks to introduce a 0.5m perimeter gap around the garden studio for planting.

There are two trees that are proposed to be removed. One is considered ‘almost dead’ as per the accompanied arboricultural report, whereas another is being removed in order to accommodate the family space at the back of the garden.

2.9 Design Team

KAS is a London-based RIBA registered architecture and design studio, dedicated to the creation of sustainable buildings and places. The practice is committed to the delivery of well-conceived and thoughtfully detailed architecture. Our projects cover all scales of development and building types, creating spaces to live, to work and learn.

The practice was founded in 2020 by Mirsad Krasniqi, who has over 10 years experience working on award winning residential, cultural and educational projects for practices such as Henley Halebrown Architects, John McAslan + Partners, Allies and Morrison and Hopkins Architects.

More information available on our website:  
[www.kasarchitects.com](http://www.kasarchitects.com)  
020 8057 4567



## PLANNING AND HERITAGE POLICY COMPLIANCE



### 3.1 Planning and Heritage Policy Compliance

In addition to National Planning Policy, the proposal has also been assessed using the Local Plan Policy D1 (Design) and Policy D2 (Heritage).

Policy D1 refers to general design principles and requires development to be of high quality, which respects local context and character and preserves or enhances heritage assets. Policy D2 relates specifically to proposals which affect listed buildings and conservation areas and requires that development preserves and where appropriate enhances these designated heritage assets. The Council will resist proposals that cause harm to the special architectural and historic interest of listed buildings or their settings. The current proposals are considered to fully comply with policies D1 and D2.

In this case the proposals have been sensitively conceived and formulated to be respectful to the character of the listed building and the conservation area. We consider the outbuilding to be subordinate within the garden space and would not result in harming the character and appearance of the host building or conservation area in line with D1 and D2 of the Camden Local Plan.

#### **Scale and Appearance**

The garden is currently 22m deep. With the addition of the garden studio, this leaves an effective depth clearance of 16.7m which is generous and proportional to the footprint of the listed building. In addition to this, the garden outbuilding has a perimeter gap of 0.5m. This reduces the perceived bulk along the boundary lines as seen from adjoining neighbours, as well as leaving a perimeter planting area to contribute to biodiversity. The proposed outbuilding will not be visible from Belsize Grove. The siting of the garden room behind tall bushes and a mature tree means that the garden room will also largely be concealed from view as seen from 26 Belsize Grove as well as adjoining neighbours. Blackout blinds for the skylight are proposed to eliminate light pollution in the evenings.

