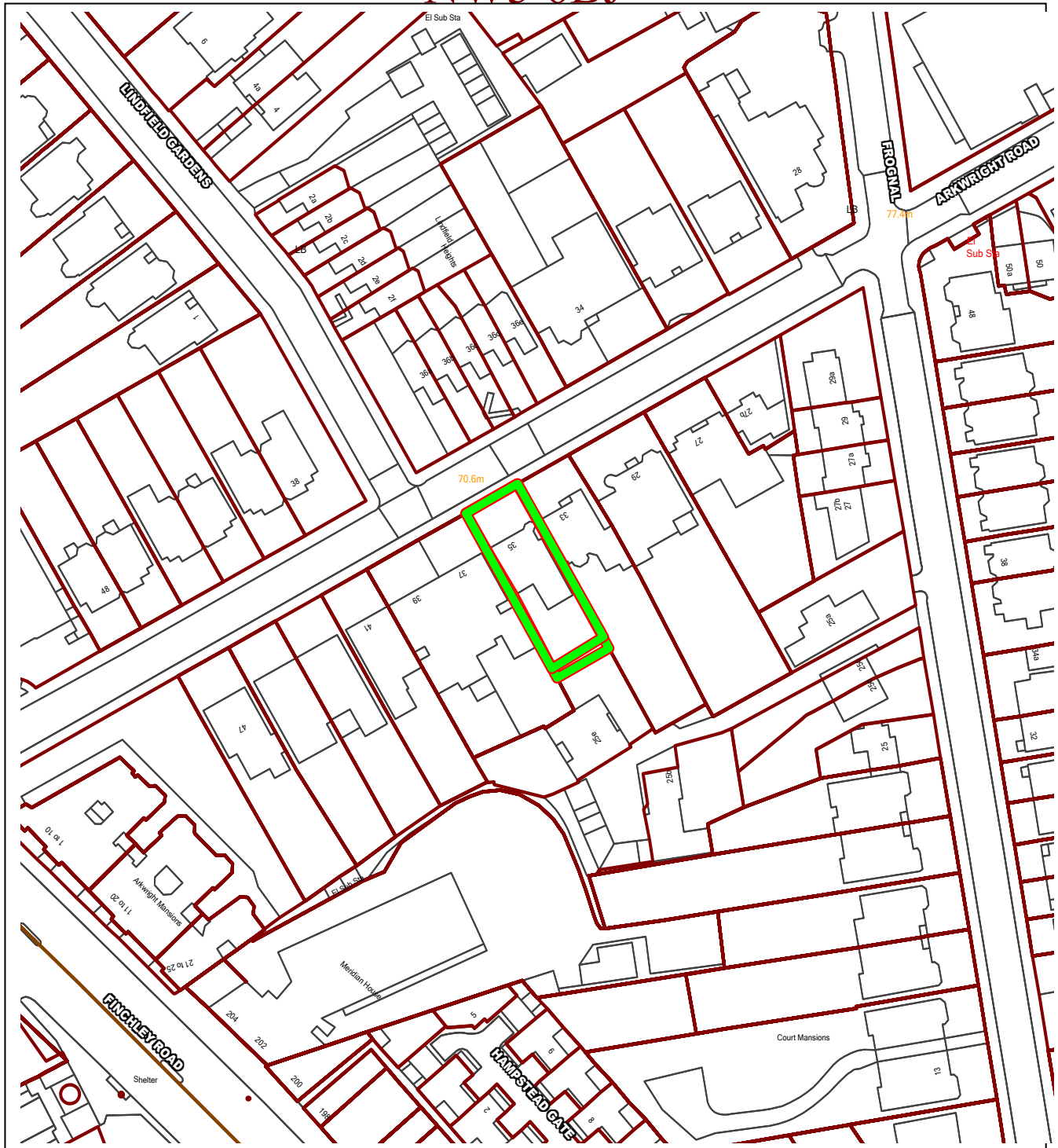


2023/0656/P 35 Arkwright Road London NW3 6BJ



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Image 1. Aerial view of the site identified with red marker



Image 2. Existing front and rear elevation (front elevation depicted on the left image, rear elevation depicted on the right image)



Rear Garden



Existing Magnolia Tree



Boundary with No. 37 Arkwright Road



Existing rear elevation showing balcony



Boundary with No. 33B Arkwright Road

Image 3. Showing the rear of the property

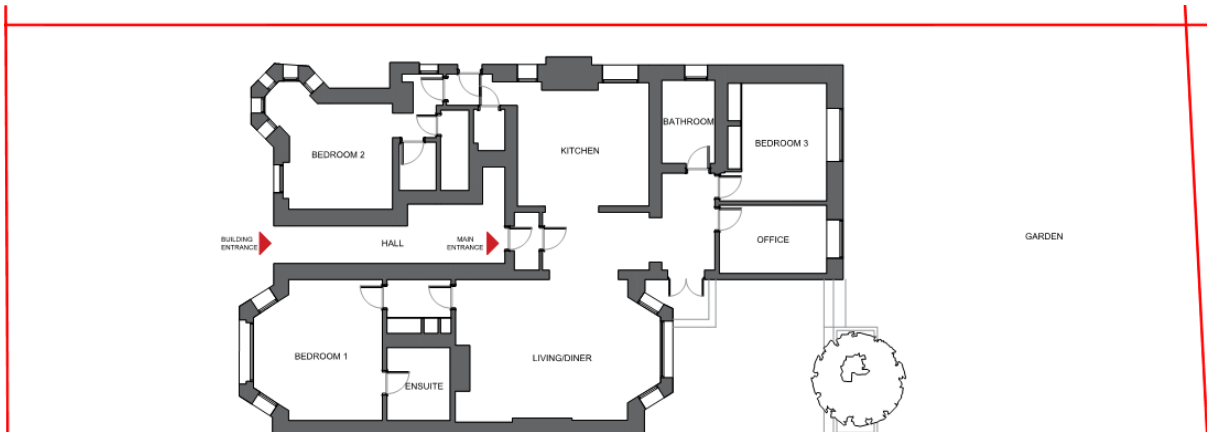


Image 4. Existing ground floor plan

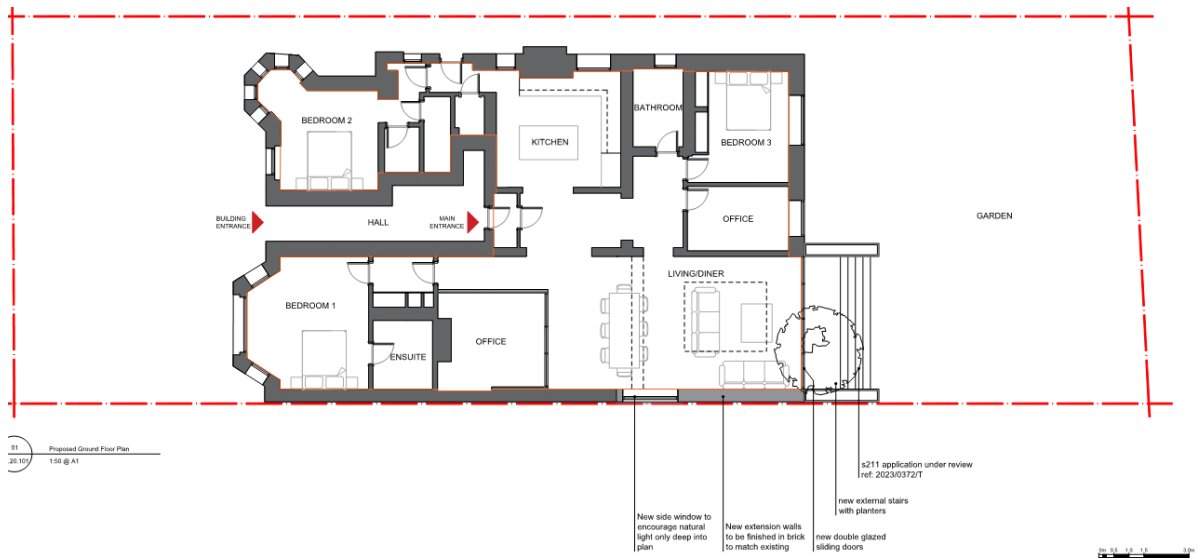


Image 5. Proposed ground floor plan



Image 6. Existing front and rear elevation



Image 7. Proposed front and rear elevation

Delegated Report		Analysis sheet		Expiry Date:	04/05/2023
		N/A		Consultation Expiry Date:	21/05/2023
Officer			Application Number(s)		
Obote Hope			2023/0656/P		
Application Address			Drawing Numbers		
Flat 1 35 Arkwright Road London NW3 6BJ			Refer to decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Erection of a single storey infill extension to the rear elevation at ground floor level.					
Recommendation(s):		Grant Conditional Planning Permission			
Application Type:		Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	00	No. of objections	00
			No. electronic	00		
Summary of consultation responses:	Site notices were posted between 21/04/2023 and expired on 05/05/2023. A press notice was published on 27/04/2023 and expired on 21/05/2023. No comments/objections have been received from neighbouring residents as a result of the consultation process.					
Local group	<p>(The Redington Frogna! Neighbourhood Forum) objected on the following grounds:</p> <ul style="list-style-type: none">It would be useful to understand exactly how much of the garden is to be lost. Looking at the DAS, the garden measures 11 metres in length and the proposed extension would measure 5.9 metres, implying substantial loss of natural soft surface; <p>Officer response:</p> <ul style="list-style-type: none">The proposed rear infill extension would be constructed on the existing paved area and whilst it is proposed to extend the paved area into the garden, the proposal would not have a substantial impact on the garden setting. Please refer to 5.0 below.					

Site Description

The host building is 3 storey detached property converted into 3 x flats located on the south side of Arkwright Road. However, the properties along Arkwright Road are generally 3-4 storeys, some with raised ground floors or front light wells and basement storeys.

The host building is located within the Reddington/Frognal Conservation Area and is identified as making a positive contribution to the character and appearance of the area. The characteristic of the dwellings either individually or as a group of dwellings are a mix of styles, including Queen Anne and Tudor Gothic, with some mansard roofs and Dutch gables.

Relevant History

Application site

8401771 - Change of use and works of conversion to provide four flats including the erection of a two-storey rear extension an extension to the rear of the attic floor the formation of terraces at the rear of the first and second floors. **Granted** 16/01/1985.

8700666 - The erection of a two storey four bedroom single dwelling house (at the rear of 35 37 and 39 Arkwright Road and formerly known as 25E Frognal). **Granted** 10/12/1987.

Other relevant sites

37 - 39 Arkwright Road

2005/1599/P - Erection of a single storey rear extension to flat (M) at ground floor level. **Granted** 10/06/2005.

2011/1805/P - Erection of single storey rear extension with green roof and rooflights in connection with existing residential flat (Class C3). **Granted** 06/06/2011.

27 Arkwright Road

18866 - The erection of a 2-storey rear extension to provide additional accommodation to the garden flat. **Granted** 04/10/1974.

R/O 29 Arkwright Road

2019/1697/P - Construction of 2 no. detached, two storey dwellinghouses (Use Class C3), replacement boundary wall to lane and associated site re-landscaping. **Granted** 24/06/2020.

43 Arkwright Road

2015/6967/P - Erection of a single storey infill extension to the rear elevation at ground floor level. **Granted** on 06/01/2016.

Relevant policies

National Planning Policy Framework (2021)

The London Plan (2021)

Camden Local Plan (2017)

- Policy G1 Delivery and location of growth
- Policy A1 Managing the impact of development
- Policy A3 Biodiversity
- Policy D1 Design

- Policy D2 Heritage
- Policy CC1 Climate change mitigation
- Policy CC2 Adapting to climate change
- Policy CC3 Water and flooding

Camden Planning Guidance:

- CPG Home Improvement (2021)
- CPG Amenity (2021)
- CPG Biodiversity (2018)
- CPG Design (2021)
- CPG Trees (2019)

Conservation Statements:

Redington/Frogna Conservation Area Statement 2022.

Redington Frogna Neighbourhood Plan 2021:

- SD2: Redington Frogna Conservation Area
- SD4: Redington and Frogna Character
- SD5: Extensions and Garden Development
- BG1: Gardens and Ecology
- BG2: Tree Planting and Preservation
- BG3: Lighting

Assessment

1. The proposal

- 1.1. Planning permission is sought for the erection of a single storey extension to the rear elevation at ground floor level. In addition, the application also proposes works to the garden area for the installation of a decking area with steps leading into the lower garden level.
- 1.2. The proposed single storey rear extension would be a replacement of an existing bay window. The rear addition would measure approximately 5.4m in depth, 3.0m in height and 4.3m in width, following the demolition of the existing 1.1m deep rear bay window. The proposed decking area would measure 2.8m in depth. The rear extension will be constructed out of a similar London stock brick to match the existing house. A large double glazed sliding door and new external stairs with built in planters will add contemporary accents across the rear elevation.
- 1.3. The proposed extension would be constructed with a flat roof that would be dark grey glass reinforced plastic or similar high performance watertight material the roof as revised would offer biodiversity with the installation of a green roof.

2. Revisions

- 2.1. It should be noted that during the course of the application revisions to the proposed scheme were requested in order to address concerns raised by officers. The revisions made to the proposed scheme can be summarised as follows:
 - Partial set back in the depth of the infill extension;
 - Revision in the design of the roof.
 - Formation of a green roof;
- 2.2. The revisions made did not materially affect the scheme and as such were accepted as amendments.

3. Assessment

3.1. The principal considerations material to the determination of this application are as follows:

- Design and Conservation
- Impact on neighbouring amenity
- Sustainability / biodiversity

4. Design and Conservation

4.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation areas that fails to preserve or enhance the character and appearance of that conservation area.

4.2. Camden Planning Guidance (CPG) on Home Improvements states that rear extensions should subordinate to the building being extended, in relation to its location, form, footprint, scale, proportions, dimensions and detailing. The extension should be built from materials that are sympathetic to the existing building wherever possible and should be carefully scaled in terms of its height, width and depth. The proposed rear infill extension is considered to meet CPG guidance.

4.3. The Redington Froggnal Neighbourhood Plan (RFNP) requires new development that promotes a rich level of detailing befitting of the character of the conservation area. It warns that garden development should aim to ensure that extension and garden development is subordinate to the use of the host building, that it maximises the preservation of gardens for the health and wellbeing of current and future occupiers and increases the area's resilience, including to provide a natural approach to flood management.

5.0 Rear extension

5.1 Arkwright Road is mainly residential in character and the predominant building type is semi-detached buildings. The Conservation Area Appraisal requires particular care in assessing planning applications for rear extensions, noting that the attractive garden setting of the host building, neighbouring gardens and any private open spaces should not be compromised by overly large extensions and areas of hard landscaping.



Image 1: Existing and Proposed rear extension

- 5.2 The rear garden covers approximately 150.9sqm and the proposed rear extension would infill the existing side elevation and would be setback by 0.5m from the existing closet wing rear extension. The extension would provide an additional 22.7sqm of internal habitable living space, including an additional office space and enlarged living/dining room.
- 5.3 As revised the proposed rear addition would remain visually subordinate at ground floor level and mixture of palette of material proposed would not detract from the building's appearance of the host building and the surrounding context. The extension would be constructed with a mixture of matching facing bricks, partial pitched glazed roof, sliding pocket doors and the detailed design is considered appropriate to the rear garden settings. The proposed rear addition would be subordinate addition within its context. As such, the proposed extension is not considered to harm the host property's original character, proportions or appearance.
- 5.4 The proposed works would not be visible from the public realm and would only be visible in private views to the rear from the neighbouring properties. Officers further note that large rear extensions of various sizes and footprints are a characteristic feature of neighbouring properties on this side of Arkwright Road, of which are of a larger scale to what is being proposed. In this context, the proposed development would not be out of character. The proposed extension given its staggered form would allow the extension to appear as a more subordinate addition within its context. Moreover, the infill addition is small when compared with the amount of garden area that would be retained. As such, the proposed extension is not considered to harm the host property's original character, proportions or appearance.
- 5.5 The rear garden area would be reduced by approximately 11.4sqm. The rear infill extension would mostly be built upon an existing pavement and would also include a green roof to balance out the loss of garden space. It is therefore considered that the reduction of rear garden area of 11.4sqm is of minimal loss and would not cause any such adverse harm to biodiversity and neighbourhood character. Thus, the proposed patio area extended into the garden area is considered acceptable in this instance and no objection is raised for the principle of the proposed works. Therefore, proposal would be in accordance with Policies SD4 and BG1 of the Redington and Frognal Neighbourhood Plan 2021.
- 5.6 The proposed window on the proposed rear extension at ground floor level would sit comfortably within the side elevation and would not be seen from public vantage points. Therefore, the windows are considered to have minimal harm on the character and appearance of the building or the Redington Frognal Conservation Area and no objection is raised in regard to the rooflight that would be flushed with the roof. Council's Conservation Officer has reviewed the application and confirmed

that the proposed roof window would not be easily seen from the public realm and is considered acceptable for this location.



Image 2. Showing the variety of rear extensions within the terrace.

5.6 Given the above, the scheme is considered to be appropriate in terms of height, bulk, mass, materials and detailed design. This position is shared by the Council's Conservation Officers. Subject to the recommended conditions, it is considered that the scheme would not cause harm to the character and appearance of the host property and the wider conservation area. It is therefore considered that the works are in accordance with policies D1 and D2 of the Local Plan 2017 and SD5 of the Redington Frognal Neighbourhood Plan 2021.

5.7 Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

5.8 It is concluded that the proposals would not have any undue adverse impacts on the amenity of any occupiers of any neighbouring properties in accordance with policy D1, D2 and A3 of the Camden Local Plan and policies, BG1, BG2, SD2, SD4 and SD5 of the 2021 Redington Frognal Neighbourhood Plan.

6.0 Sustainability

6.1 Local Plan policy CC2 states that all development should adopt appropriate climate change adaptation measures such as measures to reduce the impact of urban and dwelling overheating, including application of the cooling hierarchy. Whilst Policy A3 aims to protect and enhance sites of nature conservation and biodiversity. The Council will do this through protect and designate conservation sites, assess developments against the ability to improve biodiversity and its impact upon and secure management plans where appropriate. This policy also includes the protection of trees and the Council will seek to resist the loss of trees and vegetation of significant amenity, historic, ecological or cultural value but also promote incorporating trees within any proposal. There is also an expectation, where developments are near trees, the relevant documents should be provided.

6.2 In relation to Local Plan policy A3 (Biodiversity) and Red/Frog Neighbourhood Plan policies (BGI 1 (Gardens and Ecology), BG2 (Tree Planting and Preservation) and BG3 (Lighting)). The proposal does slightly reduce the amount of garden space. However, the reduction is small and would not materially impact the overall garden and its open character, the level of biodiversity or any trees in the area. The impacts to ecology, biodiversity, and trees are therefore very limited and the proposal from this perspective is acceptable.

6.3 The proposed green roof would provide both biodiversity benefit and help with softening the rear extension's visual impact. Thus, making it appear much more sympathetic in the context of the garden area. The details of the green roof would be conditioned to be submitted and approved to ensure the green roof has appropriate maintenance and planning species/density and would be adequately maintained. It is considered that the development undertakes reasonable measures to take account of biodiversity and the water environment.

6.4 It is concluded that the proposals would not have an undue adverse impact on the amenity of any occupiers of any neighbouring properties in accordance with policy D1, D2 and A3 of the Camden Local Plan and SD 1, SD 4, SD 5, BGI 1 BGI 2 and BGI 3 of the 2021 Redington Froggnal Neighbourhood Plan.

7.0 Residential Amenity

7.1 Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, and implications to natural light, artificial light spill, odour and fumes as well as impacts caused by the construction phase of development. Policy A4 seeks to ensure that residents are not adversely impacted by virtue of noise or vibrations.

Loss of daylight/sunlight

7.2 The proposed rear extension would be located at ground floor level and would be located adjacent to existing neighbours side return at no 37 Arkwright Road, which does not feature any windows to their side elevations. Therefore, it is not considered that the proposed extension would cause harm to neighbouring amenity in terms of loss of daylight/sunlight or outlook.

Overlooking/loss of privacy

7.3 A condition would be attached to ensure that the flat roof is not used for amenity space. This measure is considered sufficient to preserve neighbouring privacy.

Light pollution

7.4 The proposed rear extension would sit at ground floor level, with sliding doors towards the rear garden. The proposed rooflight which would be well set back from neighbouring properties and shielded by the proposed planters. The proposal is not considered to result in harmful levels of light pollution.

7.5 Overall, the proposed development is not considered to lead to a significant impact on the amenities of any neighbouring resident. The development is thus considered to be in accordance with planning policies A1 and A4.

8.0 Recommendation

8.1 Grant conditional planning permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 24th July

2023, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2023/0656/P
Contact: Obote Hope
Tel: 020 7974 2555
Email: Obote.Hope@camden.gov.uk
Date: 3 July 2023

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk

Space for Change
137 Martin Way
Morden
SM4 4AR

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Flat 1
35 Arkwright Road
London
NW3 6BJ

DECISION

Proposal:

Erection of a single storey infill extension to the rear elevation at ground floor level.

Drawing Nos: 2219.02.10.001 REVA; 2219.02.10.101 REVA; 2219.02.10.102 REVA;
2219.02.10.110 REVA; 2219.02.10.111 REVA; 2219.02.20.101 REVB; 2219.02.20.102
REVB; 2219.02.20.110 REVB; 2219.02.20.111 REVB and Design and Access Statement
commissioned by Space for Change dated February 2023 REVA.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans; 02219.02.10.001 REVA; 2219.02.10.101 REVA; 2219.02.10.102 REVA; 2219.02.10.110 REVA; 2219.02.10.111 REVA; 2219.02.20.101 REVB; 2219.02.20.102 REVB; 2219.02.20.110 REVB; 2219.02.20.111 REVB and Design and Access Statement commissioned by Space for Change dated February 2023 REVA.

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 The flat roof of the proposed rear extension shall not be used as a roof terrace and any access out onto this area shall be for maintenance purposes only.

Reason: In order to prevent overlooking of the neighbouring premises in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017.

- 5 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include;
- i. a detailed scheme of maintenance
 - ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used and showing a variation of substrate, depth with peaks and troughs]
 - iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer