

## Comment on a Planning Application

- **Application Number** 2023/1040/P
  - **Application Type** Full Planning Permission
  - **Addresses** Flat 1, 18 Agamemnon Road, NW6 1DY
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### Comment Type

Objection to lack of supporting documents

While we do not object to the proposed basement development in principle, we note that the application does not have any basement impact study or similar supporting documents.

This is in contrast to other basement developments on Agamemnon Road, such as 46 Agamemnon Road (2020/3897/P) and 10 Agamemnon Road (2015/6064/P) which both submitted a substantial amount of supporting documents such as basement impact study.

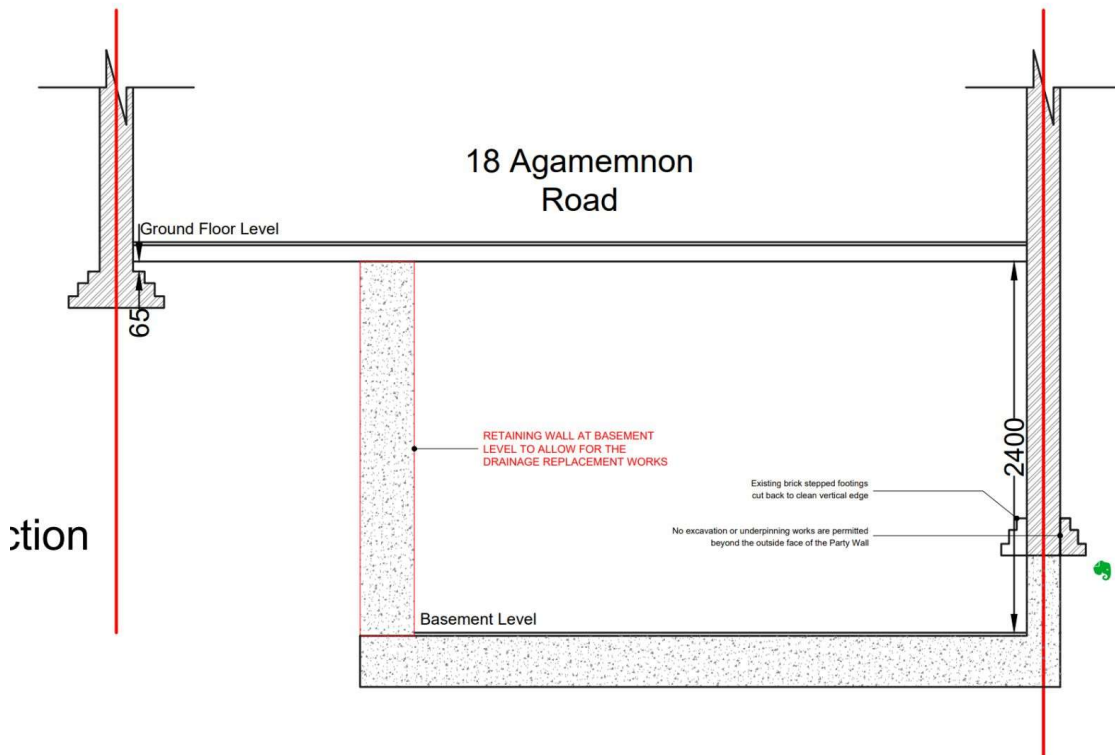
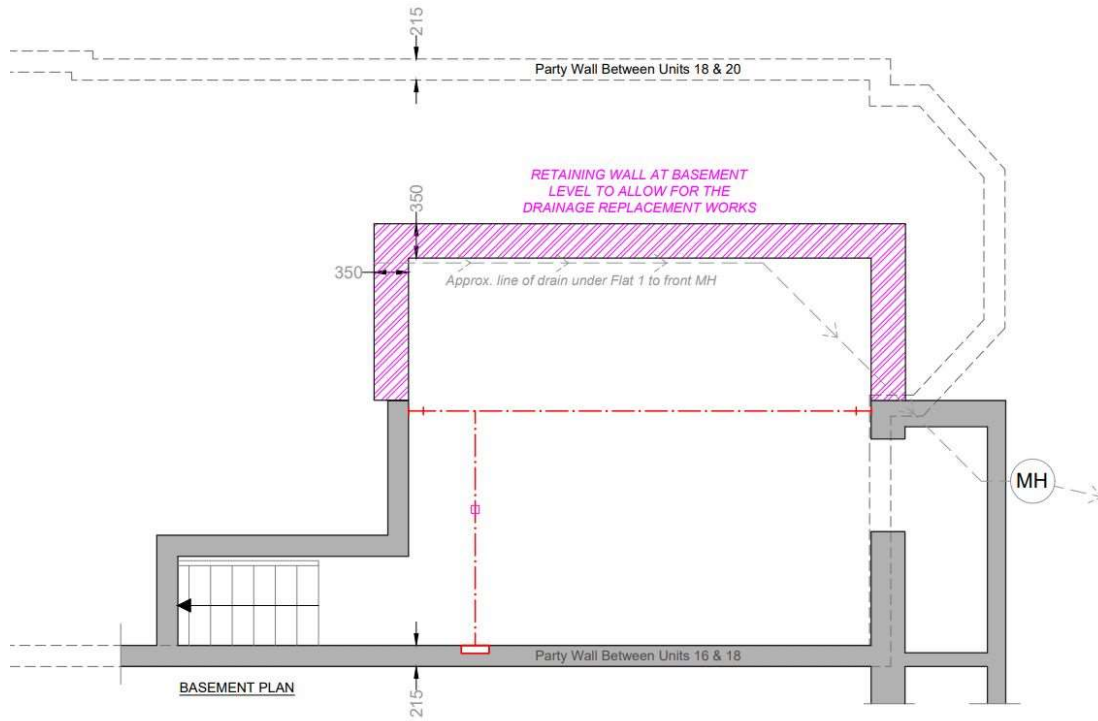
While the proposed basement development is much smaller than these two, the impact on the side with 16 Agamemnon Road is just as significant: under the proposal, the entire wall shared with 16 Agamemnon Road will be underpinned. This is a major excavation for a sensitive Victorian building with no effective foundations.

We also note that proposed basement drawing shows incorrectly the thickness of the wall to be 215mm wide which is 2-brick wide (see below), while the wall thickness is actually 3 bricks or c.330mm. So, 215mm foundations would have been insufficient had they been built on these measurements.

We are very concerned about potential impact on 16 Agamemnon Road, especially as there is little to suggest (at present) that due care will be taken, such as basement impact study. We note that even in case of 10 Agamemnon Road which seemed much more prepared with their proposal, things went wrong: the works had caused major movement/cracks of 12 Agamemnon Road building and cracks at 14 Agamemnon Road.

Some excavations, in fact, have already been done at 18 Agamemnon Road, prior to any planning or other permits obtained. These excavations are alongside the wall with 16 Agamemnon Road and now there had to be shoring works done to make them safe, ie no proper oversight was provided for these works. This, together with the above issues, highlights somewhat cavalier attitude to Planning and Building Control regulations.

We hope that Camden planning department provides a thorough and objective review of the facts around the proposed works and ensures that any basement works can only go ahead when it was shown that these works will be done with due care and in accordance with Camden's planning and building control regulations. This should be also considered in conjunction with a proposal for an excessively large extension proposed for the same property (Application Number 2023/1996/P).



Kind regards,  
Altynay Davletova