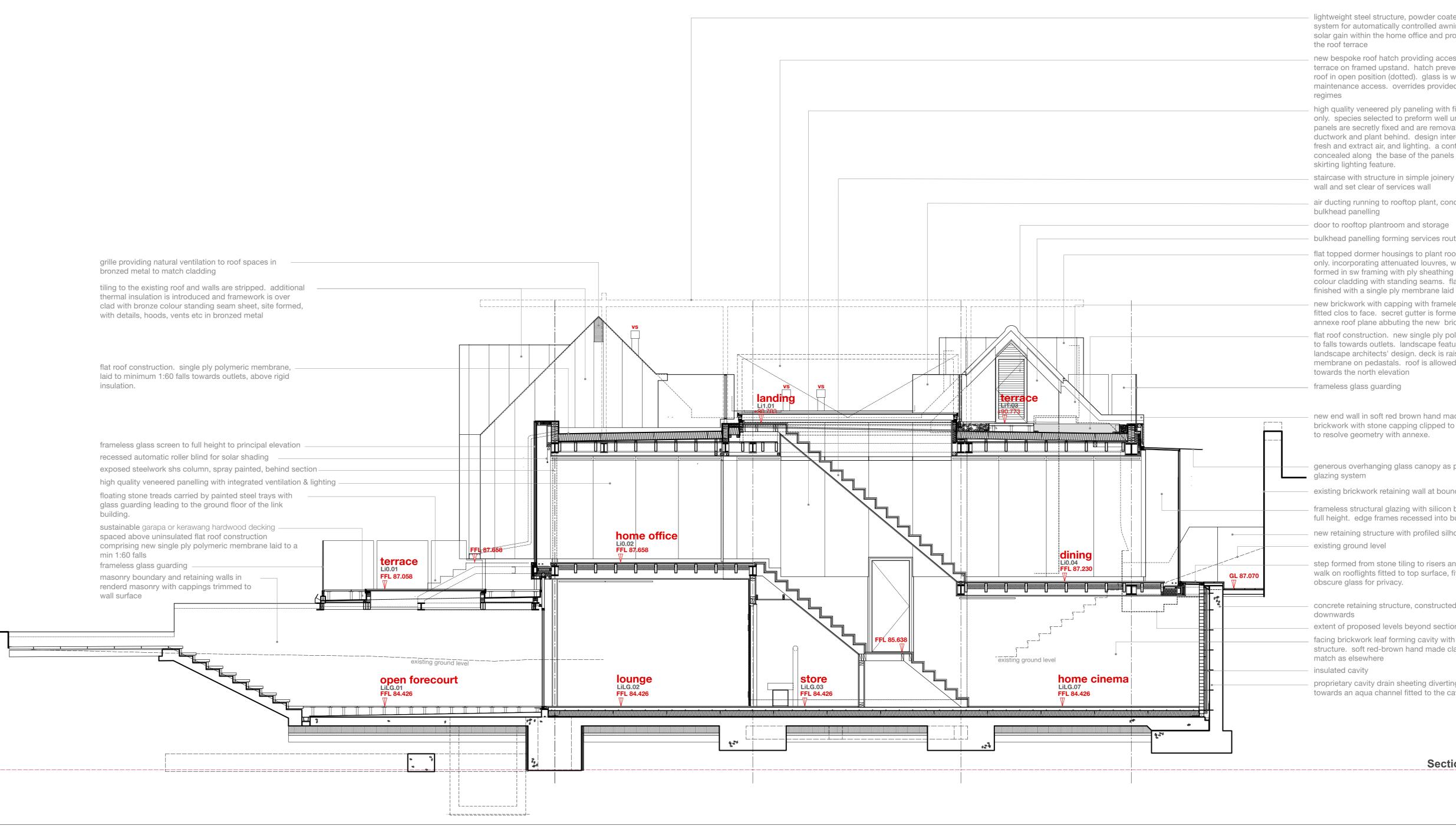


Section CC: West



Section DD: East

lightweight steel structure, powder coated, supporting carrier system for automatically controlled awnings which moderate solar gain within the home office and provide some shading to

new bespoke roof hatch providing access to sun lounge and terrace on framed upstand. hatch prevents access to annex roof in open position (dotted). glass is walk on standard for maintenance access. overrides provided for maintenance

high quality veneered ply paneling with fine finish to upper level only. species selected to preform well under direct sunlight. panels are secretly fixed and are removable allowing access to ductwork and plant behind. design intergrated grilles handling fresh and extract air, and lighting. a continuous strip of lighting concealed along the base of the panels delivers a linear skirting lighting feature.

staircase with structure in simple joinery built into screening wall and set clear of services wall air ducting running to rooftop plant, concealed behind

bulkhead panelling

bulkhead panelling forming services route to plantroom - flat topped dormer housings to plant room serving link only. incorporating attenuated louvres, with cheeks formed in sw framing with ply sheathing and bronze colour cladding with standing seams. flat top roof is

finished with a single ply membrane laid to falls. new brickwork with capping with frameless glass guarding fitted clos to face. secret gutter is formed below the existing annexe roof plane abbuting the new brickwork end wall flat roof construction. new single ply polymeric membrane, laid to falls towards outlets. landscape features and deck are to landscape architects' design. deck is raised above roof membrane on pedastals. roof is allowed to drain freely

frameless glass guarding

new end wall in soft red brown hand made clay brickwork with stone capping clipped to the wall face, to resolve geometry with annexe.

generous overhanging glass canopy as part of structural

- existing brickwork retaining wall at boundary frameless structural glazing with silicon butt jointing to full height. edge frames recessed into building fabric

 new retaining structure with profiled silhouette existing ground level step formed from stone tiling to risers and edge with

walk on rooflights fitted to top surface, fitted with obscure glass for privacy.

concrete retaining structure, constructed from the top extent of proposed levels beyond section line

facing brickwork leaf forming cavity with retaining structure. soft red-brown hand made clay brickwork to match as elsewhere

proprietary cavity drain sheeting diverting ground water towards an aqua channel fitted to the cavity base

Section EE: East

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KEY	
Feat	ures
windo	ws
bhc	bottom hung timber casement window
thc	top hung timber casement window
shc	side hung casement
vss	vertical sliding sash timber window
tt	tilt and turn window
fl	fixed light timber window
frl	roof light (flat roof)
vrl	velux style roof light (pitched roof)
crl	conservation style roof light (pitched roof)
h	ceiling hatch
sd	sliding door
pd	pivot door
f	wall / roof mounted flue to gas boiler / gas
· ·	fire. terminal colour is black
ab1	air brick wall terminal as extract to bathrooms, kitchens etc, annexe only. standard WL38 weather louvre, various sizes, in powder coated aluminium, colour to suit brickwork
ab2	air brick wall terminal as extract to bathrooms, kitchens etc, main house and lodge. 225x225mm bespoke hit and miss vent with vertical slots in powder coated aluminium, colour is black
ab3	as ab2, with flyscreen removed for greater ventilation rate
ab4	re-use existing terracotta airbrick
vt	low profile ventilated roof tile, colour and size matched to existing
vth	hooded ventilated roof tile, colour and size matched to existing
vs	ventilation stack. black

svs ventilation stack. polished stainless steel

note: existing windows are generally timber frames with leaded glazing (single glazed) and fine painted metal sashes. some metalwork has been replaced with painted timber to mimic the original sash. on the north and the west elevations of the main house the windows are simpler with single glazing and painted timber frames. there are a pair of painted metal frame windows on the north elevation low profile double glazed units with an anodised bronzed aluminum frame Existing building fabric and structure, including roofs, tiling, masonry, windows, and rainwater goods are to be maintained and repaired/refurbished where necessary. the conditions survey will form the basis from which the maintenance works will be scheduled and agreed.

REV F1 19 Jul 2023 GMcG Minor Material Ammendment Application to include dormer structures at the rear of the annex is added to the drawing REV F 09 Mar 2022 GMcG The previously approved scheme (scheme 2) is altered to include a number of minor, non material amendments. the amendments included mostly rationalise the alterations at Rev E REV E 06 Sep 2021 GMcG The previously approved scheme (scheme 2) is altered to include a number of small amendments. REV D 15 Jan 2021 GMcG Planning Application further revised, in response to planning and conservation officers comments REV C 09 Sep 2020 GMcG Adjustments made to 3 wall box rooflight following confirmation of available sizes. Some co-ordinatination with structural engineer and adjustments made to levels of retaining wall and ground level, north elevation. routes for air handling behind panelled screen shown dotted. Cavity access panel and internal svp included. REV B 10 Aug 2020 GMcG Revised Planning Application marked at Revision B REV A 05 Dec 2019 GMcG Original Planning Application marked at Revision REV. DATE DRN. ROJECT The Hoo, Scheme 2 17 Lyndhurst Gardens, Hampstead, London

NW3 5NU Mr and Mrs Yu REPRESENTED BY JAGA Developments (London)

turning A Grand Victorian House To Private Domestic Accommo

RAWING Sections CC-EE as Proposed

SCALE SHEET SIZE DRAWN CHECKED DATE 1:50 @ A0 GMcG

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DRAWING No. 1151

19013 PLANNING

REVISION

Oct 2019