

Survey drawings are kindly provided by Maiton Hughes Land Survey Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

KEY

Features

Windows

- bhc bottom hung timber casement window
- tlc top hung timber casement window
- slc side hung casement
- vss vertical sliding sash timber window
- tt tilt and turn window
- fl fixed light timber window
- rl roof light (flat roof)
- vlr value style roof light (gabled roof)
- crf conservation style roof light (gabled roof)
- h ceiling hatch
- sd sliding door
- pd pivot door

ventilation and flues

- f wall / roof mounted flue to gas boiler / gas fire. terminal colour is black
- ab1 air brick wall terminal as extract to bathrooms, kitchens etc. annexe only. standard W135 weather louvre, various sizes, in powder coated aluminium, colour to suit brickwork
- ab2 air brick wall terminal as extract to bathrooms, kitchens etc. main house and lodge. 225x225mm bespoke fit and miss vent with vertical slots in powder coated aluminium, colour is black
- ab3 as ab2, with flyscreen removed for greater ventilation rate
- ab4 re-use existing terracotta airbrick
- vt low profile ventilated roof tile, colour and size matched to existing
- vth hooded ventilated roof tile, colour and size matched to existing
- vs ventilation stack, black
- svs ventilation stack, polished stainless steel

note: existing windows are generally timber frames with leaded glazing (single glazed) and fire painted metal sashes. some metalwork has been reduced in size (smaller) to mimic the original sash.

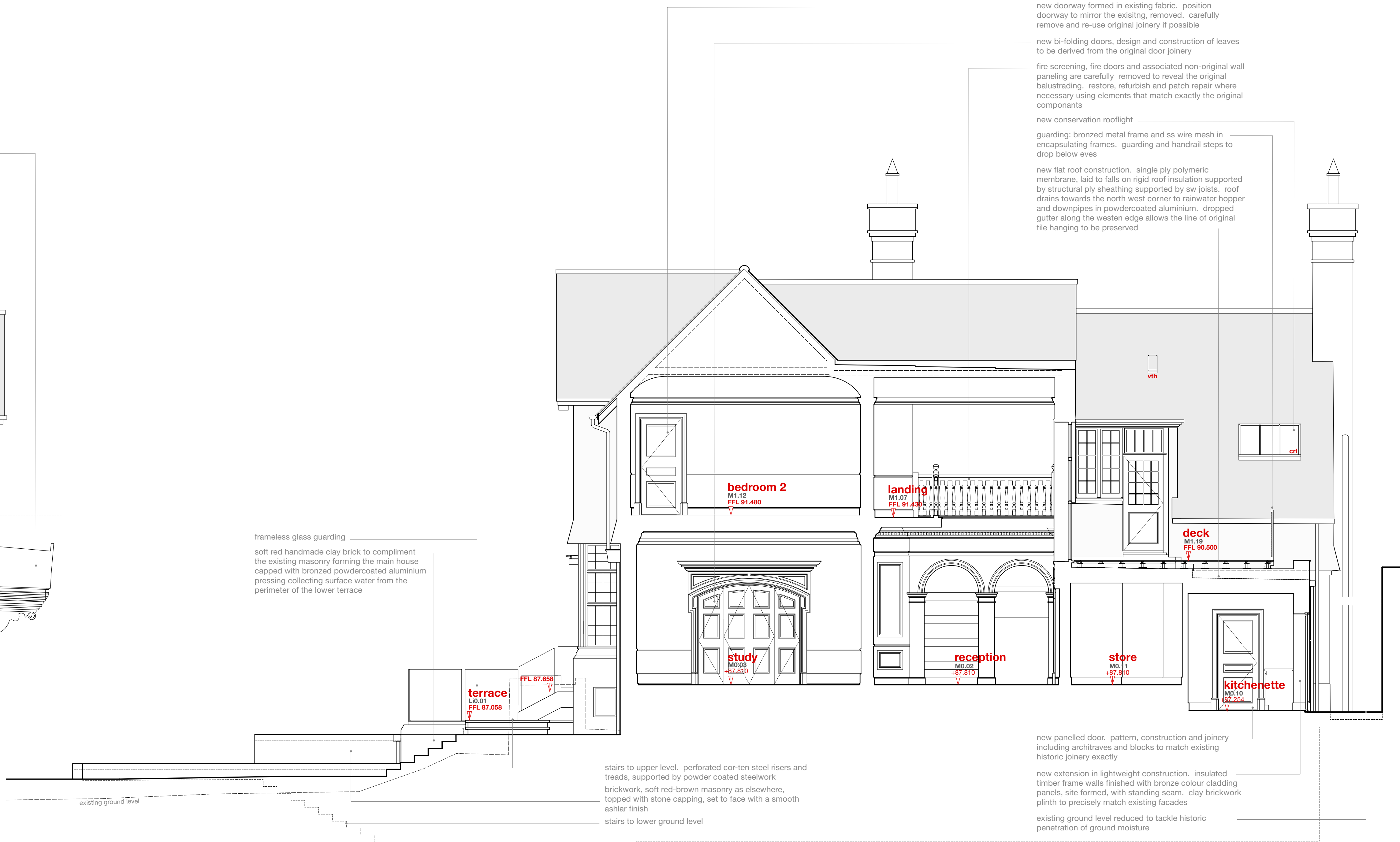
on the north and the west elevations of the main house the windows are similar with single glazing and painted timber frames. there are a pair of painted metal frame windows on the north elevation.

the timber casement windows found on the annexe will be replaced by low profile double glazed units with an anodised bronze aluminium frame.

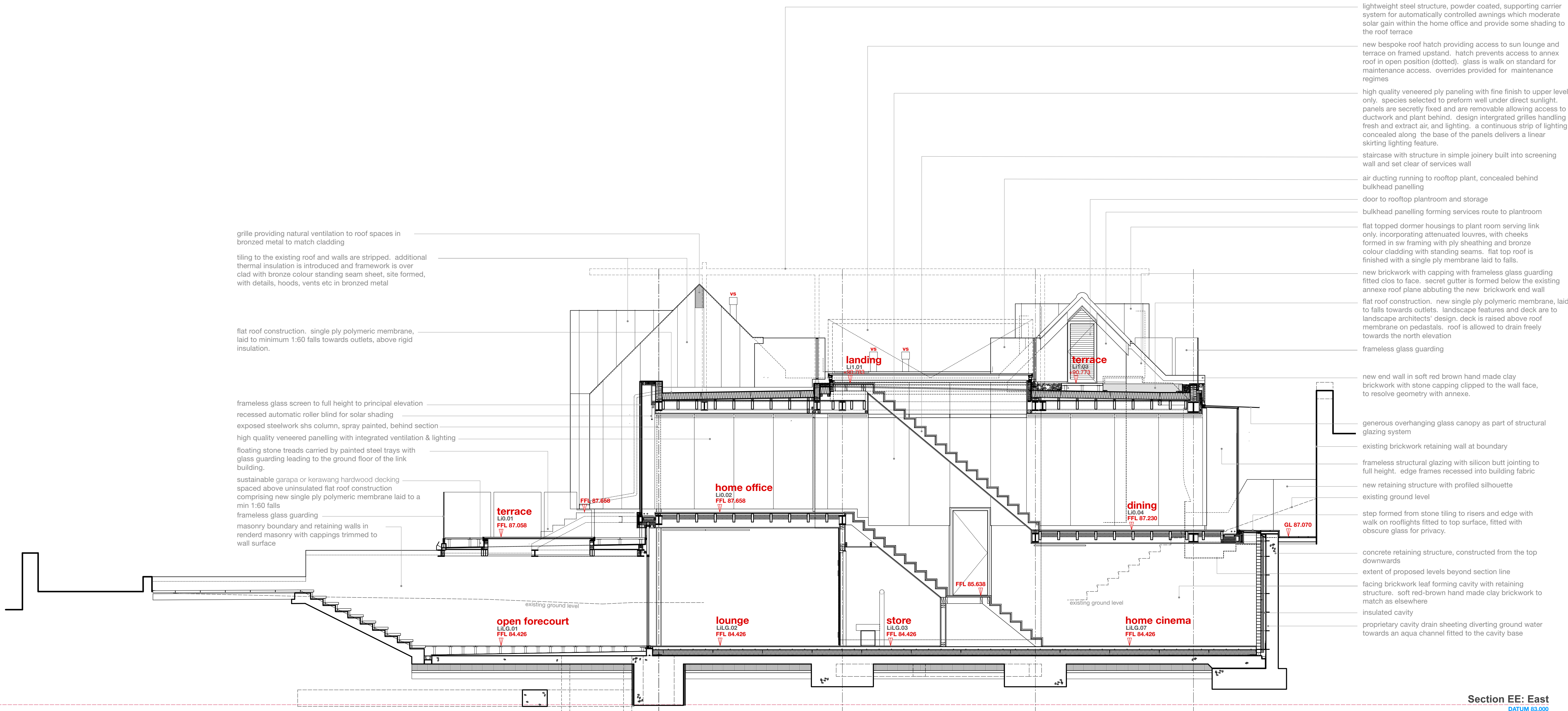
Existing building fabric and structure, including roofs, tiling, masonry, windows, and structural grade is to be maintained and repaired/refurbished where necessary. the conditions survey will form the basis from which the maintenance works will be scheduled and agreed.



Section CC: West



Section DD: East
DATUM 83.000



Section EE: East
DATUM 83.000

REV F1	19 Jul 2023	GM/G	Minor Material Amendment Application to include dormer structures at the rear of the annexe is added to the drawing.
REV F	09 Mar 2022	GM/G	The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments. the amendments included mostly rationalise the alterations at Rev E
REV E	06 Sep 2021	GM/G	The previously approved scheme (scheme 2) is altered to include a number of small amendments.
REV D	15 Jan 2021	GM/G	Planning Application further revised, in response to planning and conservation officers comments
REV C	09 Sep 2020	GM/G	Adjustments made to 3 wall box rooflight following confirmation of available space. Some co-ordination with structural engineer and adjustments made to levels of retaining wall and ground level, north elevation. routes for air handling behind paneled screen shown dotted. Cavity access panel and internal ssp included.
REV B	10 Aug 2020	GM/G	Revised Planning Application marked at Revision B
REV A	05 Dec 2019	GM/G	Original Planning Application marked at Revision A

REV	DATE	DRN			CHKD
PROJECT					
The Hoo, Scheme 2 17 Lyndhurst Gardens, Hampstead, London					
Returning A Grand Victorian House To Private Domestic Accommodation NW3 5NU					
CLIENT					
Mr and Mrs Yu REPRESENTED BY JAGA Developments (London)					
DRAWING					
Sections CC-EE as Proposed					
SCALE	SHEET SIZE	DRAWN	CHECKED	DATE	
1:50	A0	GM/G		Oct 2019	
BOWKER SADLER ARCHITECTURE					
A: Hatherlow House, Hatherlow, Romley, Stockport SK6 3DY T: 0161 406 7333 E: info@bowker-sadler.co.uk W: www.bowker-sadler.co.uk					
JOB No	DRAWING No		REVISION		
19013	1151		F1		
STATUS					
PLANNING					