

Survey drawings are kindly provided by Mason Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

KEY

Features

windows

- bhc bottom hung timber casement window
thc top hung timber casement window
shc side hung casement
vss vertical sliding sash timber window
itt tilt and turn window
fl fixed light timber window
rl roof light (flat roof)
vrl velux style roof light (pitched roof)
crl conservation style roof light (pitched roof)
h ceiling hatch
sd sliding door
pd pivot door

ventilation and flues

- f wall / roof mounted flue to gas boiler / gas fire, terminal colour to black
ab1 air brick wall terminal as extract to bathrooms, kitchens etc, remove only, standard VIL38 weather louvre, various sizes, in powder coated aluminium, colour to suit brickwork
ab2 air brick wall terminal as extract to bathrooms, kitchens etc, main house and lodge, 225x225mm bespoke rl and miss vent with vertical slots in powder coated aluminium, colour is black
ab3 as ab2, with flyscreen removed for greater ventilation rate
vt re-use existing terracotta airbrick
vt low profile ventilated roof tile, colour and size matched to existing
vth hooded ventilated roof tile, colour and size matched to existing
vs ventilation stack, black
svs ventilation stack, polished stainless steel

note: existing windows are generally timber frames with leaded glazing (single glazed) and the painted metal sashes. some metalwork has been replaced with painted timber to mimic the original sash.

on the north and the west elevations of the main house the windows are simpler with single glazing and painted timber frames. there are a pair of painted metal frame windows on the north elevation

the timber casement windows found on the annexe will be replaced by low profile double glazed units with an anodised bronze aluminium frame

Existing building fabric and structure, including roofs, stings, masonry, windows, and rainwater goods are to be maintained and repaired/refurbished where necessary. the conditions survey will form the basis from which the maintenance works will be scheduled and agreed.



REV F 09 Mar 2022 GMcG
The previously approved scheme (scheme 2) is altered to include a number of minor, non material amendments. the amendments included mostly rationalise the alterations at Rev E

REV E 08 Sep 2021 GMcG
The previously approved scheme (scheme 2) is altered to include a number of small amendments.

REV D

spare

REV C 15 Jan 2021 GMcG
Planning Application further revised, in response to planning and conservation officers comments

REV B 10 Aug 2020 GMcG
Revised Planning Application marked at Revision B

REV A 05 Dec 2019 GMcG
Original Planning Application marked at Revision A

REV / DATE DRN [] CHKD []

PROJECT

The Hoo, Scheme 3
17 Lyndhurst Gardens,
Hampstead, London

Returning A Grand Victorian House To Private Domestic Accommodation
NW3 5NU

CLIENT

Mr and Mrs Yu
REPRESENTED BY
JAGA Developments (London)

DRAWING

South and East Elevations
as Proposed

SCALE 1:50 SHEET SIZE A0 DRAWN GMcG CHECKED DATE Oct 2019

BOWKER SADLER ARCHITECTURE

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JOB NO 19013 DRAWING NO 1140 REVISION F

STATUS PLANNING