

roofs generally. inspect roofs, flashings, soakers, drips and leadwork generally, effecting repairs where necessary. replace tiles with clay tiles to match exactly and lead to repair details. clean gutters and match where repairs are required. refer to the conditions survey

tile hanging to all areas. inspect surfaces, flashings, drips and leadwork generally, effecting repairs where necessary. replace tiles with clay tiles to match exactly and lead to repair details. refer to the conditions survey

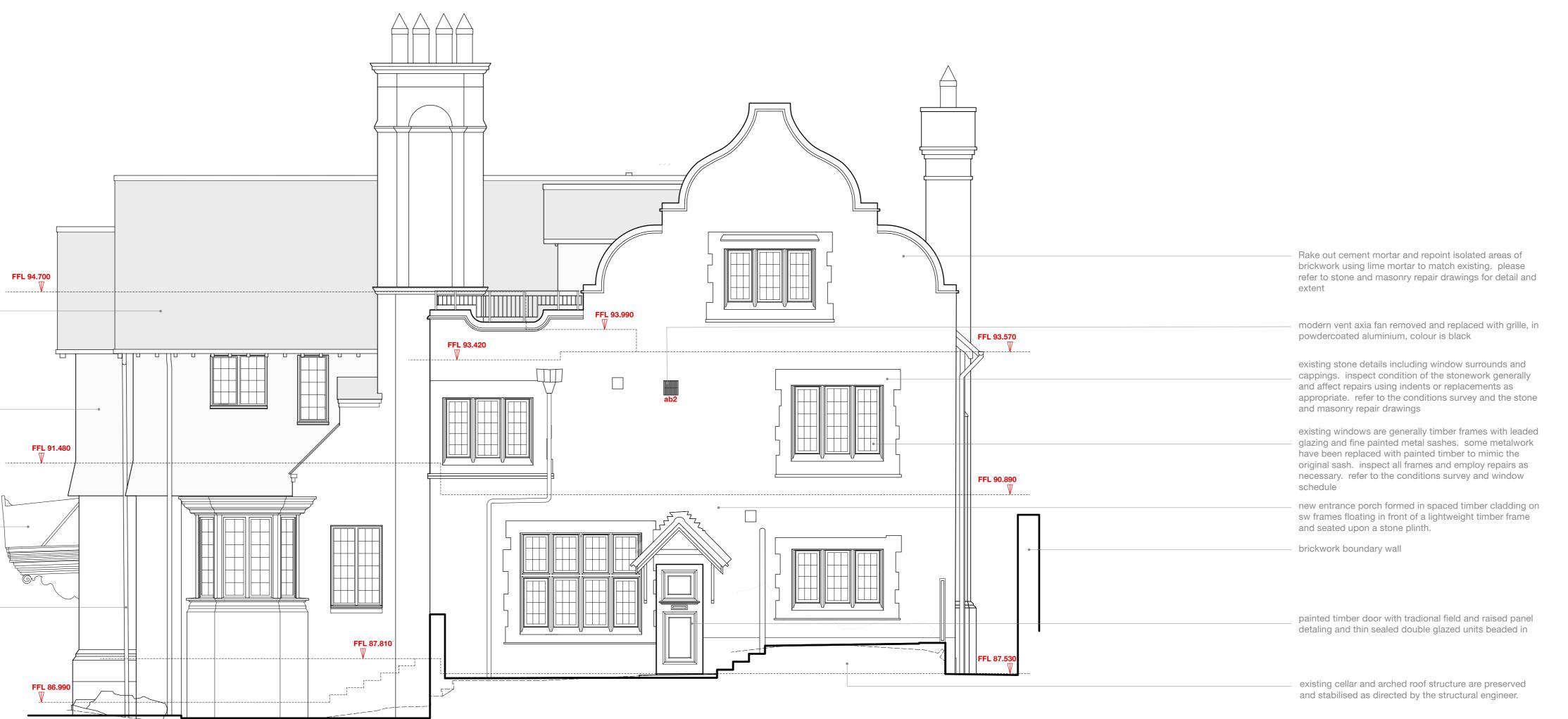
canopy over the main entrance. carefully reveal former layers of paint to determine the composition and colour of the original decoration. strip heavy over-painting and repaint to approved specification affect repairs as necessary to leadwork and structure.

inspect condition of rainwater goods generally throughout. repair and replace as appropriate using cast

iron goods and brackets to match existing closely

refer to conditions survey

Principal Elevation: East



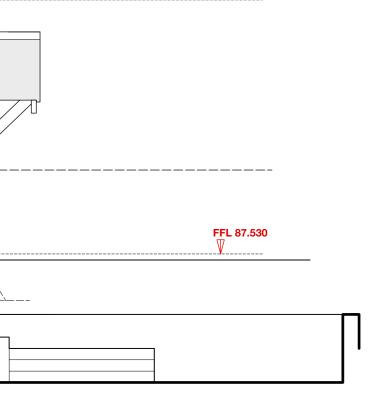
existing opening altered to allow a new doors to a traditional design, allowing access rooftop terrace. thin double glazed with painted timber frames. remove existing open railings and provide new to similar design with vertical bar infil providing fall protection.

small section of masonry infill pieced in to close off an opening and an exit onto removed fire escape. ensure that brickwork and tile drips match existing masonry exactly

FFL 93.570

obscure film fitted externally to bottom three rows of leaded lights to limit the degree of overlooking into neighbours property





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DATUM 83.000

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	CHECK ALL DIMENSIONS ON SITE DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS
	irawings are kindly provided by Malcom Hughes Land Surveys Ltd and are assume ately describe the existing buildings, services and external spaces.
KEY	
Featu	Ires
windo	ws
bhc	bottom hung timber casement window
thc	top hung timber casement window
shc	side hung casement
vss	vertical sliding sash timber window
tt	tilt and turn window
fl	fixed light timber window
frl	roof light (flat roof)
vrl	velux style roof light (pitched roof)
crl	conservation style roof light (pitched roof)
h	ceiling hatch
sd	sliding door
pd	pivot door
	tion and flues
f	wall / roof mounted flue to gas boiler / gas fire. terminal colour is black
ab1	air brick wall terminal as extract to bathrooms, kitchens etc, annexe only. standard WL38 weather louvre, various sizes, in powder coated aluminium, colour to suit brickwork
ab2	air brick wall terminal as extract to bathrooms, kitchens etc, main house and lodge. 225x225mm bespoke hit and miss vent with vertical slots in powder coated aluminium, colour is black
ab3	as ab2, with flyscreen removed for greater ventilation rate
ab4	re-use existing terracotta airbrick
vt	low profile ventilated roof tile, colour and size matched to existing
vth	hooded ventilated roof tile, colour and size matched to existing
VS	ventilation stack. black
svs	ventilation stack. polished stainless steel
(single	existing windows are generally timber frames with leaded glazing glazed) and fine painted metal sashes. some metalwork has been d with painted timber to mimic the original sash.
simpler	north and the west elevations of the main house the windows are with single glazing and painted timber frames. there are a pair of I metal frame windows on the north elevation
	ber casement windows found on the annexe will be replaced by file double glazed units with an anodised bronzed aluminum frame
window repaired	g building fabric and structure, including roofs, tiling, masonry, vs, and rainwater goods are to be maintained and d/refurbished where necessary. the conditions survey will form the om which the maintenance works will be scheduled and agreed.

basis from which the maintenance works will be scheduled and agreed.

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REV F 09 Mar 2022 GMcG
The previously approved scheme (scheme 2) is altered to include a numbe of minor, non material amendments. the amendments included mostly rationalise the alterations at Rev E
REV E 06 Sep 2021 GMcG The previously approved scheme (scheme 2) is altered to include a numbe of small amendments.
REV D spare
REV C 15 Jan 2021 GMcG Planning Application further revised, in response to planning and conservation officers comments
REV B 10 Aug 2020 GMcG Revised Planning Application marked at Revision B
REV A 05 Dec 2019 GMcG Original Planning Application marked at Revision A
REV. DATE DRN. CHKE
CLIENT Mr and Mrs Yu REPRESENTED BY JAGA Developments (London) DRAWING
South and East Elevations as Proposed
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JOB No 19013	DRAWING No 1140	F	RE
STATUS PLANNING			

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