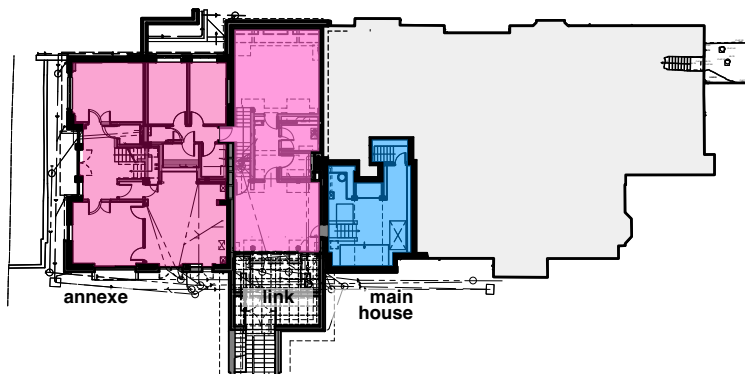


Survey drawings are kindly provided by Mutton Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

#### KEY



Existing Walls.  
New walls to be inserted.

#### Features

##### windows

- bhc bottom hung timber casement window
- thc top hung timber casement window
- shc side hung casement
- vss vertical sliding sash timber window
- fl fixed light timber window
- rl roof light (flat roof)
- vtl valus style roof light (pitched roof)
- crl conservation style roof light (pitched roof)

- h ceiling hatch
- hf floor hatch
- sd sliding door
- sfd sliding folding door

##### ventilation and flues

- f wall / roof mounted flue to gas boiler / gas fire, terminal colour to black
- ab1 air brick wall terminal as extract to bathrooms, kitchens etc, anemone only, standard WLB weather louvre, various sizes, in powder coated aluminium, colour to suit brickwork
- ab2 air brick wall terminal as extract to bathrooms, kitchens etc, main house and lodge, 225x225mm bespoke fit and mesh vent with vertical slots in powder coated aluminium, colour to black as ab2, with flyscreen removed for greater ventilation rate
- ab3 re-use existing terracotta airbrick
- ab4 low profile ventilated roof tile, colour and size matched to existing
- vth hooded ventilated roof tile, colour and size matched to existing
- vs ventilation stack, black
- svs ventilation stack, polished stainless steel

##### drainage services and landscape

- mh Existing manhole
- ic Existing inspection chamber
- wic Existing water service inspection chamber

##### FWIC 01

- Inspection chamber collecting foul water drainage
- Sell vent pipe and underground foul water drainage
- Waste pipe from washbasin/shower to foul water drainage
- Rainwater pipe, gully and underground surface water drainage
- Rainwater hopper draining into rainwater hopper
- Rainwater spout
- Rainwater outlet

##### mechanical heating

- gas fired boiler and wall mounted flue
- unvented cylinder

REV F	09 Mar 2022	GM/G	
The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments, the amendments included mostly rationalise the alterations at Rev E			
REV E	06 Sep 2021	GM/G	
The previously approved scheme (scheme 2) is altered to include a number of small amendments			
REV D	16 Jan 2021	GM/G	
Planning Application further revised, in response to planning and conservation officers comments			
REV B	10 Aug 2020	GM/G	
Revised Planning Application marked at Revision B			
REV A	05 Dec 2019	GM/G	
Original Planning Application marked at Revision A			

REV	DATE	DRN	CHKD
-----	------	-----	------

**PROJECT**  
**The Hoo: Scheme 3**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
Returning A Grand Victorian House To Private Domestic Accommodation NW3 SNU

**CLIENT**  
**Mr and Mrs Yu**  
**REPRESENTED BY**  
**JAGA Developments (London)**

**DRAWING**  
**Lower Ground Floor Layout**  
**as Proposed**

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G		May 2020

**BOWKER SADLER ARCHITECTURE**  
A: Hatherlow House, Hatherlow, Romley, Stockport SK6 3DY  
T: 0161 406 7333  
E: info@bowker-sadler.co.uk  
W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
19013	1120	F
STATUS	PLANNING	

underground cellar is retained and stabilised as directed by the structural engineer and as appropriate and incorporated into the design  
stairs patched and repaired as necessary and brought back into use

