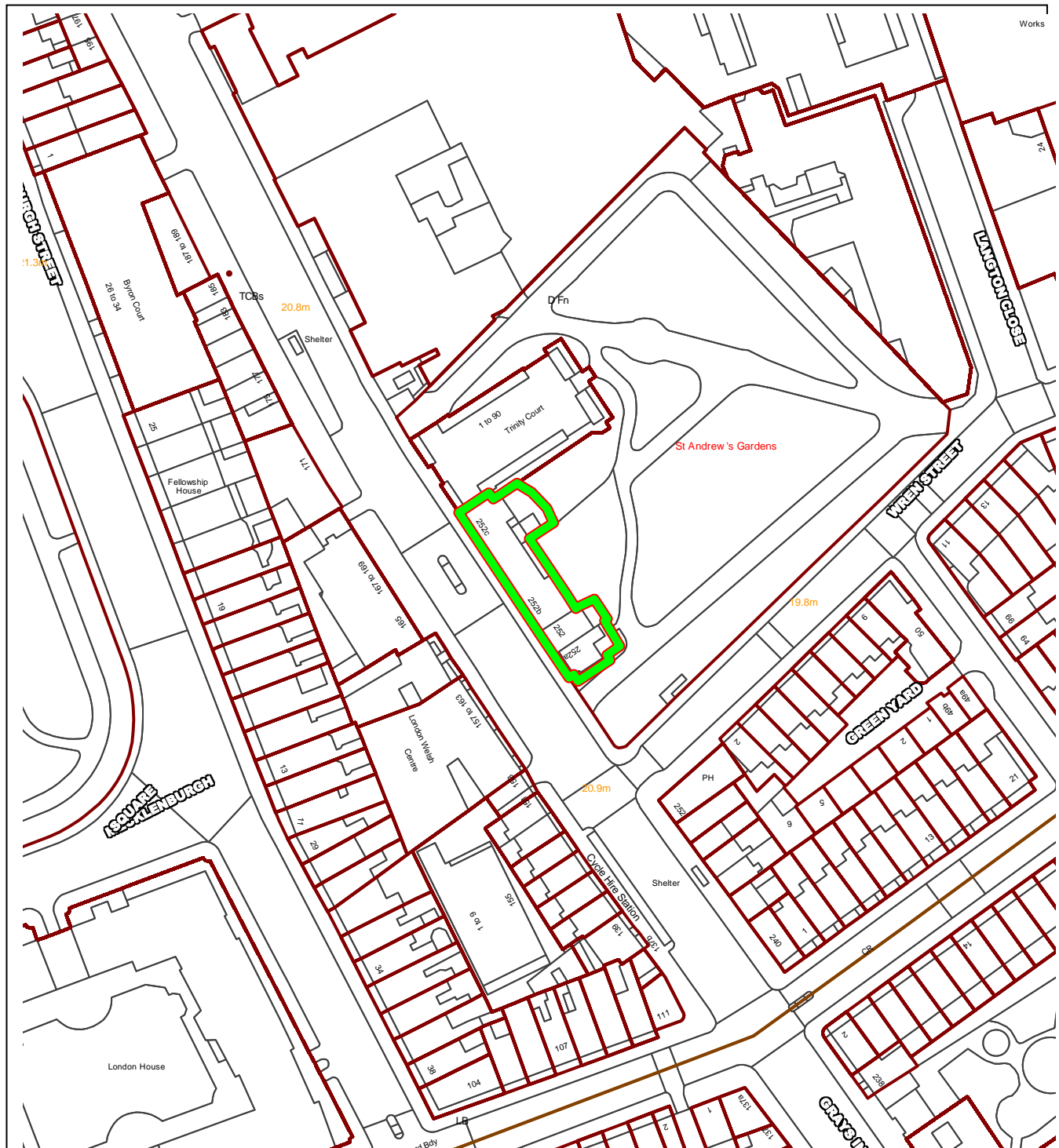


P – 252B-252C Gray's Inn Road
London WC1X 8JR



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2023/1328/P – 252B-252C Gray's Inn Road London WC1X 8JR



Figure 1: Application site highlighted in green with yellow outline.



Figure 2: Front elevation of application site as viewed from Gray's Inn Road. (No works proposed to front elevation)



Figure 3: Rear elevation of application site as viewed from St Andrew's Gardens. (Works proposed to rear elevation)

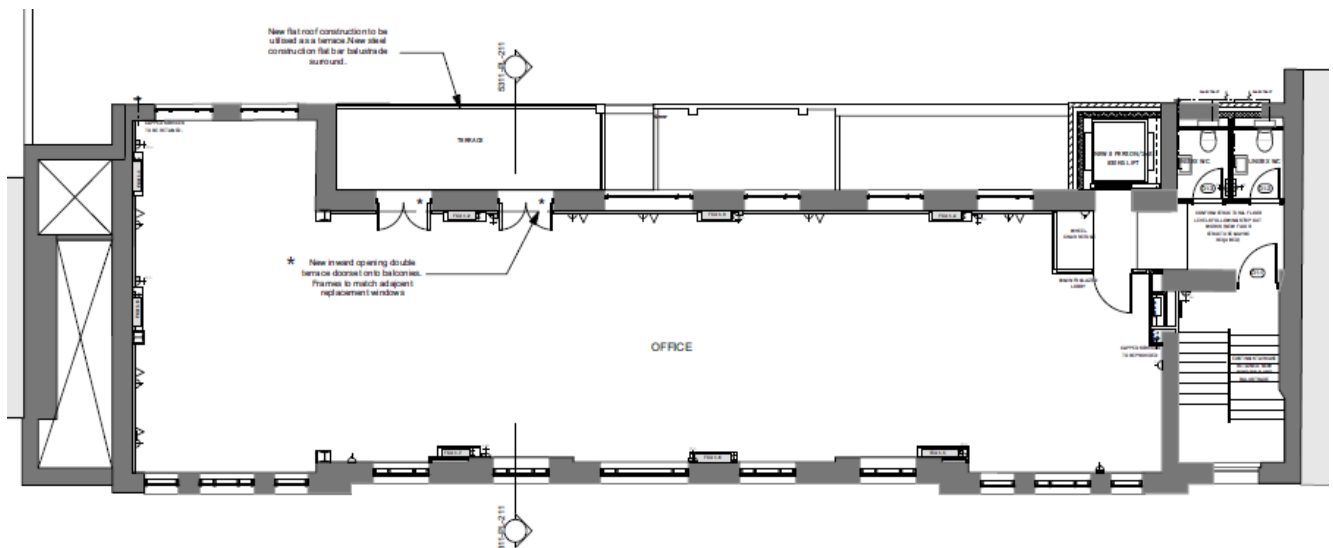


Figure 4: Proposed first floor plan showing proposed terrace. Terrace to be level with rear wing.

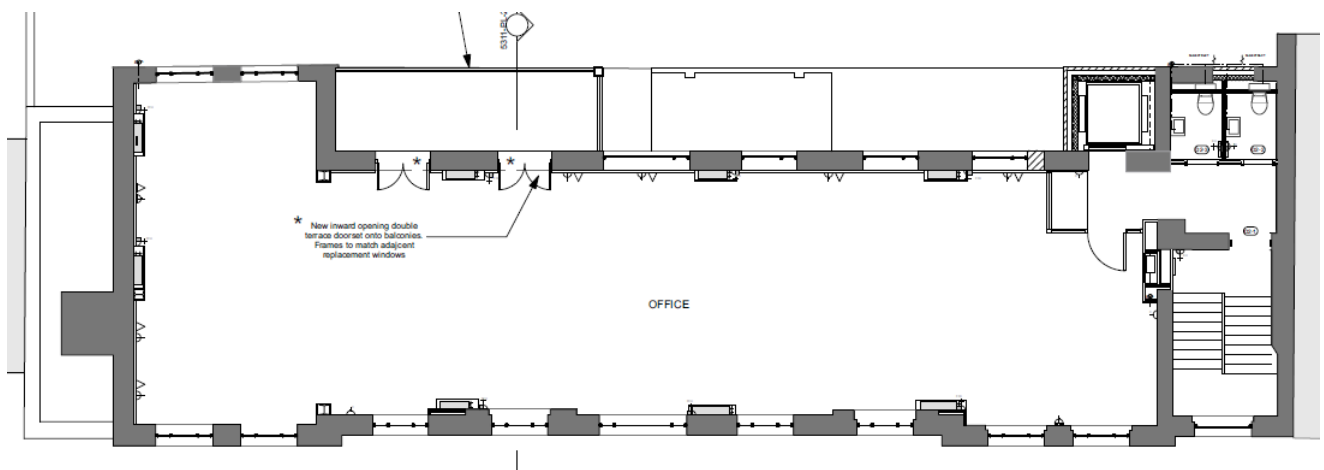


Figure 5: Proposed second floor plan showing proposed balcony. Balcony to be level with rear wing.

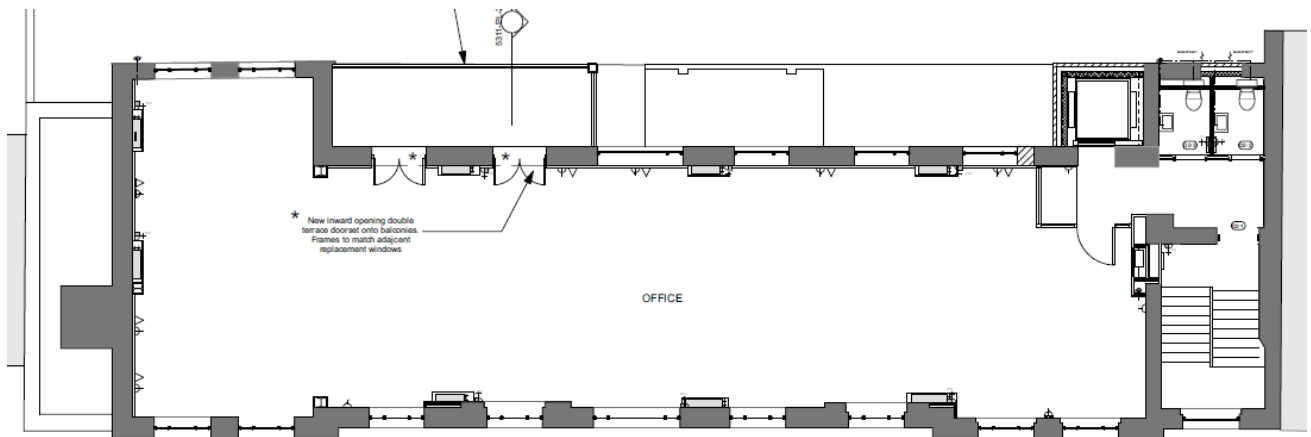


Figure 6: Proposed third floor plan showing proposed balcony. Balcony to be level with rear wing.



Figure 7: Proposed rear elevation, showing terrace and 2 balconies.

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	24/05/2023
		N/A		Consultation Expiry Date:	13/05/2023
Officer				Application Number(s)	
Alex Kresovic				2023/1328/P	
Application Address				Drawing Numbers	
252b-252c Gray's Inn Road London WC1X 8JR				Refer to Draft Decision Notice	
PO 3/4	Area Team Signature	C&UD		Authorised Officer Signature	
Proposal(s) Alterations to the rear elevation to add a terrace at first floor level and two balconies, one at second floor level and one at third floor level.					
Recommendation(s):		Grant Conditional Planning Permission			
Application Type:		Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Adjoining Occupiers:	No. of responses	8	No. of objections	8
Summary of consultation responses:	<ul style="list-style-type: none">A press advert was published on 13/04/2023 (expiry 07/05/2023)Multiple site notices were displayed on 05/04/2023 (expiry 29/04/2023)			
	<p>Eight objections were received from the neighbouring occupiers, mainly from Trinity Court, as summarised below:</p> <ul style="list-style-type: none">The proposals to add a terrace at first floor level and two balconies at second and third floor levels will have a big impact on the view from our window (5th storey). Officer's response: <i>Views to the window/s on the 5th storey of Trinity Court from the proposed first floor terrace and second and third level balconies will be negligible.</i>Adding balconies and a terrace will have a huge impact on the noise we hear from this building. Officer's response: <i>The proposed terrace and balconies will be used by office staff during office hours. It is therefore not considered that the proposed works will cause adverse harm to the neighbouring building (Trinity Court).</i>The building of a roof terrace and balconies on this building will have a big, detrimental impact on residents of Trinity Court. Officer's response: <i>The 'roof terrace' is located on the first floor, and the balconies are located on the second and third levels and would be constructed to be in-line with the existing rear building wing. The proposal would replace floor to ceiling windows which would have similar privacy impacts. As such, it is considered the proposal would not cause adverse amenity impact in respect to overlooking, privacy, and daylight/sunlight.</i>Noise and dust concerns during the works. Officer's response: <i>In an urban environment construction noise and dust is expected during the course of a construction project due to the use of heavy machinery. However, dust is usually associated to demolition works, which is not part of this application. In addition, site operators of construction sites are required to minimise and control any such noise/dust pollution.</i>The installation of balconies would result in a substantial loss of privacy. Officer's response: <i>Please refer to point 3.</i>St Andrew's Gardens itself currently provides the amenity of outside space. Officer's response: <i>Council Officers agree that St Andrew's Garden provides an amenity space to residents and workers in the area. The addition of the terrace and balconies would not impact the level of amenity that St Andrew's Garden provides.</i>Air pollution from smoking and vaping from users of the balconies. Officer's response: <i>Air pollution can also be caused by users of the St Andrew's Garden by way of smoking and vaping.</i>			

Site Description

The application site was built in 1876 as a school and now comprises of an unoccupied ground floor plus four storeys office building. The site is located at the boundary of Finsbury and Bloomsbury and fronts onto Gray's Inn Road. The building directly abuts St Andrew's Gardens forming part of its western boundary. The rear elevation, where the works are proposed, has an uninterrupted view of the Gardens.

The immediate area has a variety of uses but it is predominantly residential in character, consisting mostly of 3-4 storey brick terrace houses.

The site is located within Bloomsbury Conservation Area and is not listed. The building is noted as a 'Building which makes a positive contribution' within the Conservation Area Appraisal.

Relevant History

APPLICATION SITE:

Application	Address	Description	Status
2018/3414/P	252b-252c Gray's Inn Road London WC1X 8JR	Relocation of the main entrance and associated access stair lift, alterations to existing front and rear windows, remodelling of southern roof edge to accommodate new lift and WCs and addition of new lift shaft to rear, new plant equipment to rear ground floor level (removal of redundant equipment) and alterations to existing single storey rear extension.	Granted 04/06/2019
2020/0747/P	252b-252c Gray's Inn Road London WC1X 8JR	Details required by condition 5 (plant noise assessment) of permission 2018/3414/P dated 04/06/19 (Relocation of the main entrance and associated access stair lift, alterations to existing front and rear windows, remodelling of southern roof edge to accommodate new lift and WCs and addition of new lift shaft to rear, new plant equipment to rear ground floor level (removal of redundant equipment) and alterations to existing single storey rear extension).	Granted 22/06/2020

ADJOINING SITES:

Application	Address	Description	Status
2015/3575/P & 2017/3678/L	Calthorpe Arms 252 Gray's Inn Road London WC1X 8JR	Reduction in height to an existing unlawful timber refuse enclosure located on the forecourt of the Wren Street elevation. The structure is to be used in connection with the public house (Class A4)	Granted 19/11/2015
2020/1916/P & 2020/2905/L	First and Second Floors 250 Gray's Inn Road London WC1X 8JR	Amalgamation of the first floor unit and second floor unit to create a 1 bedroom unit (Class C3); replacement of the existing front elevation single glazed timber sash windows with like-for-like windows.	Granted 21/09/2020
2015/2497/P & 2015/4603/L	248 Gray's Inn Road, London, WC1X 8JR	Erection of single storey shed in rear yard for use ancillary to upper floor flat.	Granted 14/08/2015
2008/4063/P & 2008/4064/L	165 Gray's Inn Road London WC1X 8UE	Change of use and works of conversion from office (Class B1) to residential (Class C3) to provide 5 flats (1 x studio, 3 x 2 bed flats and 1 x 2 bed and study) and alterations to windows and doors, and the provision of rooflights to the roof of the rear extension and external lighting to the front of the building.	Granted 06/11/2009

Relevant policies

National Planning Policy Framework (2021)

London Plan 2021

Camden Local Plan 2017

G1 Delivery and location of growth
A1 Managing the impact of development
A4 Noise and Vibration
D1 Design
D2 Heritage

Camden Planning Guidance

Amenity CPG (January 2021)

Design CPG (January 2021)

Home Improvements CPG (January 2021)

Bloomsbury Conservation Area appraisal and management strategy 2011

1.0 Proposal

- 1.1 The applicant seeks permission for alterations to the rear elevation to add a terrace at first floor level (atop the roof of an existing ground floor rear addition) and two balconies, one at second floor level and one at third floor level.
- 1.2 A total of two (2) balconies are proposed including a rear terrace.
- 1.3 Replacement of floor to ceiling windows to facilitate the addition of two doors on first, second, and third floors to access the proposed terrace and balconies.
- 1.4 No internal changes are proposed to the existing office building.

2.0 Assessment

Design and Conservation

2.1 Policy D1 'Design' states that the Council will seek to secure high quality design in all cases. This policy states that in order to demonstrate high quality, developments should meet several criteria including: respecting local context and character; be sustainable and durable and comprise details and materials that are of high quality and complement the local character. It continues to state that the Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area. Policy D2 'Heritage' states that to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.

2.2 The existing building is a positive contributor to the character and appearance of the conservation area. The application does not propose any additional floorspace nor any works to the street elevation. However, the works which include a terrace on the first floor, and two balconies to the rear of the second floor and third floor are proposed to the rear elevation and can be viewed from the adjacent St Andrew's Gardens.

2.3 The terrace and balconies will be enclosed by steel flat bar balustrades and matching handrail, which is considered to be sympathetic to the Bloomsbury Conservation Area.

2.4 Access to the terrace and balconies would be made by converting the exiting full height openings from windows to doors. The terrace and balconies would be setback and partially enclosed by the forwardmost rear building line, and positioned at a discreet corner of the building, which reduces any such harm to the Bloomsbury Conservation Area. In addition, as part of this application, no internal changes are proposed to the existing office building.

2.5 The Council's Conservation Officer has confirmed that they do not have any concerns relating to the proposals, as such it is considered there would not be any harm to the Bloomsbury Conservation Area and therefore comply with policy D1 and D2 of the Camden Local Plan 2017 and Bloomsbury Conservation Area appraisal and management strategy 2011.

2.6 Considerable importance and weight has been attached to the harm and special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

Amenity

2.7 Policy A1 seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of neighbouring residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development. This is supported by CPG Amenity.

2.8 The proposed terrace and balconies would not protrude beyond the existing rear building wing.

2.9 There is already a degree of overlooking between the building and Trinity Court (building to the north of the application site). It is at an oblique angle and therefore limited. Thus, it is considered the proposed terrace and balconies would not change this relationship to a harmful degree.

2.10 It is considered that the development will not have a harmful impact on neighbouring amenity in terms of outlook or daylight/sunlight, nor result in additional loss of privacy. The proposal is not considered to materially increase impact on neighbouring residents or result in undue noise disturbance compared to the existing situation. Therefore, the proposal is considered in accordance with policy A1 of the Local Plan.

3.0 Conclusion

3.1 Grant conditional planning permission.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 17th July 2023, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2023/1328/P
Contact: Alex Kresovic
Tel: 020 7974 3134
Email: Alex.Kresovic@camden.gov.uk
Date: 6 July 2023

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

CMA Planning
113 The Timberyard
Drysedale Street
London
N1 6ND
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

252b-252c Gray's Inn Road
London
WC1X 8JR

Proposal:

Alterations to the rear elevation to add a terrace at first floor level and two balconies, one at second floor level and one at third floor level.

Drawing Nos: Planning Cover Letter prepared by Tim Gaskell of CMA Planning dated 29th March 2023, 988_SI_00 revision P2 dated 20/03/19, 988_GA_00, 988_GA_01, 988_GA_02, 988_GA_03, 988_GE_02, 988_GS_BB revision P2 dated 06/03/18, 5311-PL-202, 5311-PL-203, 5311-PL-204, 5311-PL-206, 5311-PL-211 dated 22/08/22.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Planning Cover Letter prepared by Tim Gaskell of CMA Planning dated 29th March 2023, 988_SI_00 revision P2 dated 20/03/19, 988_GA_00, 988_GA_01, 988_GA_02, 988_GA_03, 988_GE_02, 988_GS_BB revision P2 dated 06/03/18, 5311-PL-202, 5311-PL-203, 5311-PL-204, 5311-PL-206, 5311-PL-211 dated 22/08/22.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer

DRAFT

DECISION